

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

October 14, 2015

Joe Simon
Simons Architecture, PC
PO Box 67408
Albuquerque, NM 87193

**Re: A Class Storage
5124 2nd St., NW
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 2-15-15 (F15-D52B)
Certification dated 9-23-15**

Dear Mr. Simon,

PO Box 1293

Albuquerque

New Mexico 87103

Based upon the information provided in your submittal received 10-2-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Aclass storage- second street Building Permit #: _____ City Drainage #: F15-D52B
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: 6 NORTH SECOND STREET BUSINESSCENTER
City Address: 5124 SECOND STREET

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: MURPHY PROPERTIES LLC Contact: _____
Address: 5124 second street nw alb nm 87107
Phone#: _____ Fax#: _____ E-mail: _____

Architect: SIMONS ARCHITECTURE Contact: JOE SIMONS
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
Address: _____
Phone#: 917.8921 Fax#: _____ E-mail: _____

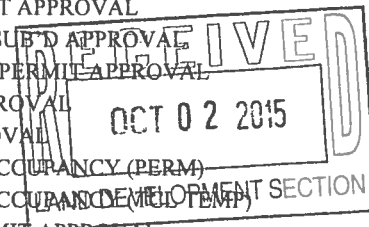
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (DEVELOPMENT TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 9/23/15 By: _____

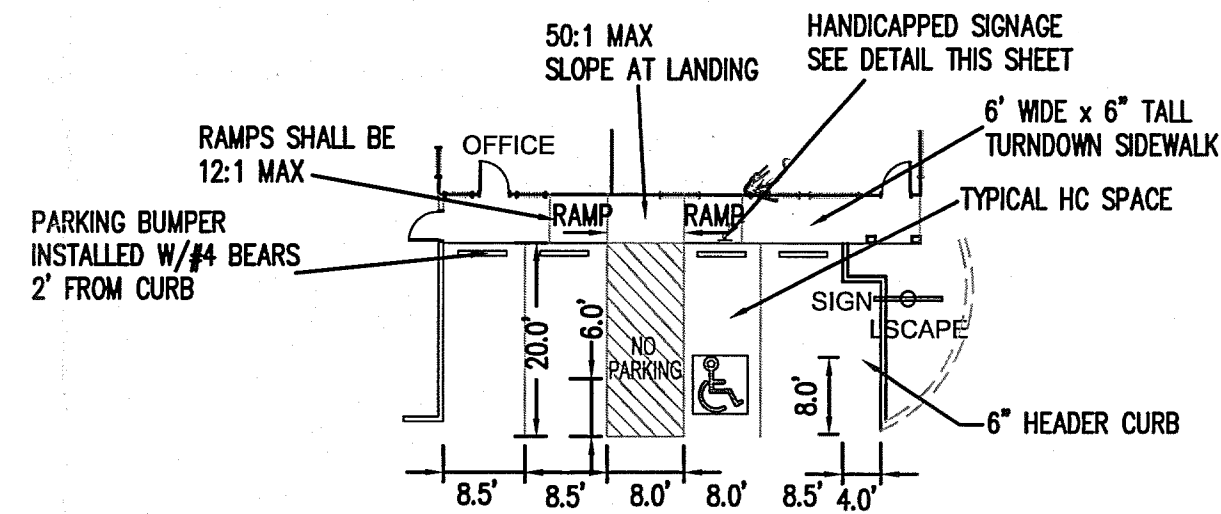
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intend of the approved plan dated 2/15/15. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided DAVID ACOSTA NMPS 21082. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the traffic circulation aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

