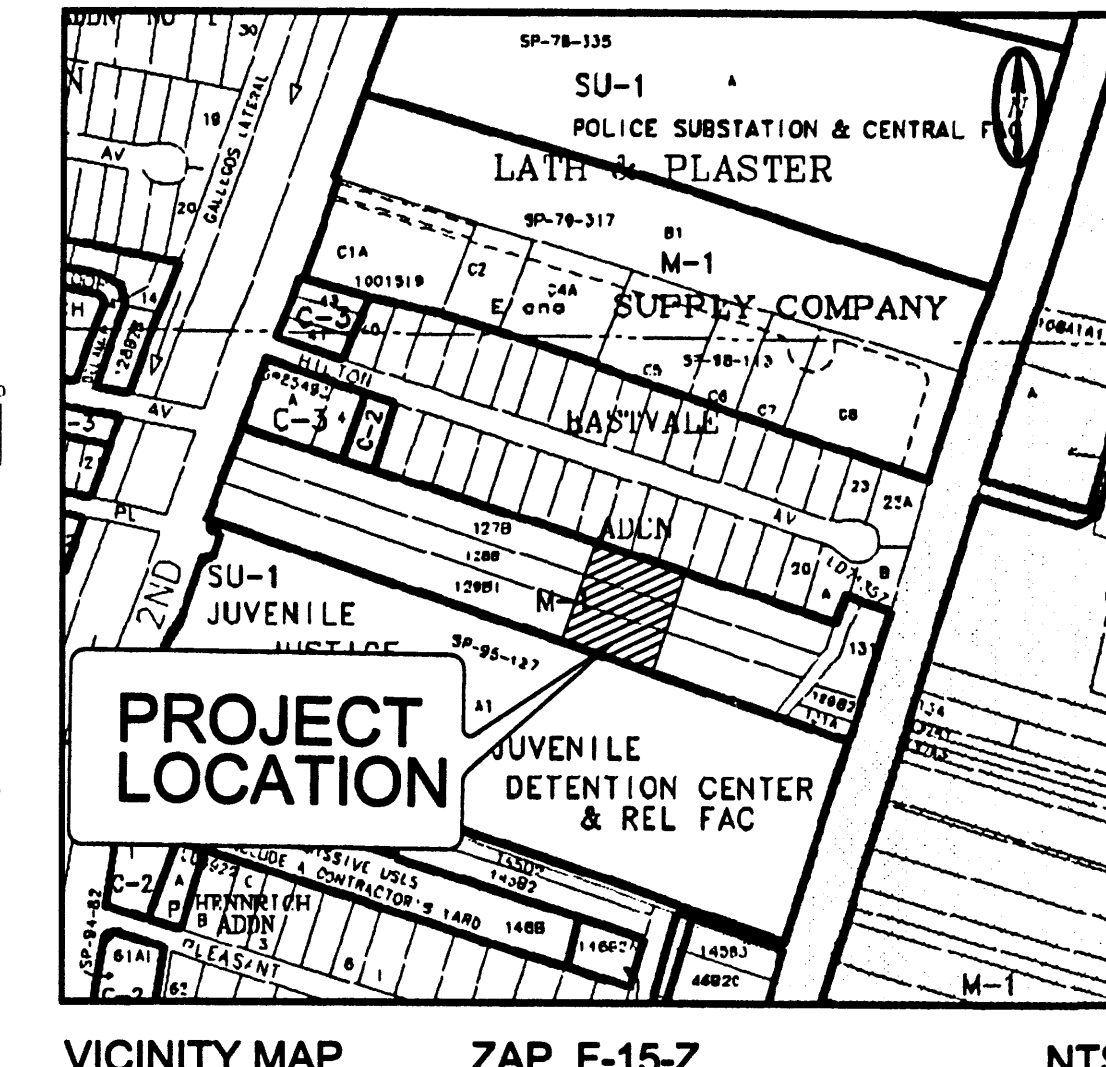


- KEYED NOTES**
1. NEW CONCRETE CURB & GUTTER
 2. EXISTING CONCRETE SIDEWALK
 3. DUMPSTER ENCLOSURE SEE DET: B/C-1.
 4. EXISTING SITE LIGHT, SEE ELECTRICAL PLANS.
 5. EXISTING H.C. ACCESSIBLE AISLE.
 6. EXISTING H.C. PARKING SIGNAGE, TYP.
 7. EXISTING PAINTED HANDICAP SYMBOL, TYP.
 8. EXISTING PAINTED PARKING STRIPE, TYP.
 9. NEW H.C. ACCESSIBLE CURB RAMP, SEE DET: C/C1.
 10. DOUBLE CLEAN OUTS, REF: PLUMB. PLANS.
 11. CLEAN OUTS, REF: PLUMB. PLANS.
 12. EXISTING ASPHALT PAVING.
 13. LANDSCAPE AREA
 14. 15'-0" RADIUS TYPICAL
 15. 20' SLIDING GATE.
 16. 3' MAN GATE.
 17. SHAWN-DUNN FENCE-VINYL FENCE
 18. PAINTED PEDESTRAIN ASLE, REF: C/C1.
 19. CONC. SIDEWALK, PER CITY STANDARD, REF: DWG. 2430
 20. EDGE OF ASPHALT AND WATER BLOCK.
 21. ASPHALT CURB
 22. NO ASPHALT PAVING (GRAVEL)
 23. NEW ASPHALT PAVING
 24. TOP OF POND SLOPE
 25. SIDEWALK CULVERT DELETED
 26. SIDEWALK CULVERT ADDED
 27. CONCRETE SIDEWALK DELETED
 28. EDGE OF ASPHALT
 29. TURNDOWN SIDEWALK
 30. CONCRETE CURB
 31. 24"x36" SPILL CONTAINMENT AREA DRAIN WITH PUMP
 32. SLIDING GATE DELETED
 33. ROOF DRAIN
 34. CURB NOT CONSTRUCTED

CHANNEL ANALYSIS

"TRAPEZOIDAL, 'U' or 'V'

DATA	
BOT WIDTH	20
DEPTH	0.45
LEFT SIDE SLOPE	0.1
RIGHT SIDE SLOPE	0.1
CHANNEL SLOPE	0.005
N' VALUE	.016
RESULTS	
AREA	10.82
HYD RAD	0.43
VELOCITY	3.35
FLOWRATE	36.23



VICINITY MAP ZAP F-15-Z NTS

GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE:

