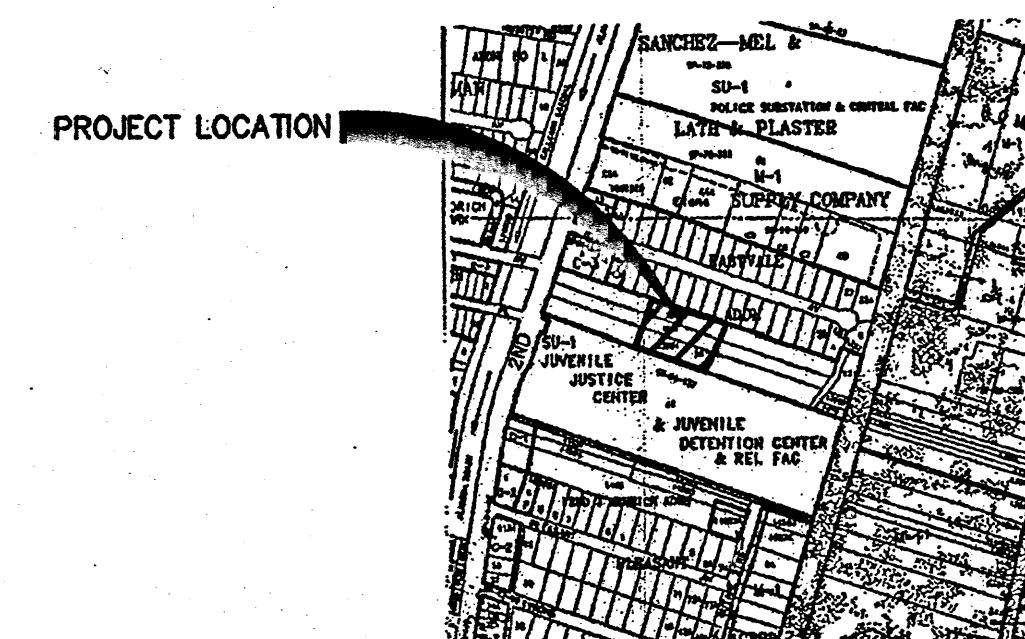


# LEGEND

- EXISTING BASIN BOUNDARY
- EXISTING 4" PCC SIDEWALK
- PROPOSED BASIN BOUNDARY
- PROPERTY LINE
- PROPOSED RAIL ROAD TIES
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED LANDSCAPED AREA



