

CITY OF ALBUQUERQUE



*Planning Department
Transportation Development Services Section*

August 6, 2009

Steven K. Marrow, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

Re: Approval of Permanent (Final) Certificate of Occupancy (C.O.) for
Preventative Pest Control, [F-15 / D052C]
5124 2nd Street NW
Engineer's Stamp Dated 08/04/09

Dear Mr. Marrow:

The TCL / Letter of Certification submitted on August 05, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

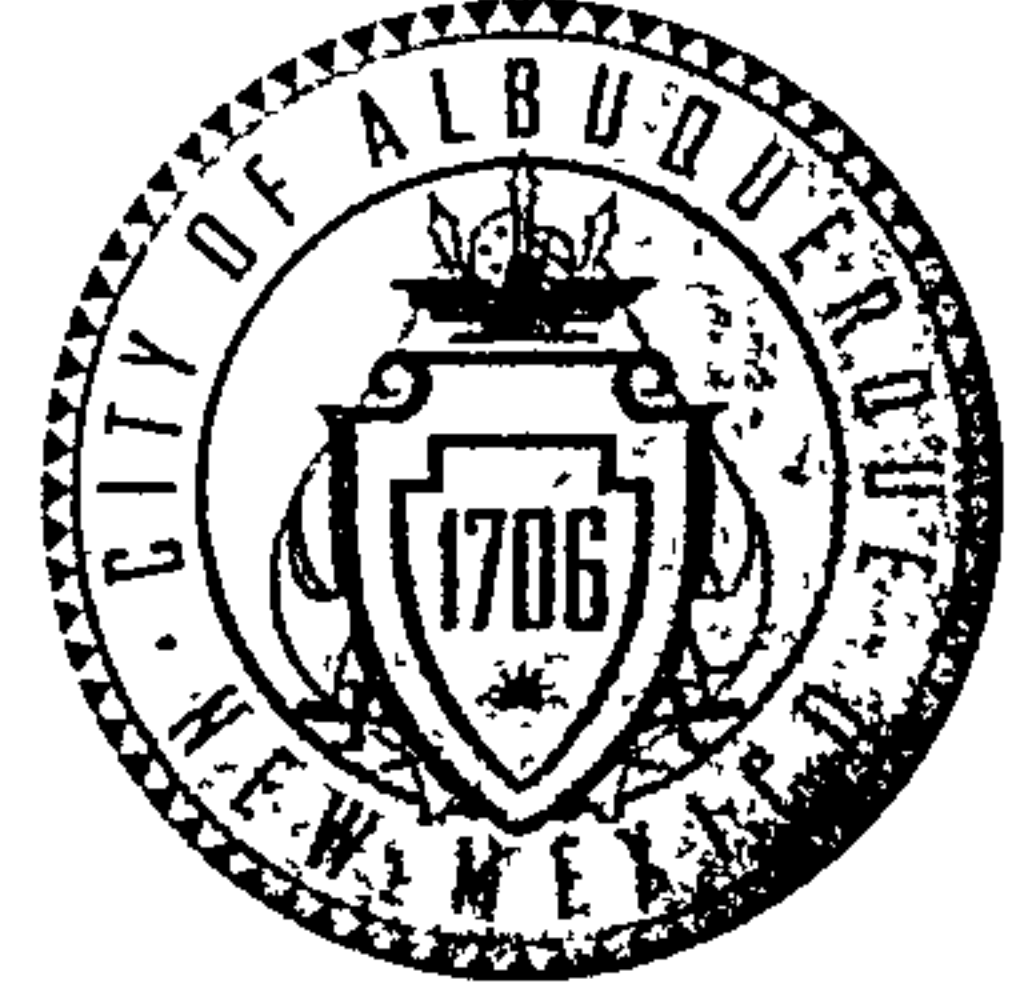
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



August 6, 2009

Benjamin H. Gardner, R.A.
Dekker/ Perich/ Sabitini
7601 Jefferson NE Ste 100
Albuquerque, NM 87109

Re: The International School, 2660 Eastman Crossing SE, Traffic Circulation Layout
Architect's Stamp dated 7-13-09 (R-16/DA3009)

Dear Mr. Gardner,

The TCL submittal received 08-06-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