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE DEVELOPMENT OF THE EXISTING PROPERTY BY CONSTRUCTING A NEW COMMERCIAL BUILDING AND PARKING LOT. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, AND GRADING AND DRAINAGE IMPROVEMENTS. THIS GRADING PLAN AND A GRADING/TRAFFIC CIRCULATION CERTIFICATION IS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION.

EXISTING CONDITIONS:

THE PROJECT SITE CONTAINS APPROXIMATELY ONE ACRE AND IS LOCATED AT 5124 2ND STREET NW. THE SITE IS PRESENTLY UNDEVELOPED. IT IS BOUNDED ON THE NORTH BY LOTS 13, 14 AND 15, EASTVALE ADDITION, TO THE SOUTH BY A PROPOSED PRIVATE ACCESS ROAD, TO THE WEST BY LOT 4, NORTH 2ND STREET BUSINESS CENTER AND TO THE EAST BY LOT 5, NORTH 2ND STREET BUSINESS CENTER. CURRENTLY, ON-SITE RUNOFF DRAINS ONTO 2ND STREET. NO OFFSITE FLOW IMPACTS THE SITE.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS:

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED BY CONSTRUCTING A COMMERCIAL BUILDING AND ASSOCIATED SITE IMPROVEMENTS.

ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES, CONVEYING RUNOFF TO PRIVATE STREET 'A'. THE PLAN SHOWS THE ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS. SINCE THIS IS AN INFILL SITE, NO ON-SITE PONDING IS REQUIRED.

TEMPORARY EROSION CONTROL:

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES UNTIL COMPLETION OF ALL SITE PAVING, GRADING, DRAINAGE AND LANDSCAPING IMPROVEMENTS. SINCE THE SITE CONTAINS MORE THAN 1.0 ACRES, A SWPPP IS REQUIRED. THE SWPPP IS TO BE PREPARED BY OTHERS.