LOCATION MAP  
ZONE ATLAS MAP NO. F-15

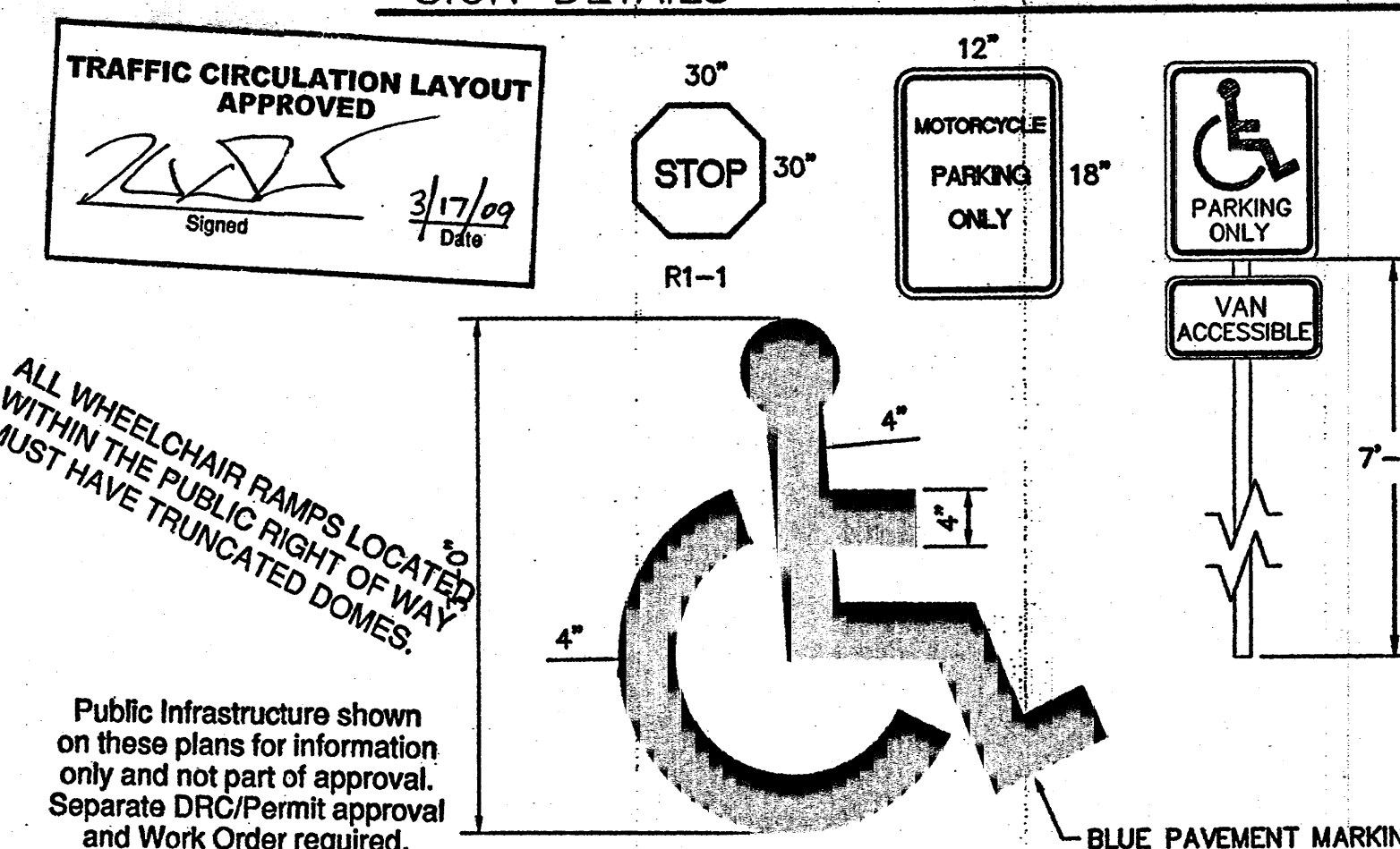
## GENERAL NOTES

- ALL RADII DIMENSIONS ARE PROVIDED TO THE FACE OF CURB.

## SHEET KEY NOTES

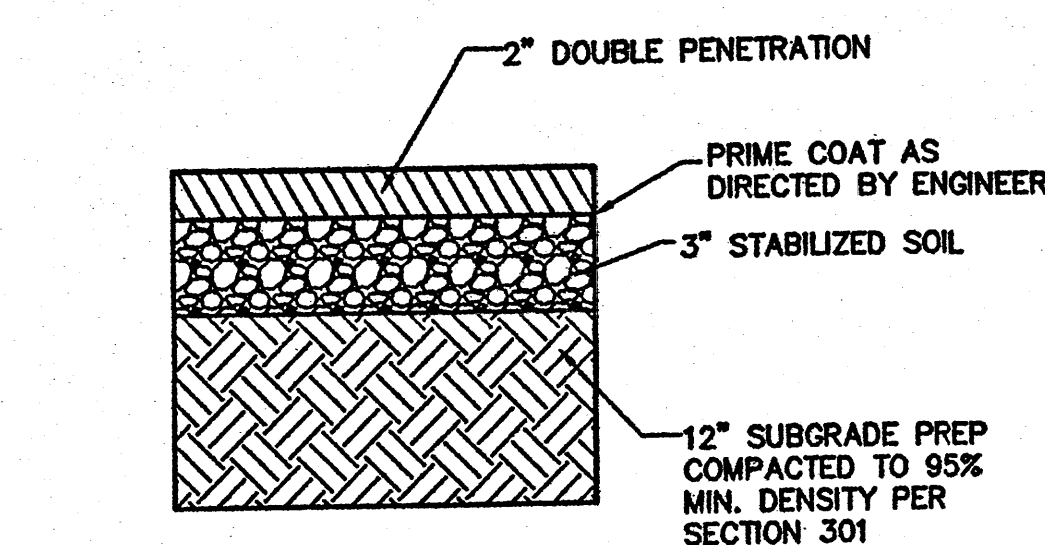
- 24' PRIVATE COMMON ACCESS EASEMENT.
- 10' PUBLIC UTILITY EASEMENT.
- 26' PUBLIC WATERLINE AND PUBLIC SEWERLINE EASEMENT.
- 36' AND 20' PRIVATE INGRESS/EGRESS AND PRIVATE DRAINAGE EASEMENT.
- INSTALL 4" WIDE SOLID WHITE PARKING STRIPE.
- INSTALL 3" ASPHALT. SEE DETAIL THIS SHEET.
- INSTALL ADA ACCESS RAMP.
- INSTALL PARKING RAIL ROAD TIES, SEE DETAIL THIS SHEET.
- INSTALL BLUE ADA PARKING SYMBOL, SEE DETAIL THIS SHEET.
- INSTALL REFUSE ENCLOSURE. SEE DETAIL THIS SHEET. INCLUDE 4'x6' RECYCLE AREA.
- INSTALL ADA PARKING SIGN WITH VAN ACCESSIBLE SIGN. SEE DETAIL THIS SHEET.
- INSTALL 12" WIDE SOLID WHITE STOP BAR STRIPE.
- INSTALL 1 - R1-1 STOP SIGN & POST. SEE DETAIL THIS SHEET.
- INSTALL 18" HEADER CURB PER STD DWG 2415B. SEE DETAIL THIS SHEET.
- INSTALL MOTORCYCLE PARKING SIGN.
- INSTALL BIKE RACK.