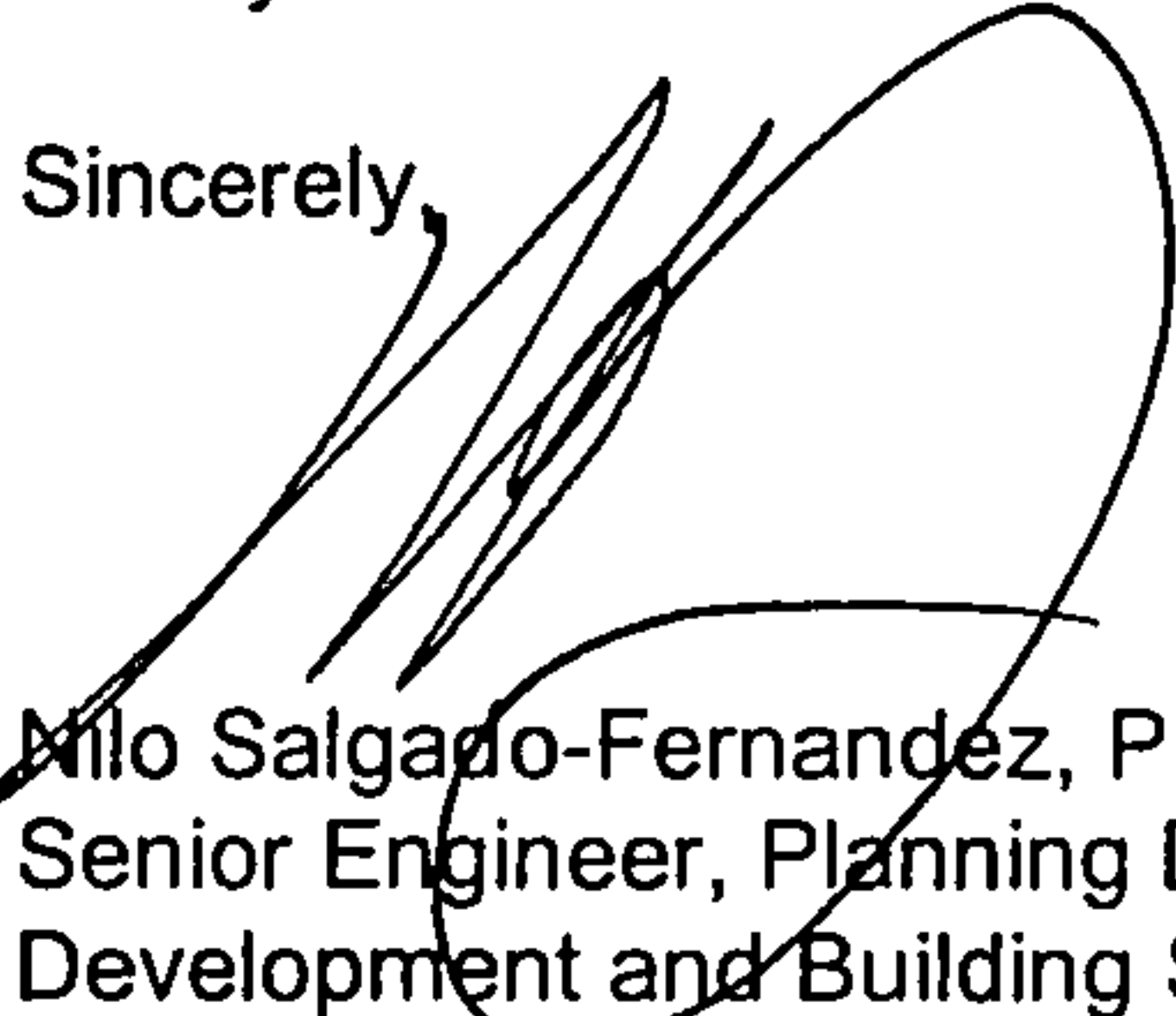
NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