CALCULATIONS:

THE CALCULATIONS SHOWN HEREON DEFINE THE 100 YEAR, 6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE RHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

HYDROLOGY:

HYMO PROGRAM SUMMARY TABLE (HYMO-87) -

INPUT FILE = C:\V200\114.TXT

VERSION: 1997.02a RUN DATE (MO/DAY/YR) = 06/12/2008

USED NO. = HYMO-11470000070-94 PAGE = 1

COMMAND	HYDROGRAPH NO.	TO NO.	AREA (SQ. MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME (HOURS)	PER ACRE	NOTATION
START	1	1							
15 COMPUTE 100 YR	1	1							
15 N24D,114.TXT	1	1							
15 RAINFALL TYPE= 1	1	1							
15 LOT 4 BASIN 1	1	1							
15 COMPUTE 100 YR	1	1							
15 LOT 4 BASIN 2	1	1							
15 COMPUTE 100 YR	1	1							
15 ADD HYD	1	1							
15 FINISH	1	1							

PROJECT DATA

PROPERTY ADDRESS

5124 SECOND STREET NW

LEGAL DESCRIPTION

LOT 4, NORTH SECOND STREET BUSINESS CENTER CITY OF ALBUQUERQUE BERNALILLO COUNTY, NM

PROPERTY ZONING

M-1

MAPPING

ALL PROJECT SURVEYING BY THOMAS JOHNSTON, NMPLS 14269, JUNE 2007

PROJECT BENCHMARK

ACS STATION "B-F15" ELEV = 4973.198' NGVD 1988

ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 9-13-08. The record information edited onto the original design document has been obtained by me or under my direct supervision as supplemental data to the original topographic survey prepared by Thomas Johnston, NMPS 14269 of the firm Wayjohn Surveying, Inc., and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy. CORRECTED 9/1/09 S.M.

Exceptions:

1. The retaining wall was deleted. Swales were graded in the landscape buffer to keep runoff from draining to the adjacent lots.
2. The east half of the access easement on the east side of the building was not paved. It was graveled. The entire access easement drains to the property to the east. No roof drains drain to the access easement. When the property to the east is developed, the owner needs to pave his half of the access easement such that the entire easement drains to the street.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Steven K. Morrow, NMPE 13679
8-4-09
Date