## SIGN DETAILS



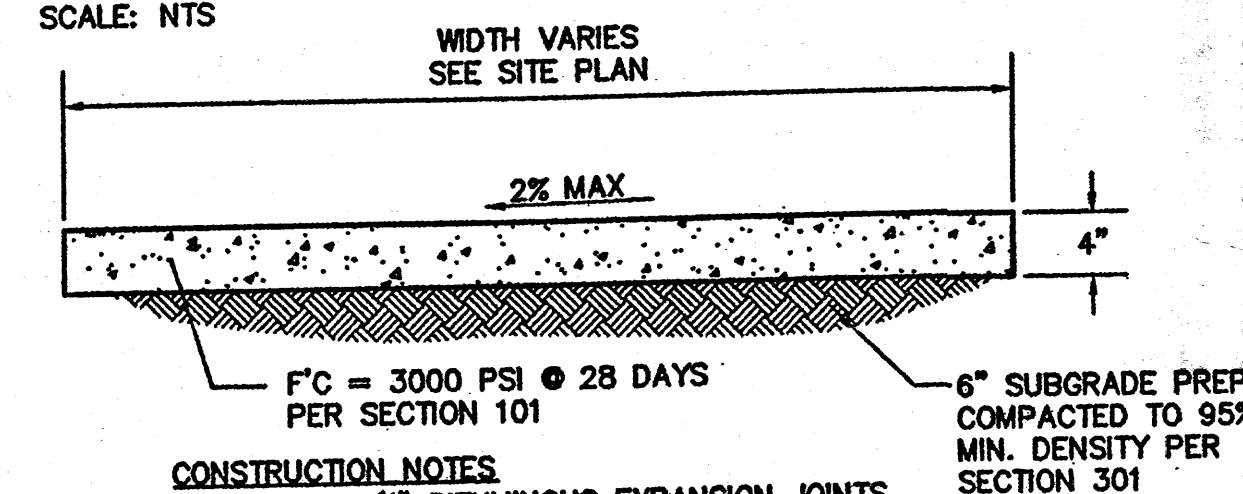
## ADA PAVEMENT MARKING DETAIL

SCALE 1"= 1'



