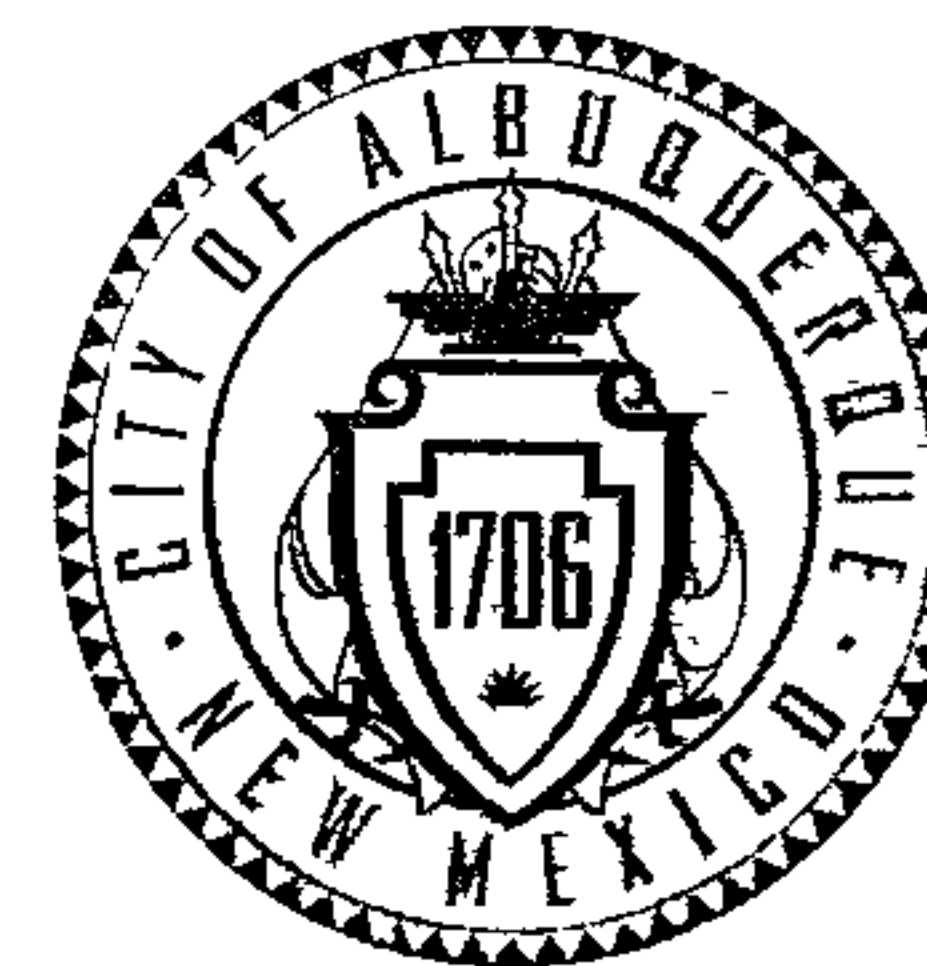


CITY OF ALBUQUERQUE



June 25, 2012

Joseph Simons Jr., R.A.
Simons Architecture
P.O. Box 67408
Albuquerque, NM 87193

**Re: A Class Jumbo Storage, 5132 2nd St NW, Traffic Circulation Layout
Architect's Stamp undated (F15-D052A)**

Dear Mr. Simons,

Based upon the information provided in your submittal received 06-14-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
2. Please list the width and length for all parking spaces.
3. Show all ramps and provide details.
4. Please show the location of the nearest driveway on the adjacent lot.
5. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
6. Please show a vicinity map.
7. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
8. Define width of the existing sidewalk.
9. Show all existing sidewalk and wheelchair ramps. Provide geometric information.
10. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
11. List the width of the existing drivepad.
12. Please include two copies of the traffic circulation layout at the next submittal.
13. All easements must be clearly defined. Provide the recording information.
14. How will the existing hydrant adjacent to lot 6 be protected?
15. An easement is shown adjacent to lot 6. Please define the purpose and extents of the easement. The easement must be vacated prior to permitting a structure to be built over it.
16. How will vehicles accessing the storage units adjacent to lots 4 and 6 maneuver? Access is shown from these units to the adjacent lots; is there an access easement?