STEVEN K. MORROW
13679
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER

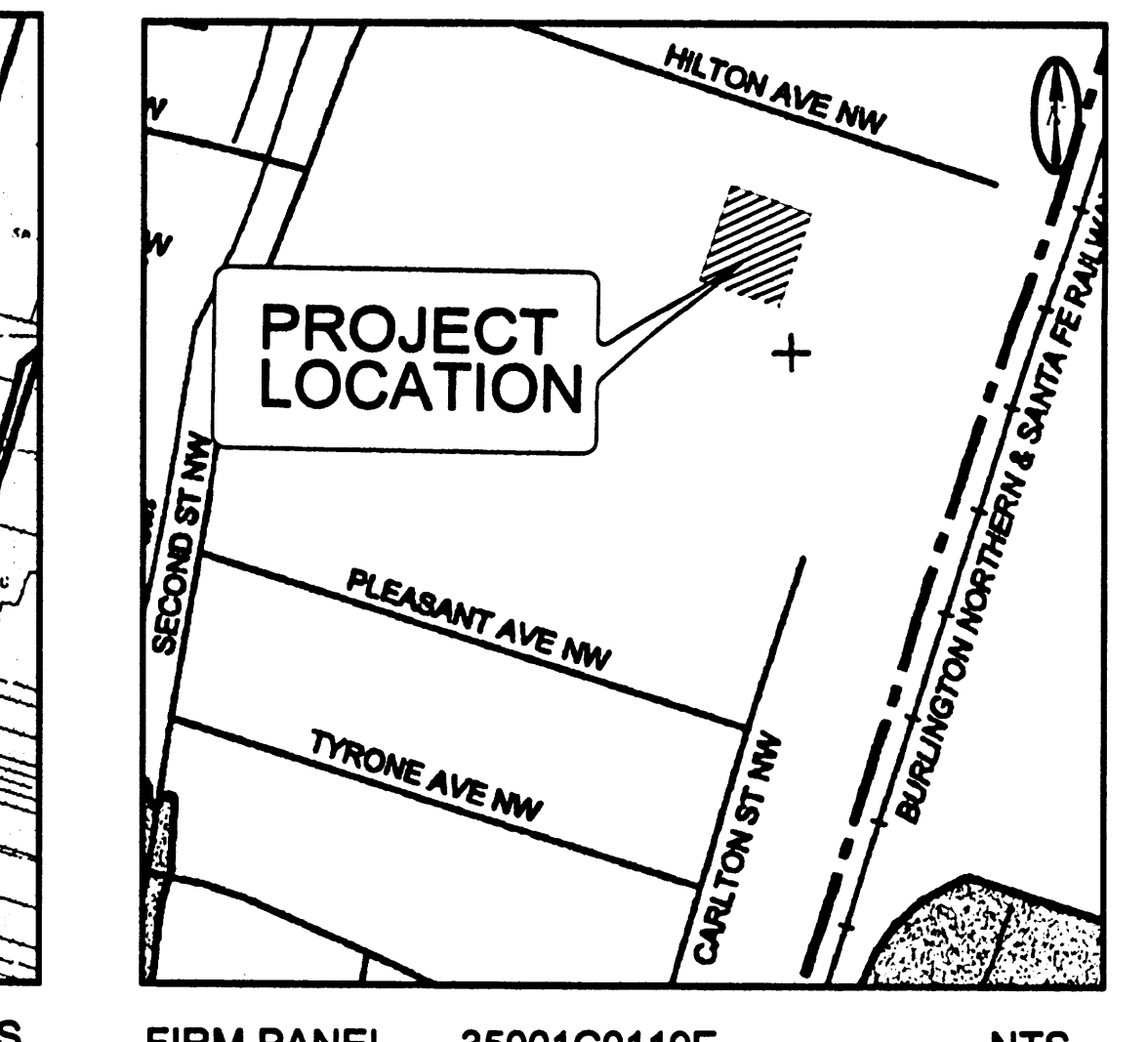
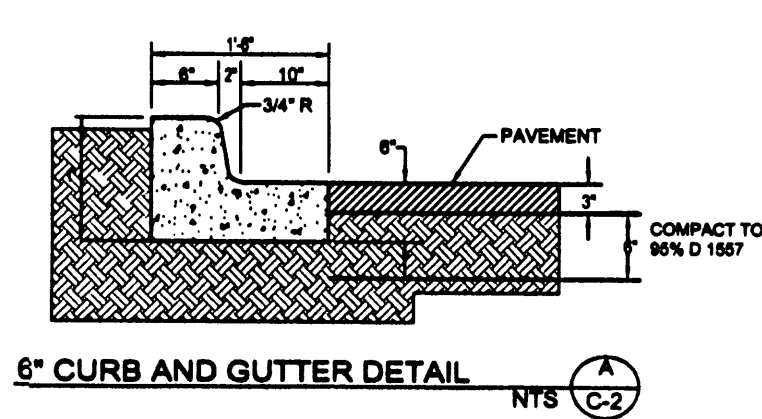