## 2" ASPHALT SECTION DETAIL

SCALE: NTS

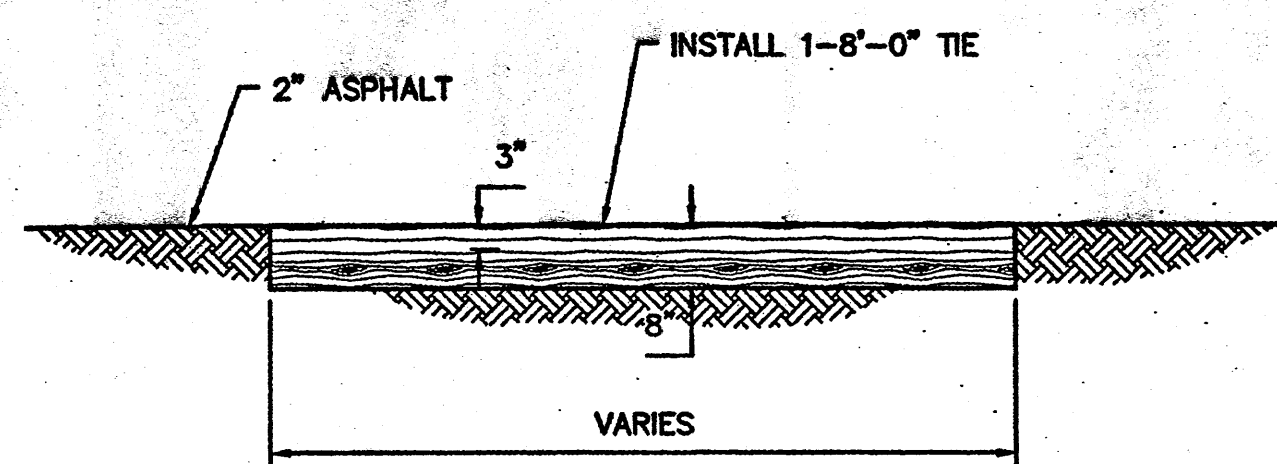


### CONSTRUCTION NOTES

- INSTALL 1/2" BITUMINOUS EXPANSION JOINTS WHERE SIDEWALK ABUTS BUILDINGS, FENCES, SILCA, FLEX POLYMER JOINT SEALANT OR APPROVED EQUAL.
- INSTALL CONTRACTION JOINTS AT 6'-0" O.C.
- LIGHT BROOM FINISHED CONCRETE SURFACE REQUIRED.