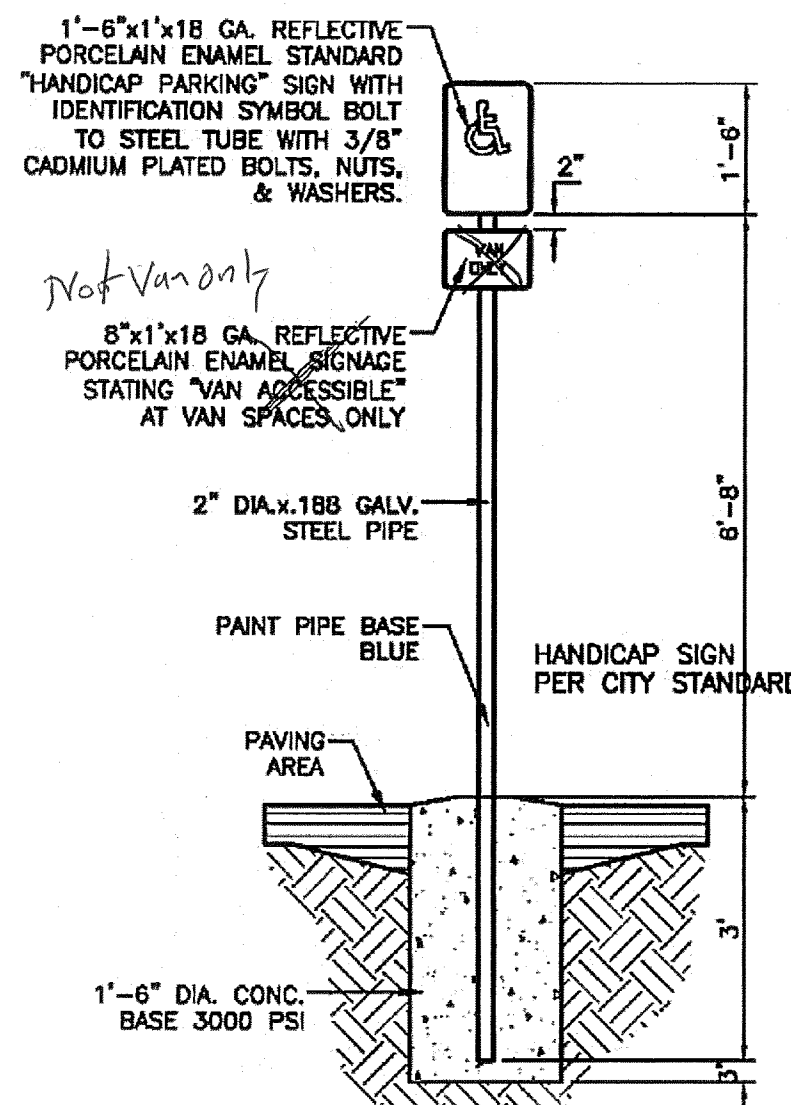


9/23/15



HC PARKING DETAIL
NTS

* ADA ACCESS ISLE SHALL HAVE WORDS NOPARKING PER 66-1-4.1.B NMSA1978

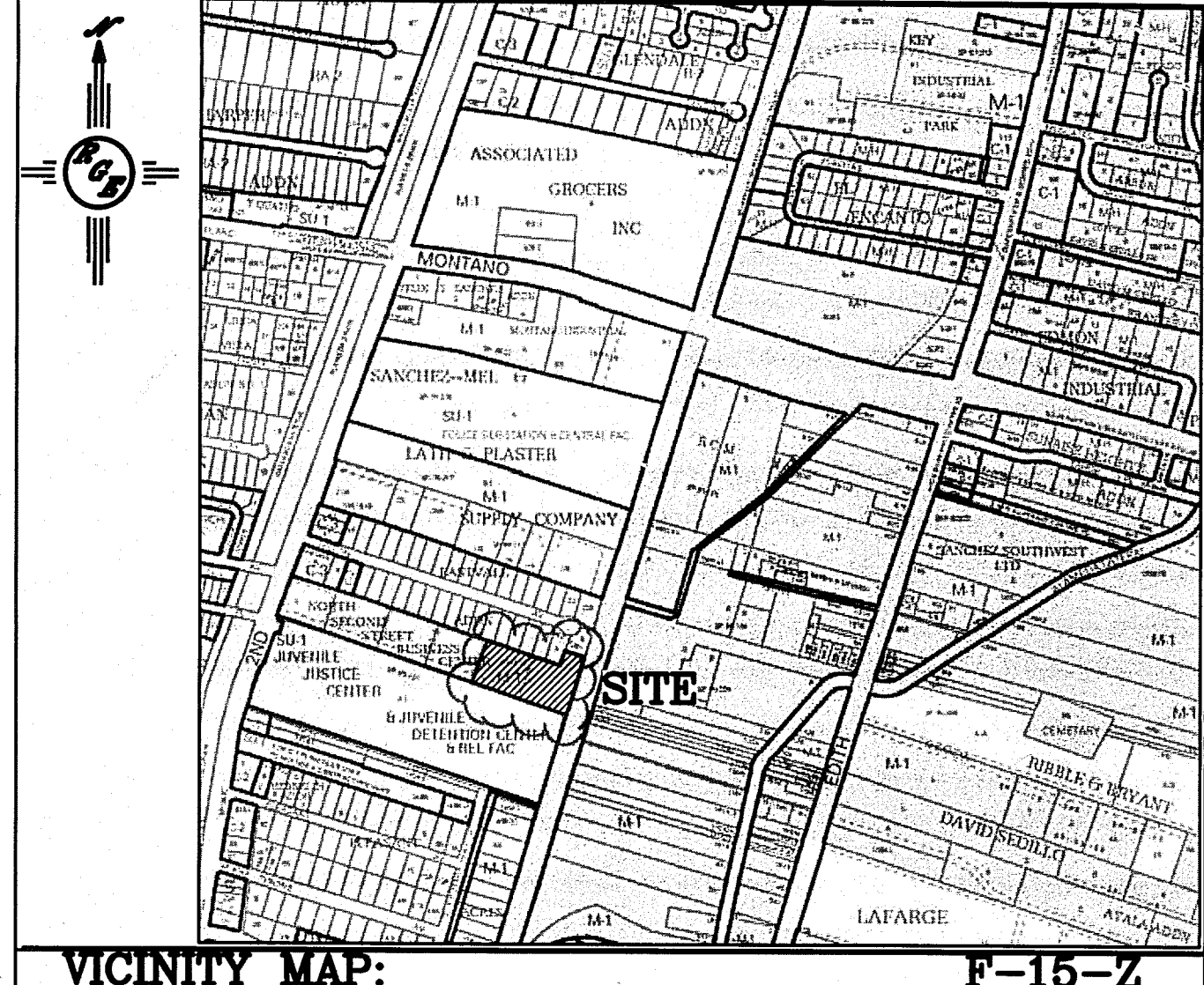


HANDICAP SIGN *
NTS

* SIGNAGE SHALL CONFORM TO 66-7-352.4C NMSA1978.
* VIOLATORS ARE SUBJECT TO A FINE AND OR TOWING.