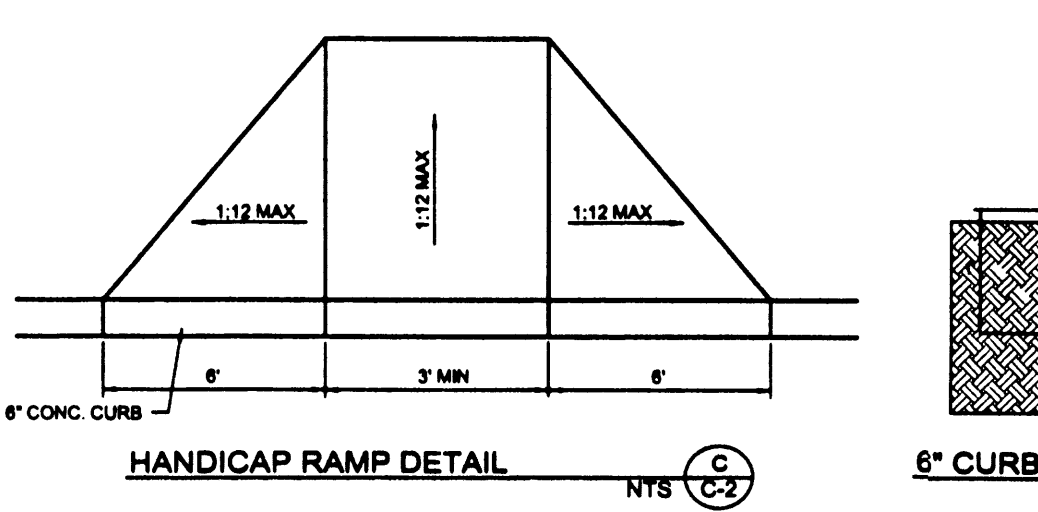
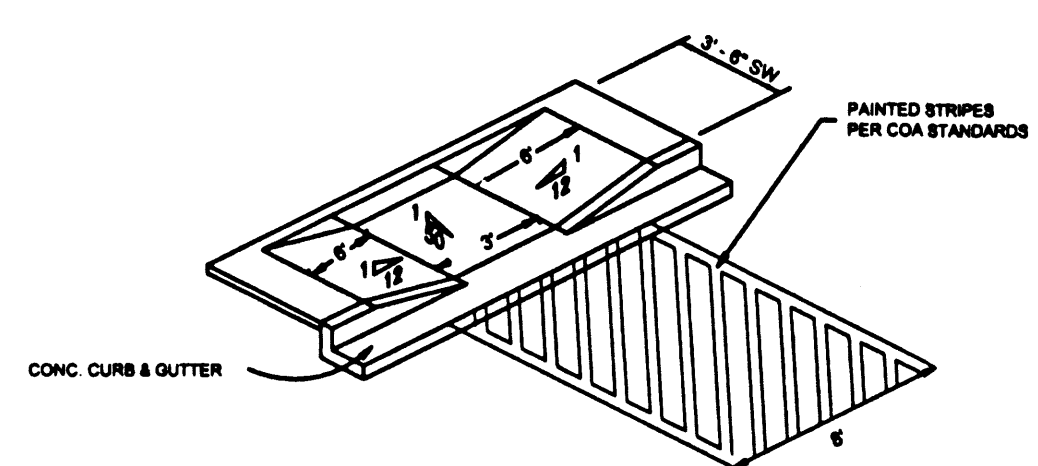
ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