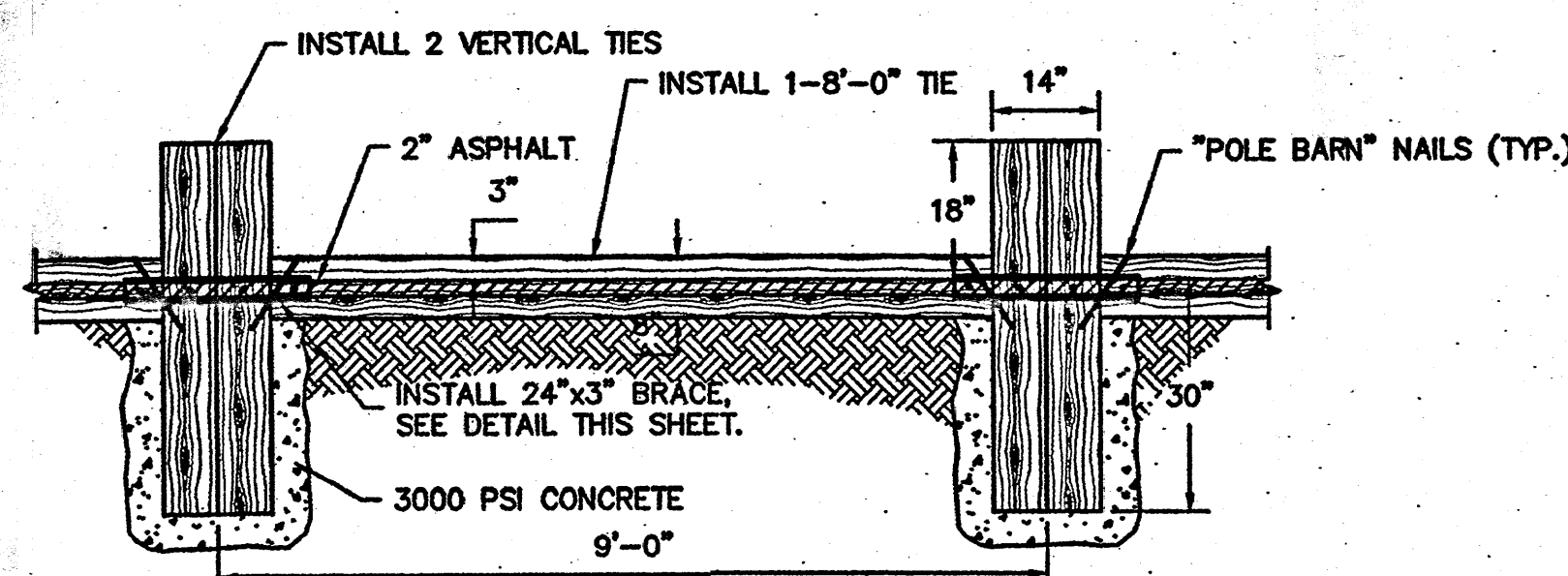
## 4" PCC DETAIL

SCALE: NTS



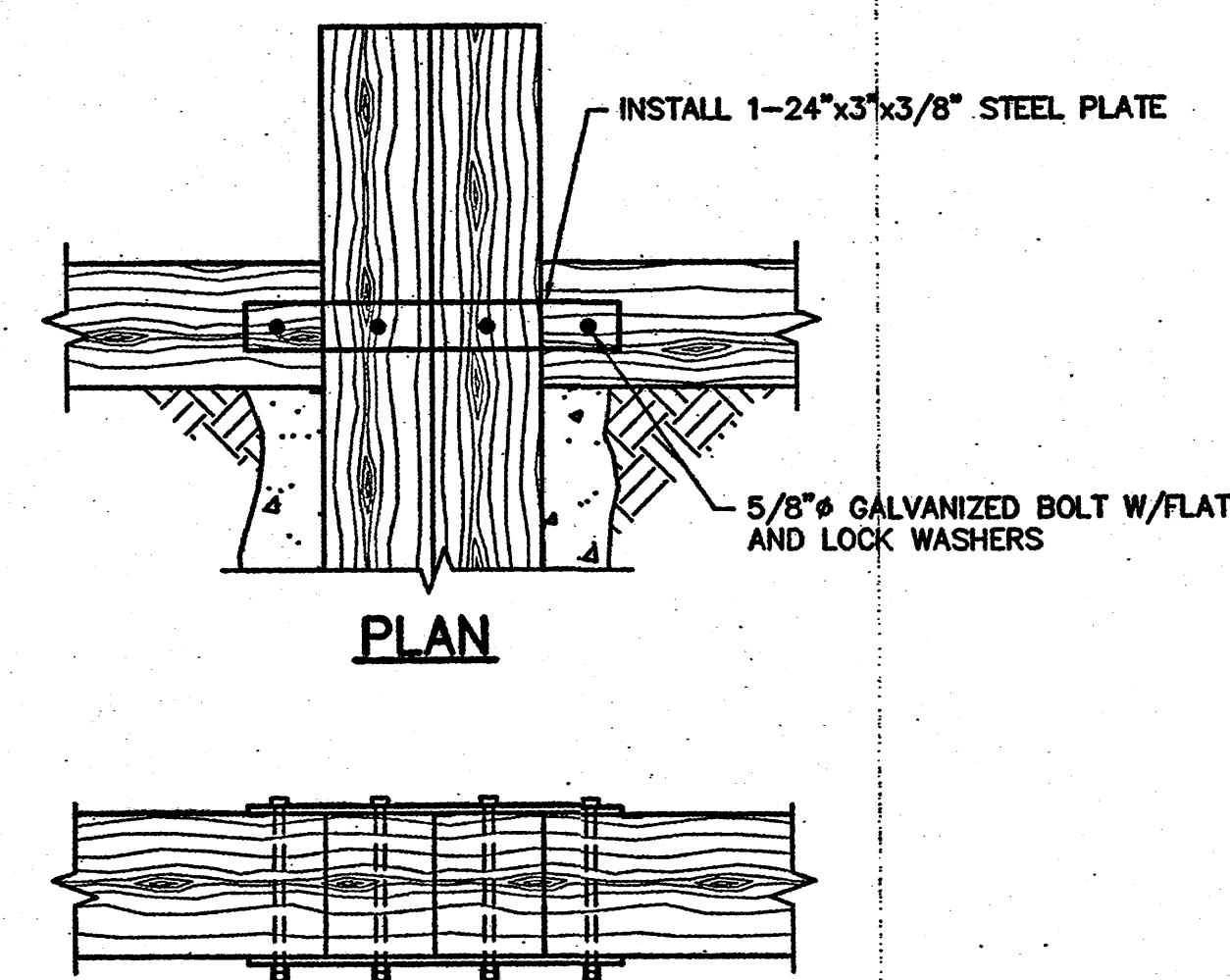
## AT-GRADE RAILROAD TIE DETAIL

SCALE: 1"=2'



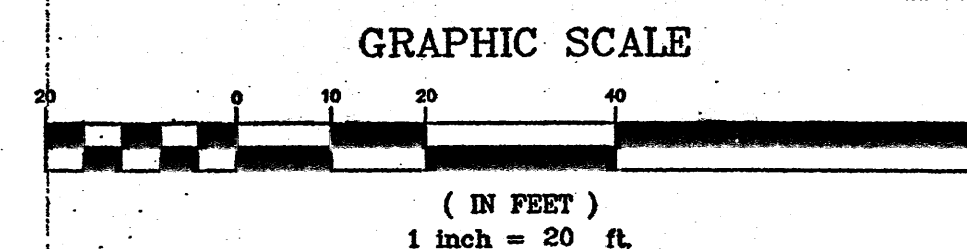
## PARKING RAILROAD TIE DETAIL

SCALE: 1"=2'