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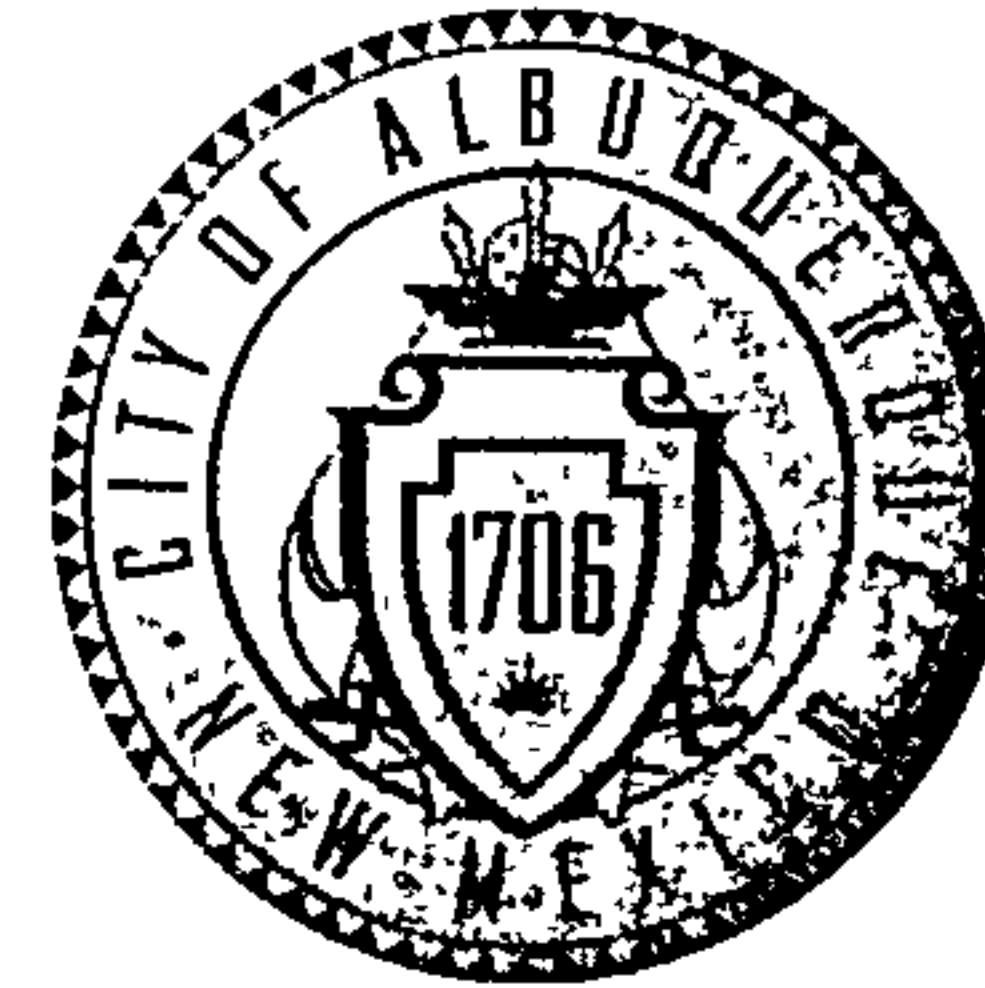
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,


Milo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



September 10, 2009

Steven K. Marrow, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

**Re: Preventative Pest Control, 5124 2nd Street NW,
(F-15/D052C)
Approval of Permanent Certificate of Occupancy,
Engineer's ~~Review~~ Stamp Dated: 09-13-08
Engineer's Certification Date: 09-09-09**

Dear Mr. Marrow,

PO Box 1293

Based upon the information provided by our visual inspection on 9/09/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

