



**Planning Department  
Transportation Development Services**

December 22, 2014

David Soule, P.E., Engineering Firm  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, NM 87199

**Re: A-Class Storage on 2<sup>nd</sup> Street, 5124 Second Street  
Traffic Circulation Layout**  
Engineer's Stamp dated 12-01-14 (F15-D052B)

Dear Mr. Soule:

Based upon the information provided in your submittal received 12-01-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

1. On the vicinity map, legibly call out the site location. Also, provide the site address on the plan.
2. Identify the access road easement width for the access road south of the site.
3. The dimensioning for the asphalt access through the site needs to be shown correctly for "54' " and "48' " dimensions. Call out edge of new asphalt, and provide pavement section for the asphalt drive.
4. Show both the north and south limit of the 34-foot motorized gate at the site entrance.
5. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Call out the handicapped signage at the location of the handicapped space within the detail.
6. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
7. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk and from the HC parking stall access aisle to the building entrances. Call out the width of the sidewalk adjacent to the building as a minimum of 6 feet, and tie this sidewalk to the existing sidewalk on the access

8. Call out curb height for the curb along the handicapped parking spaces.
9. At both the 24-foot common access easement and at the intersection of the common access easement with the access road, there might be a sight distance issue. Provide a mini-clear site triangle (per page 23-28 of the DPM) at both of these sight locations. What type of 6-foot high fence is being installed near the motorized gate, and will it interfere with sight distance? Add the following note to the clear sight triangles: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