City comments were addressed as follows:

1. A sump pump was installed (specifications are attached).
2. The above certification was corrected to read "in support of a request for certificate of occupancy."

Steven K. Morrow, NMPE 13679
9-9-09
Date

STEVEN K. MORROW
13679
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER



FIRM PANEL 35001C0119E NTS

LEGEND

ITEM	EXISTING	AS-BUILT PROPOSED
CURB AND GUTTER		
SPOT ELEV.	x 16.7	16.7
FIRE HYDRANT		
FLOWLINE ELEVATION	FL 16.20	RET FL 16.20
CONTOUR W/ ELEVATION	92	92
	4990	90
BASIN DIVIDE		
ASPHALT PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
ACCESSIBLE AREA		
MOTORCYCLE PARKING		
CONCRETE		
POWER POLE WITH ANCHOR		
OVERHEAD UTILITY WITH POWER POLE		
FENCE (VINYL)		
EASEMENT		
OVER HEAD DOOR		
BASIN BOUNDARY		
SLIDING GATE		

DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are top of pavement unless noted otherwise.

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.

BRASHER & LORENZ
CONSULTING ENGINEERS

2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-885-1100 Fax: 505-885-1100

RECEIVED

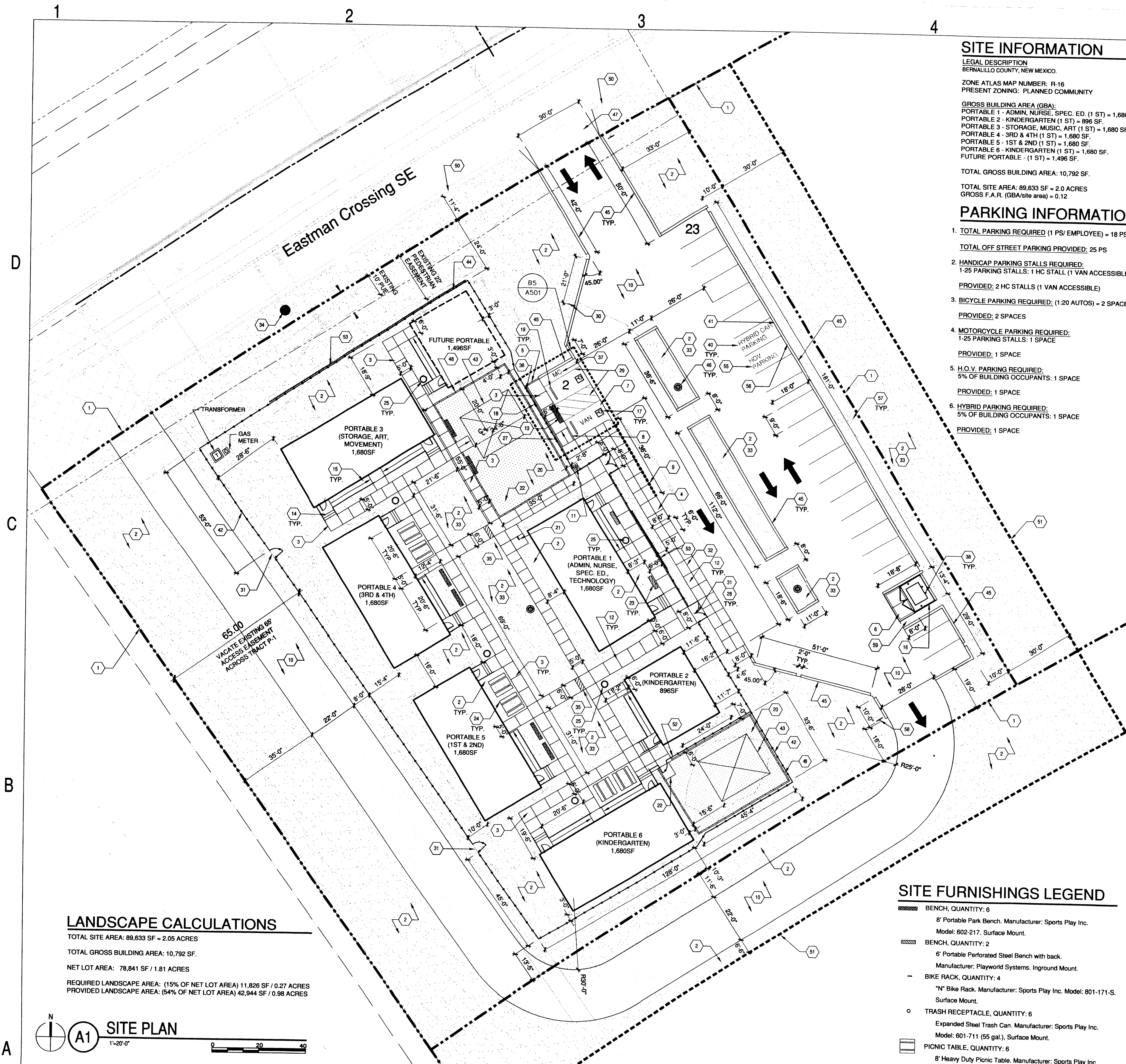
SEP 09 2009

HYDROLOGY SECTION

GRADING AND DRAINAGE PLAN

PREVENTIVE PEST CONTROL

DRAWN	WLB	CHECKED	DAL
BLI JOB	8517	DATE	8/27/08
SCALE	1" = 20'	SHEET	C1 of 1



LANDSCAPE CALCULATIONS
TOTAL SITE AREA: 89,633 SF = 2.05 ACRES
TOTAL GROSS BUILDING AREA: 10,792 SF.
NET LOT AREA: 78,841 SF / 1.81 ACRES
REQUIRED LANDSCAPE AREA: (15% OF NET LOT AREA) 11,826 SF / 0.27 ACRES
PROVIDED LANDSCAPE AREA: (54% OF NET LOT AREA) 42,944 SF / 0.98 ACRES

SITE PLAN
1"=20'-0"

SITE INFORMATION

LEGAL DESCRIPTION
BERNALILLO COUNTY, NEW MEXICO.
ZONE ATLAS MAP NUMBER: R-16
PRESENT ZONING: PLANNED COMMUNITY
GROSS BUILDING AREA (GBA):
PORTABLE 1 - ADMIN, NURSE, SPEC. ED. (1 ST) = 1,680 SF.
PORTABLE 2 - KINDERGARTEN (1 ST) = 896 SF.
PORTABLE 3 - STORAGE, MUSIC, ART (1 ST) = 1,680 SF.
PORTABLE 4 - 3RD & 4TH (1 ST) = 1,680 SF.
PORTABLE 5 - 1ST & 2ND (1 ST) = 1,680 SF.
PORTABLE 6 - KINDERGARTEN (1 ST) = 1,680 SF.
FUTURE PORTABLE - (1 ST) = 1,496 SF.
TOTAL GROSS BUILDING AREA: 10,792 SF.
TOTAL SITE AREA: 89,633 SF = 2.0 ACRES
GROSS F.A.R. (GBA/site area) = 0.12