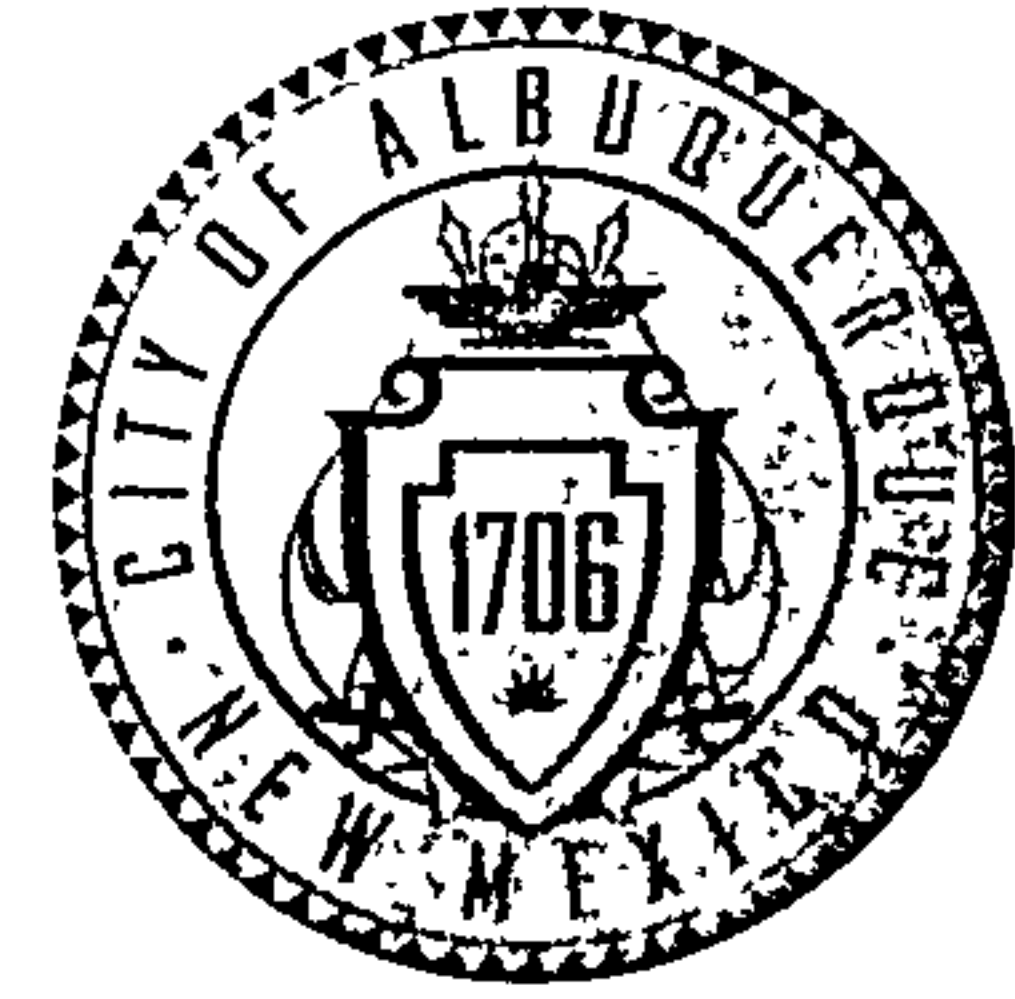
Sincerely,

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Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

CITY OF ALBUQUERQUE



May 4, 2009

Dennis Lorenz, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

Re: Preventative Pest and Klein Enterprises, (F15/D52C)

Dear Mr. Lorenz,

This letter is a follow-up to our meeting on site at Preventative Pest (5124 N. 2nd St.) and Klein Enterprises (5128 N. 2nd St.). At the meeting, you pointed out that the construction at Klein Enterprises would not allow the drainage from your lot to get to the proper outfall because they had graded their portion of the common access easement too high. I concur with your assessment and also your proposal to regrade in that easement (and beyond as appropriate) to get the two projects closer to being what the City approved. Obviously, Klein Enterprises did not follow their engineer's drawings; however, the City approved a Certificate of Occupancy for that property based on the certification of the design engineer reassessing what *was* built and proving that there were adequate drainage provisions. However, the easement was not completely respected and, as such, your client must enter and reconstruct the easement. The pond and side slope encroaches into this easement. I have checked the certification and find that there is enough extra capacity in that pond to allow the remediation as discussed at our meeting.

I appreciate the opportunity to be part of the solution. If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: Tyler Ashton, Wilson and Co.
file

CITY OF ALBUQUERQUE



September 17, 2008

Wallace Bingham, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

**Re: Preventive Pest Control, Lot 4 N. 2nd St. Bus. Ctr. Grading and Drainage Plan
Engineer's Stamp dated 9-13-08 (F15/D52C)**

Dear Mr. Bingham,

PO Box 1293

Based upon the information provided in your submittal dated 9-15-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

NM 87103

If you have any questions, you can contact me at 924-3986.

www.cabq.gov

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file