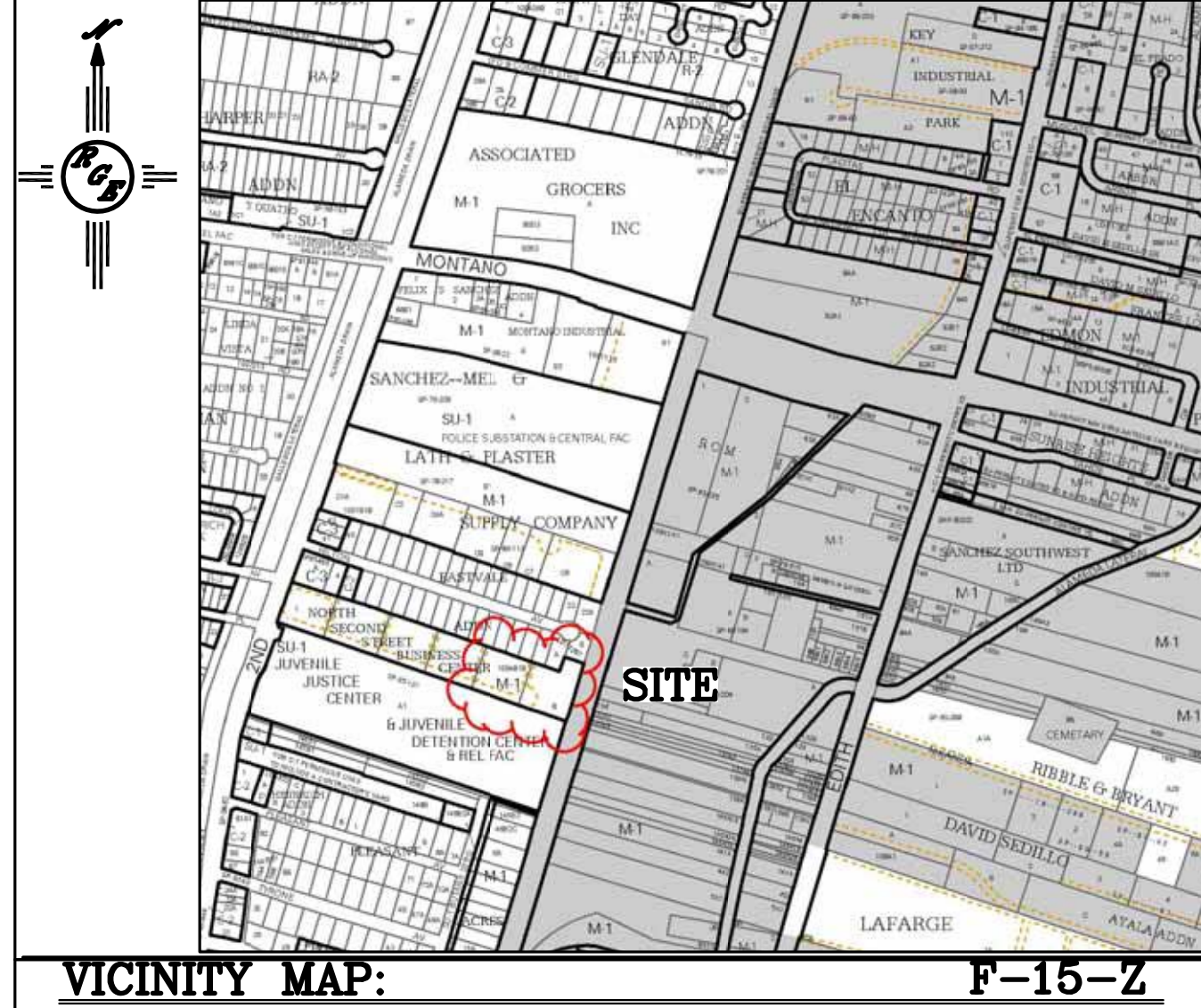
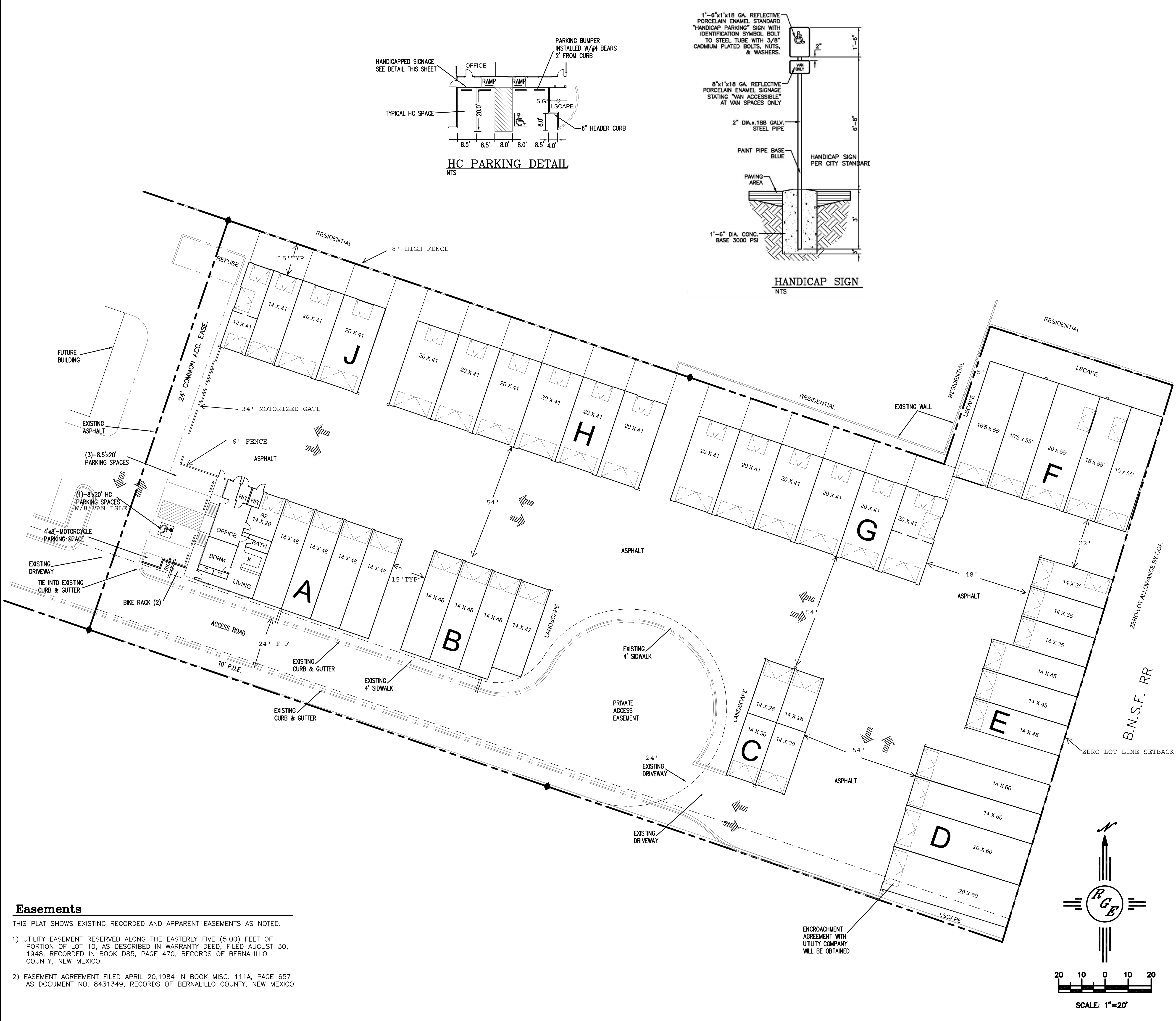
Sincerely,



Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk





**LEGAL DESCRIPTION:**

LOTS NUMBERED FIVE (5) AND SIX (6) OF NORTH SECOND STREET BUSINESS CENTER, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 12, 2008 AS MAP BOOK 2008C FOLIO 45.

**SITE DATA**

TOTAL ACREAGE: 2.12 GROSS, 1.752 NET (LESS SHARED ACCESS EASEMENT)

EXISTING ZONING: M1

PROPOSED BUILDINGS

|                  |           |
|------------------|-----------|
| RV/BOAT STORAGE: | 34,175 SF |
| OFFICE:          | 252 SF    |
| LIVING QUARTERS: | 896 SF    |

REQUIRED PARKING: 3 (1 PER 200 SF OFFICE+1.5 PER BATH IN RES)

PROVIDED PARKING 4

|               |         |
|---------------|---------|
| HC REQUIRED   | 1       |
| HC PROVIDED   | 1 (VAN) |
| MC REQUIRED   | 1       |
| MD PROVIDED   | 1       |
| BIKE REQUIRED | 2       |
| BIKE PROVIDED | 2       |

**LEGEND**

|     |   |
|-----|---|
| --- | EXISTING CONTOUR                              |
| --- | EXISTING INDEX CONTOUR                        |
| --- | PROPOSED CONTOUR                              |
| --- | PROPOSED INDEX CONTOUR                        |
| --- | LOT LINE                                      |
| --- | CENTERLINE                                    |
| --- | RIGHT-OF-WAY                                  |
| --- | EXTENDED STEM WALL SEE ARCH PLANS FOR DETAILS |
| --- | PROPOSED ROCK FACE WALL                       |
| --- | EXISTING CURB AND GUTTER                      |
| --- | PROPOSED EDGE OF CONCRETE                     |
| --- | PROPOSED FLOWLINE                             |
| --- | EXISTING WALL                                 |

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED:

1) UTILITY EASEMENT RESERVED ALONG THE EASTERLY FIVE (5.00) FEET OF PORTION OF LOT 10, AS DESCRIBED IN WARRANTY DEED, FILED AUGUST 30, 1948, RECORDED IN BOOK D85, PAGE 470, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

2) EASEMENT AGREEMENT FILED APRIL 20,1984 IN BOOK MISC. 111A, PAGE 657 AS DOCUMENT NO. 8431349, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

|                                |   |                     |
|--------------------------------|---|---------------------|
|                                | <b>A CLASS MEGA STORAGE</b>   | <b>DRAWN BY DEM</b> |
|                                | <b>TRAFFIC CIRCULATION PLAN</b>   | <b>DATE 12-1-14</b> |
|                                | <br>1008 CENTRAL AVENUE<br>SUITE 201<br>ALBUQUERQUE, NM 87108<br>(505) 872-0000 | <b>SHEET # C1</b>   |
| <b>DAVID SOULE P.E. #14522</b> |   | <b>JOB # 13153</b>  |