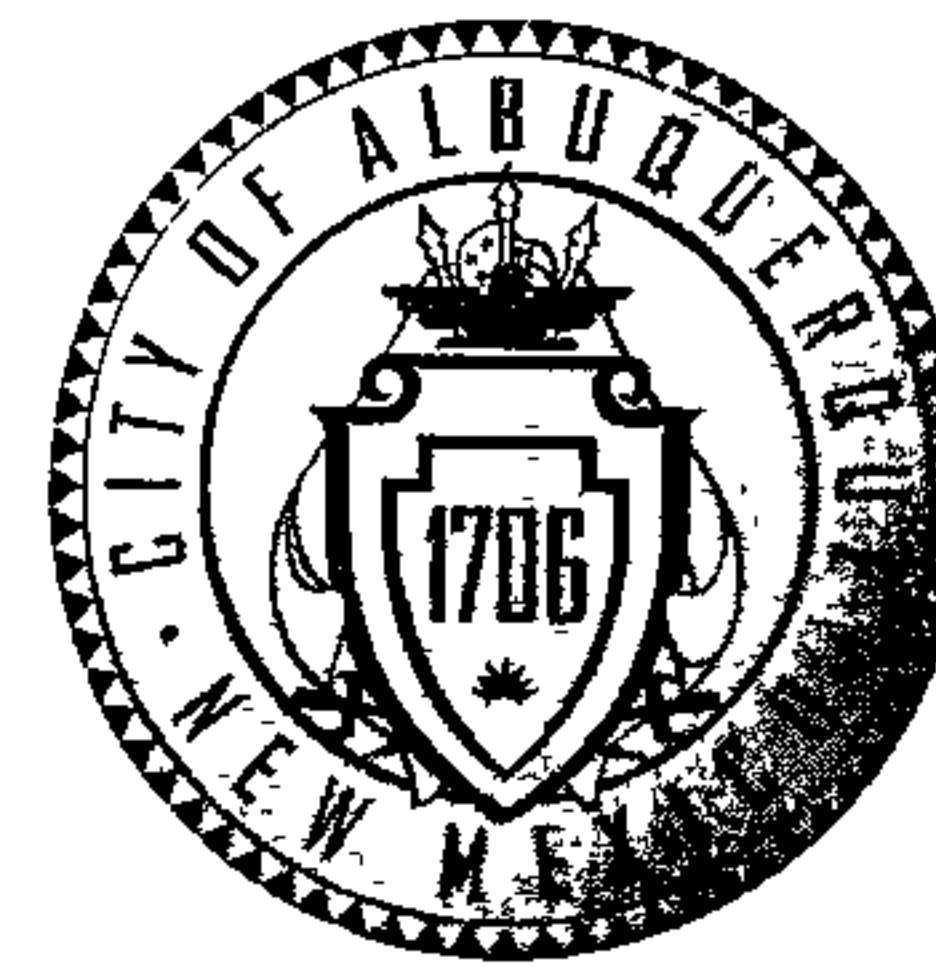
PO Box 1293

Albuquerque

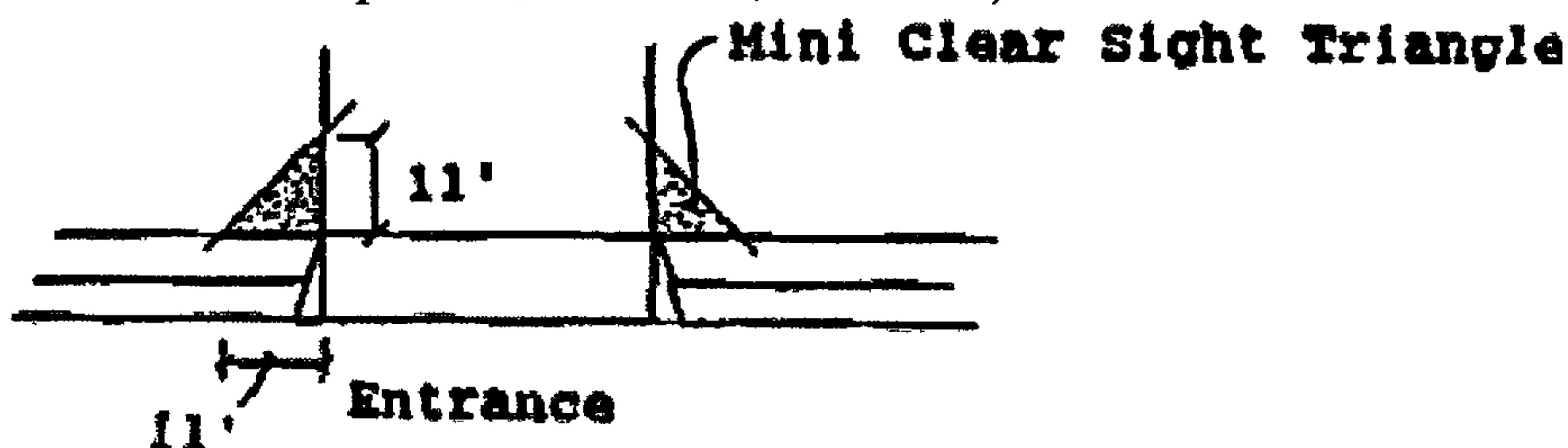
NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



17. Access to the southern storage units from the private roadway is not permitted, as the curb cut would exceed City of Albuquerque standards for width and would interfere with pedestrian movement. Please revise.
18. The proposed sign may interfere with the sight distance of the driveway. Please provide a sight distance exhibit (see the *Development Process Manual*, Chapter 23, Section 6, Part B.12).