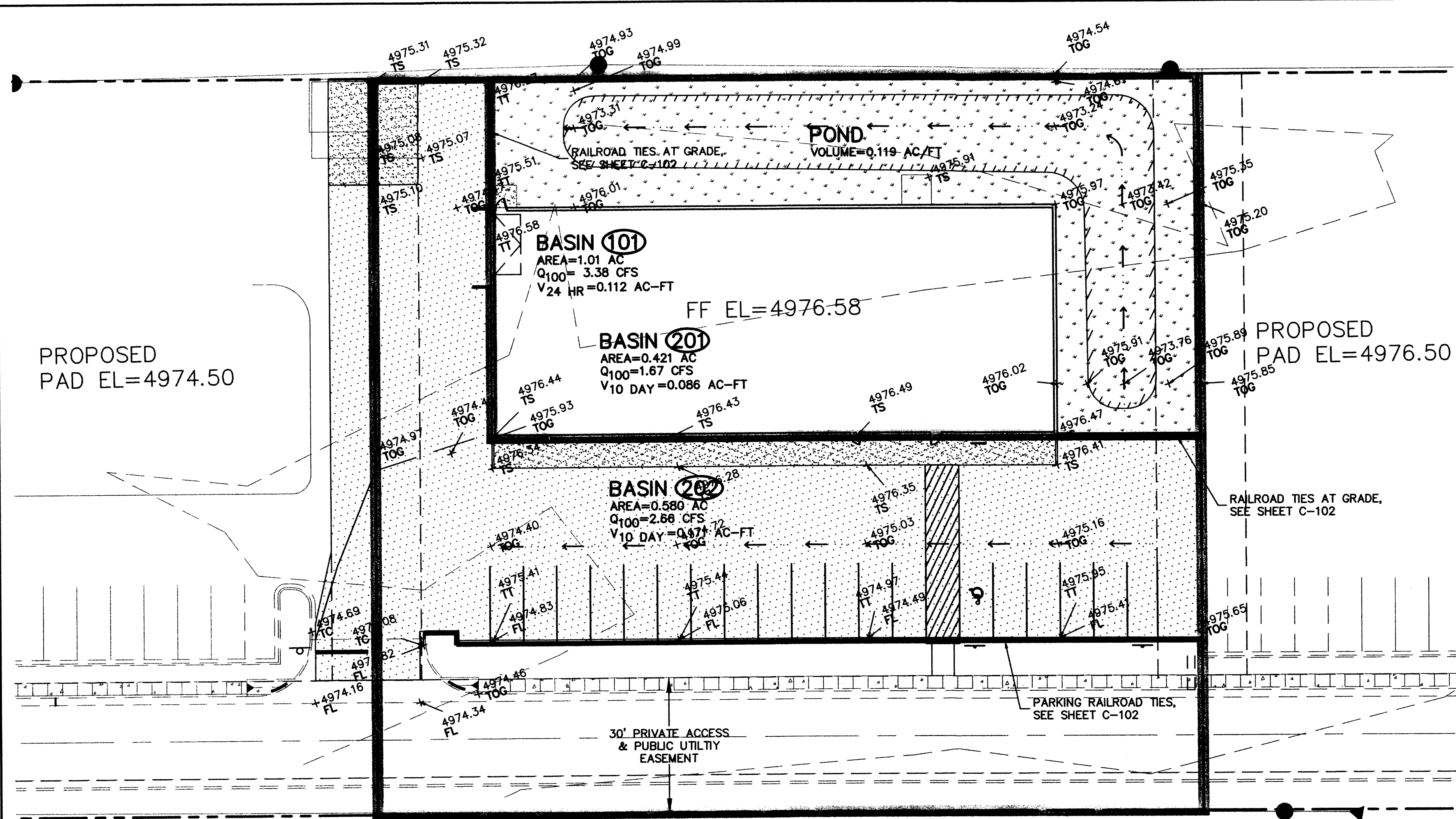
## RAILROAD TIE BRACKET

SCALE: 1"=1'



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
LOT 3 OF NORTH 2ND STREET BUSINESS CENTER			
TRAFFIC CIRCULATION LAYOUT			
DESIGN	M.J.	WCEA NO. 0860003300	DATE MAY 2007
DRAWN	STAFF	PROJECT NO.	SHEET NO.
CHECK	M.J.	N/A	C-102





LOT 3 OF NORTH 2<sup>ND</sup> STREET BUSINESS CENTER

Grading & Drainage  
Drainage Report

**Site Location:** Lot 3 of North 2<sup>nd</sup> Street Business Center is located at 5128 2<sup>nd</sup> Street NW just south of the intersection of Montano Road and 2<sup>nd</sup> street. A master grading and drainage report for North 2<sup>nd</sup> Street Business Center was approved on 6/15/07. The proposed business center comprises of six lots each approximately one acre.

**Methodology:** Section 22.2 of City of Albuquerque DPM was followed to calculate the design volume. The charts and formulas in Part A were followed using the 100-year frequency 6-hour rainfall as the design storm. The site is located in Zone 2 as determined from Table A-1. The total storm volume was calculated as per section A.5. The peak discharge was calculated as per section A.6.

**Existing Conditions:** Improvements are currently being added to the Business Center which includes a private access road, curb and gutter, and the development of Lot 1. The private access road bounds the southerly edge of Lot 3. No other development has occurred in Lot 3.

Existing volumetric runoff and peak discharge quantities are as shown below:

Table 1 – Existing Conditions							
Treatment							
Basin	Area (ac)	A (%)	B (%)	C (%)	D (%)	V <sub>50yr</sub> (ac-ft)	Q <sub>p</sub> (cfs)
101	1.001	0	0	85	15	0.112	3.38
Total	1.001					0.112	3.38

Table 1 - Provides a breakdown of existing volumetric runoff and peak discharge of the site.

**Proposed Conditions:**

The proposed improvements include adding a building envelope of approximately 9,500 ft<sup>2</sup>, asphalt parking, and landscaping around the building. Runoff generated in Basin 201 is contained within its basin. A pond of approximately 0.120 Ac-Ft was built north and east of the proposed building. Runoff generated in Basin 202 drains to the private road south of Lot 3.