PARKING INFORMATION

- TOTAL PARKING REQUIRED:** (1 PS/EMPLOYEE) = 18 PS
TOTAL OFF STREET PARKING PROVIDED: 25 PS
- HANDICAP PARKING STALLS REQUIRED:**
1-25 PARKING STALLS: 1 HC STALL (1 VAN ACCESSIBLE)
PROVIDED: 2 HC STALLS (1 VAN ACCESSIBLE)
- BICYCLE PARKING REQUIRED:** (1:20 AUTOS) = 2 SPACES
PROVIDED: 2 SPACES
- MOTORCYCLE PARKING REQUIRED:**
1-25 PARKING STALLS: 1 SPACE
PROVIDED: 1 SPACE
- H.O.V. PARKING REQUIRED:**
5% OF BUILDING OCCUPANTS: 1 SPACE
PROVIDED: 1 SPACE
- HYBRID PARKING REQUIRED:**
5% OF BUILDING OCCUPANTS: 1 SPACE
PROVIDED: 1 SPACE

SITE FURNISHINGS LEGEND

- BENCH, QUANTITY: 6
8' Portable Park Bench, Manufacturer: Sports Play Inc. Model: 602-217. Surface Mount.
- BENCH, QUANTITY: 2
6' Portable Perforated Steel Bench with back. Manufacturer: Playworld Systems. Inground Mount.
- BIKE RACK, QUANTITY: 4
"N" Bike Rack, Manufacturer: Sports Play Inc. Model: 801-171-S. Surface Mount.
- TRASH RECEPTACLE, QUANTITY: 6
Expanded Steel Trash Can, Manufacturer: Sports Play Inc. Model: 601-711 (55 gal.). Surface Mount.
- PICNIC TABLE, QUANTITY: 6
8' Heavy Duty Picnic Table, Manufacturer: Sports Play Inc. Model: 602-501. Surface Mount.

GENERAL SHEET NOTES

- PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- THERE ARE NO EXISTING STRUCTURES WITHIN 20 FEET OF THE SITE.
- TRACT REFERENCES ARE TO THE TRACTS AS CONFIGURED AND ALIGNED IN THE SITE DEVELOPMENT PLAN.
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- THERE ARE NO PEDESTRIAN TRAILS CURRENTLY LOCATED IN THE VICINITY.
- ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL LIGHTING SHALL COMPLY TO LIGHTING STANDARDS OF THE MESA DEL SOL EMPLOYMENT CENTER MASTER DEVELOPMENT PLAN.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS. SEE ELECTRICAL PLANS.
- LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL DISCIPLINES AND CONTRACTORS.

SHEET KEYNOTES

- LEASE LINE, SEE LEGEND.
- LANDSCAPE AREA, SEE SHEET L101.
- CONCRETE SIDEWALK, SEE A2 & A4/AS-501.
- CONCRETE TURNDOWN SIDEWALK, SEE A3/AS-501.
- 6" CONCRETE HEADER CURB, SEE D1/AS-501.
- HEAVY DUTY CONCRETE PAVING, SEE C1/AS-501.
- ASPHALT PAVING, SEE C2/AS-501.
- CONCRETE ACCESSIBLE RAMP, SEE A5/AS-501.
- FIRE ACCESS LANE, SIGNAGE AND STRIPING.
- BASE COURSE ROAD, SEE CIVIL.
- FLAGPOLE, SEE A4/AS-502.
- EXPANSION JOINT, SEE B1/AS-501.
- DETECTABLE WARNING SURFACE, SEE D2/AS-501.
- STAIRS AT PORTABLE, SEE A2/AS-502.
- RAMP AT PORTABLE, SEE A1/AS-502.
- DUMPSTER ENCLOSURE, SEE C4-C5/AS-501.
- ACCESSIBLE PAVEMENT MARKINGS, SEE B5 & D3/AS-501.
- ACCESSIBLE PARKING SIGN ATTACHED TO FENCE.
- CONCRETE PARKING BUMPER, SEE B2/AS-501.
- PLAYGROUND SURFACING AND PLAY EQUIPMENT BY OTHERS.
- BIKE RACK, SEE SITE FURNISHINGS LEGEND.
- CONCRETE RAMP IN PLAY AREA, SEE D5/AS-501.
- BENCH, SEE SITE FURNISHINGS LEGEND.
- PICNIC TABLE, SEE SITE FURNISHINGS LEGEND.
- LITTER RECEPTACLE, SEE LEGEND.
- VAN ACCESSIBLE PARKING.
- VAN ACCESSIBLE SIGN, SEE B3/AS-501.
- CEDAR GATE WITH STANDARD GATE HARDWARE.
- 4" WIDE PAINTED (SAFETY WHITE) STRIPING, TYP, SEE B5/AS-501.
- ONE WAY SIGN, SEE B3/AS-501.
- TEMPORARY 6" HIGH CEDAR WALK GATE.
- PICK-UP / DROP-OFF AREA.
- WATER HARVESTING AREA, SEE CIVIL & AS-102.
- FIRE HYDRANT, SEE CIVIL.
- SIDEWALK CULVERT, SEE CIVIL.
- MOTORCYCLE ONLY PARKING SIGN, SEE B3/AS-501.
- MOTORCYCLE PARKING.
- PIPE BOLLARD, SEE B4/AS-501.
- EMERGENCY GENERATOR, SEE ELECTRICAL.
- HYBRID CAR PARKING.
- HYBRID CAR PARKING SIGN, SEE B3/AS-501.
- TEMPORARY 6" HIGH CEDAR FENCE.
- 20'X24' SHADE STRUCTURE BY OWNER.
- SIGNAGE ON FENCE.
- UTILITY POLE EDGE, SEE A5/AS-502.
- SITE LIGHTING, SEE ELECTRICAL PLAN & A3/AS-502.
- DRIVE PAD, SEE CIVIL.
- 4" PLASTIC PLAYGROUND SURFACE BARRIER.
- OPENING IN WOOD EDGING FOR DRAINAGE, SEE CIVIL.
- CONCRETE CURB AND GUTTER, SEE A1/AS-501.
- LIMITS OF WORK.
- TEMPORARY 4" HIGH CEDAR FENCE AND GATE.
- 5'-8" VINYL FENCE MESH ATTACHED TO CEDAR FENCE, SEE B2/AS-502.
- STOP SIGN, SEE B3/AS-501.
- HOV CAR PARKING.
- HOV CAR PARKING SIGN, SEE B3/AS-501.
- RIP RAP BLANKET, SEE CIVIL.
- DO NOT ENTER SIGN, SEE B3/AS-501.
- RECYCLING AREA