If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: A CLASS CULMBO STORAGE ZONE MAP: F-15-7DD052A
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 5 NORTH SECOND STREET BUSINESS CENTER
CITY ADDRESS: 5132 2ND ST NW

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: SIMONS ARCH. CONTACT: JOE SIMONS
ADDRESS: P.O. BOX 67408 PHONE: 480-4796
CITY, STATE: ABQ. NM ZIP CODE: 87193
EMAIL: jfs@simonsarchitecture.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

RECEIVED
JUN 14 2012

→ PRELIMINARY INVESTIGATION

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 6.14.12 BY: JOE SIMONS JR.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



December 14, 2007

Dennis A. Lorenz, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

Re: Building 5 @ North 2nd Street Business Center, 5124 2nd Street, Grading and
Drainage Plan
Engineer's Stamp dated 11-29-07 (F-15/D052A)

Mr. Lorenz:

Based upon the information provided in your submittal received 11-29-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. In addition to submitting an NOI to the EPA and preparing a SWPPP, please, send a copy to the SWPPP on a CD in .pdf format to the following address:

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 or 768-3645.

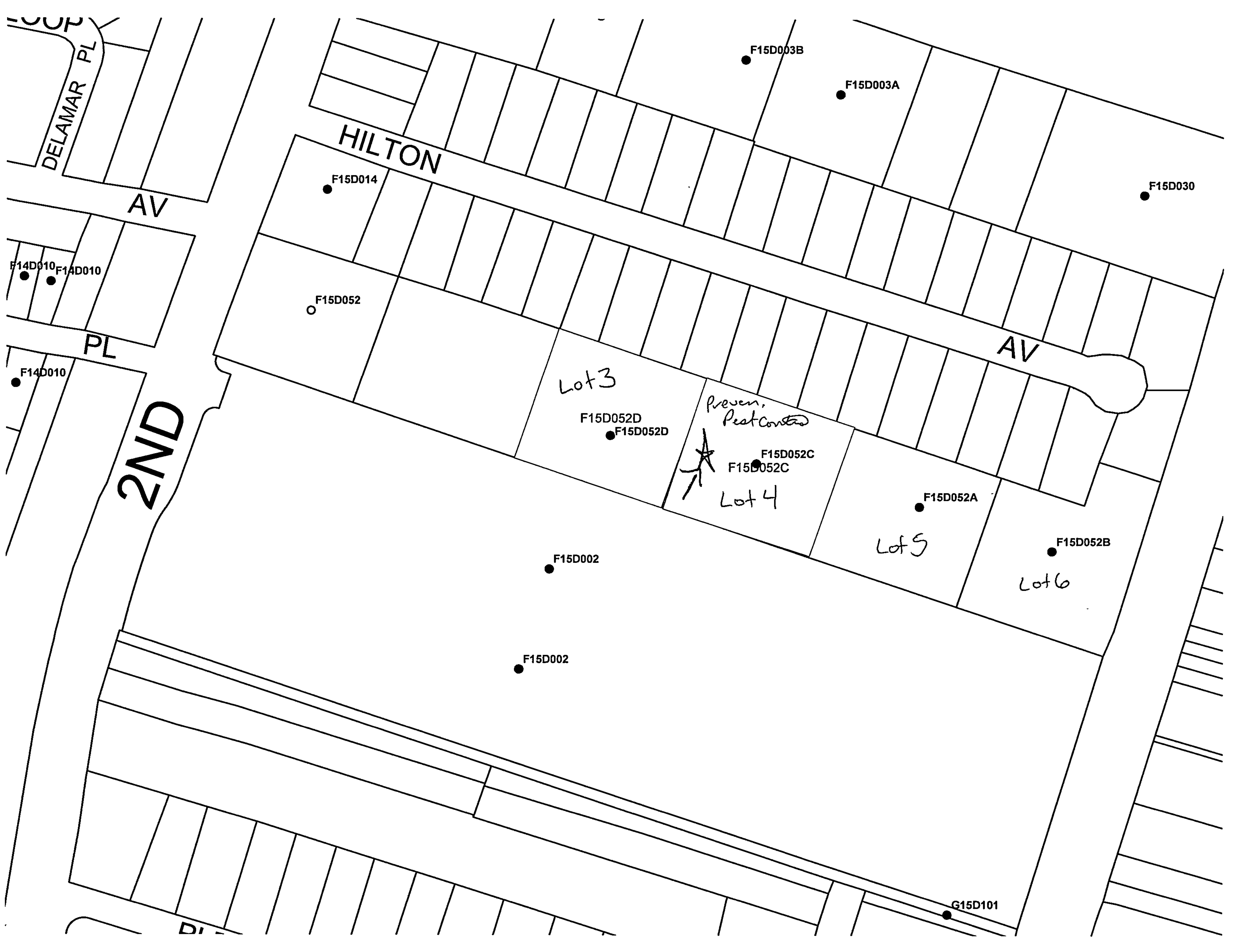
Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy Sims
Plan Checker - Hydrology, Planning Dept.
Development and Building Services

Cc: ^{ab} Bradley Bingham
Kathy Verhage, DMD
File



DELAMAR PL

AV

PL

2ND

HILTON

AV

Lot 3

Prevent
Pest Control

Lot 4

Lot 5

Lot 6

F15D0014

F15D052

F15D052D
F15D052D

F15D052C
F15D052C

F15D052A

F15D052B

F15D002

F15D002

F15D003B

F15D003A

F15D030

F14D0010
F14D0010

F14D0010

G15D101