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

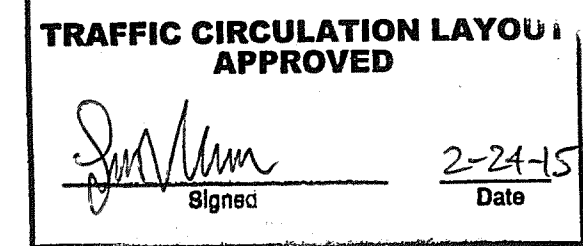
Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.



LEGAL DESCRIPTION:

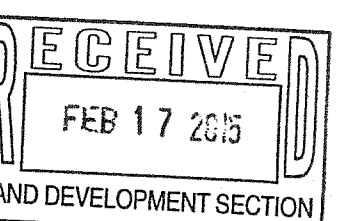
LOTS NUMBERED FIVE (5) AND SIX (6) OF NORTH SECOND STREET BUSINESS CENTER, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 12, 2008 AS MAP BOOK 2008C FOLIO 45.

SITE DATA	
TOTAL ACREAGE:	2.12 GROSS, 1.752 NET (LESS SHARED ACCESS EASEMENT)
EXISTING ZONING:	M1
PROPOSED BUILDINGS	
RV/BOAT STORAGE:	34,175 SF
OFFICE	252 SF
LIVING QUARTERS	896 SF
REQUIRED PARKING:	3 (1 PER 200 SF OFFICE+1.5 PER BATH IN RES)
PROVIDED PARKING	4
HC REQUIRED	1
HC PROVIDED	1 (VAN)
MC REQUIRED	1
MD PROVIDED	1
BIKE REQUIRED	2
BIKE PROVIDED	2



LEGEND

- - - - -5601- - - - - EXISTING CONTOUR
- - - - -5600- - - - - EXISTING INDEX CONTOUR
- - - - -5601- - - - - PROPOSED CONTOUR
- - - - -5600- - - - - PROPOSED INDEX CONTOUR
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- - - - - EXTENDED STEM WALL SEE ARCH PLANS FOR DETAILS
- PROPOSED ROCK FACE WALL
- EXISTING CURB AND GUTTER
- PROPOSED EDGE OF CONCRETE
- ... PROPOSED FLOWLINE
- EXISTING WALL

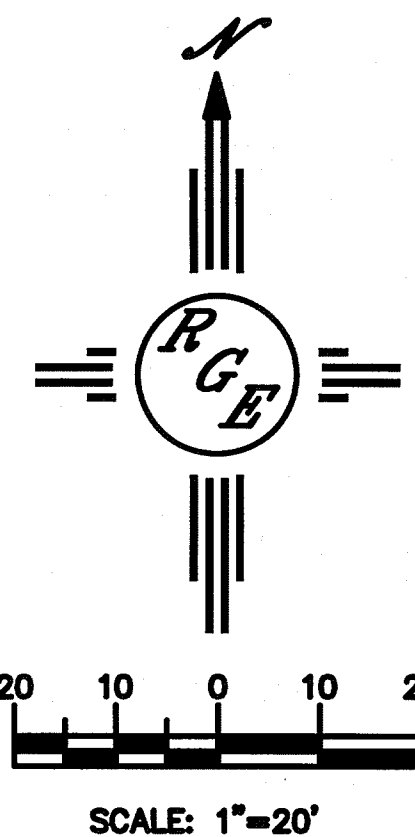


Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED:

- 1) UTILITY EASEMENT RESERVED ALONG THE EASTERLY FIVE (5.00) FEET OF PORTION OF LOT 10, AS DESCRIBED IN WARRANTY DEED, FILED AUGUST 30, 1948, RECORDED IN BOOK DB5, PAGE 470, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- 2) EASEMENT AGREEMENT FILED APRIL 20, 1984 IN BOOK MISC. 111A, PAGE 657 AS DOCUMENT NO. 8431349, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

ENCROACHMENT
AGREEMENT WITH
UTILITY COMPANY
WILL BE OBTAINED



ENGINEER'S SEAL	A CLASS MEGA STORAGE	DRAWN BY DEM
DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER	TRAFFIC CIRCULATION PLAN	DATE 12-1-14
2/15/15	Rio Grande Engineering 1008 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 678-0888	W/DRIVEN ACCESSIBLE PARKING
DAVID SOULE P.E. #14522		SHEET # C1
		JOB # 13153