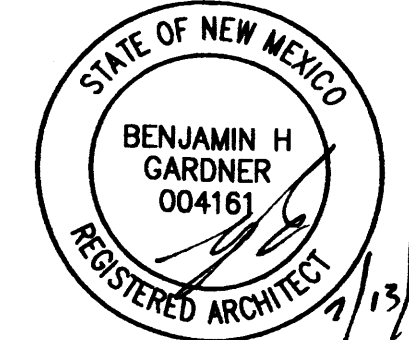
LEGEND

SYMBOL:	DESCRIPTION:
	LEASE LINE
	LIMITS OF WORK
	COMPACTED BASE COURSE ROAD
	LANDSCAPE AREA - SEE L-101 AND L-501
	PLAYGROUND SURFACING, MATERIAL BY OWNER



7601 Jefferson NE Suite 100
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505 761-9700
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dps@dpsdesign.org

ARCHITECT

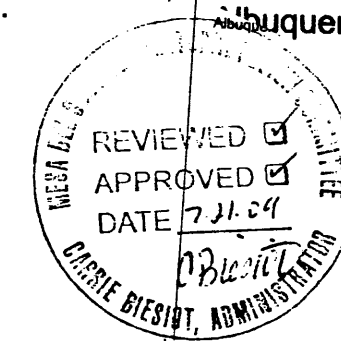


ENGINEER

PROJECT

The International School at Mesa del Sol

2660 Eastman Crossing SE
Albuquerque, NM 87106



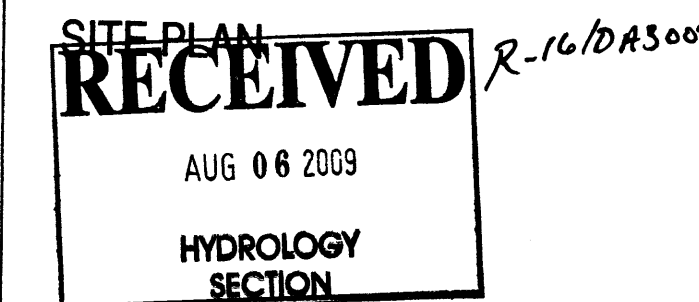
TRAFFIC CIRCULATION LAYOUT APPROVED

AS 8/6/9
Signed _____ Date _____

REVISIONS



DRAWN BY SY/KP
REVIEWED BY CM/WG
DATE 7-13-2009
PROJECT NO. 09-0042
DRAWING NAME



SHEET NO.

AS-101
OF