Proposed volumetric runoff and peak discharge quantities are as shown below:

Table 2 – Proposed Conditions							
Treatment							
Basin	Area (ac)	A (%)	B (%)	C (%)	D (%)	V <sub>10day</sub> (ac-ft)	Q <sub>100</sub> (cfs)
201	0.421	0	0	49	51	0.086	1.66
202	0.580	0	0	93	7	0.171	2.66
Total	1.001					0.257	4.32

Table 2 - Provides a breakdown of proposed volumetric runoff and peak discharge of the site.

**Conclusion:**

The total discharge produced from this lot is 4.32 cfs; however, 1.66 is retained onsite. The purpose of this report and grading plan is to secure a Certificate of Occupancy for Lot 3.

"DRAINAGE CERTIFICATION"

I, TYLER ASHTON, NMPE # 16205, OF THE FIRM WILSON & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE AS BUILT PLAN DATED 3-10-2009. THE RECORD INFORMATION HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE SITE WAS NOT GRADED PER THE APPROVED G&D PLAN DATED 9-10-08, THE OWNER CHANGED THE DRAINAGE PLAN WHILE UNDER CONSTRUCTION. THIS PLAN AND REVISED DRAINAGE REPORT REPRESENTS AS BUILT CONDITIONS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Tyler Ashton*  
TYLER ASHTON, NMPE # 16205

3-12-09  
DATE



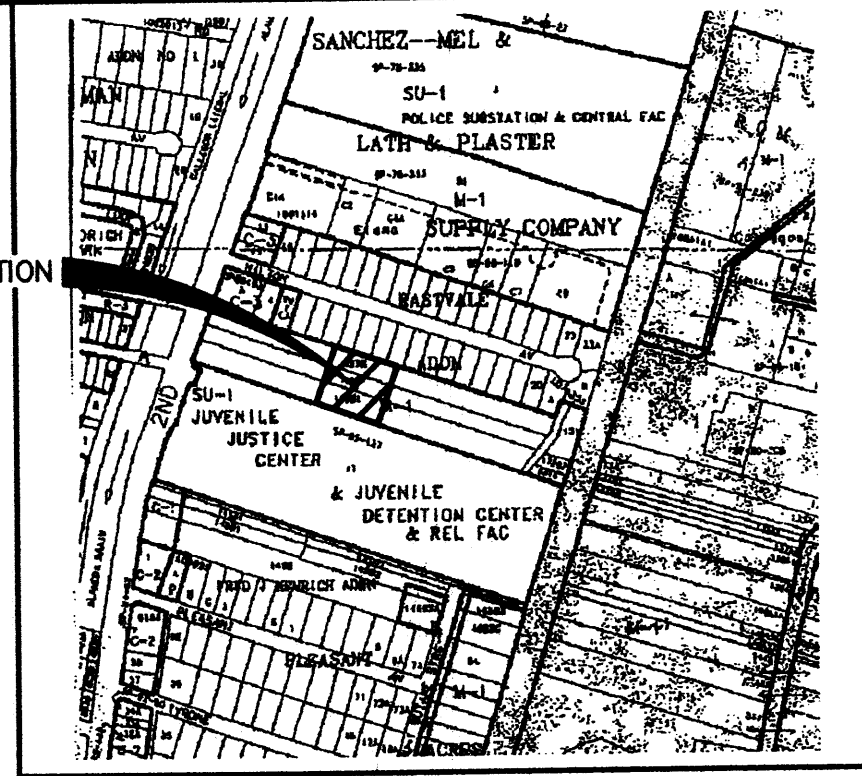
GRADING NOTES

- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
- PADS SHALL NOT VARY FROM A TRUE HORIZONTAL PLANE BY MORE THAN +0.1 FOOT AT ANY POINT. THIS TRUE PLANE SHALL NOT VARY FROM THE SHOWN PAD ELEVATION BY +0.2 FOOT, UNLESS PERMITTED BY OWNER.
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL REGULATION WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS AND GRADING OPERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS AND INSPECTION APPROVALS NECESSARY FOR THE CONSTRUCTION OF THESE FACILITIES AND ALL GRADING OPERATIONS.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- UNLESS OTHERWISE SHOWN, DRAINAGE SWALES SHALL HAVE A MINIMUM 1% SLOPE IN THE DIRECTION OF FLOW.

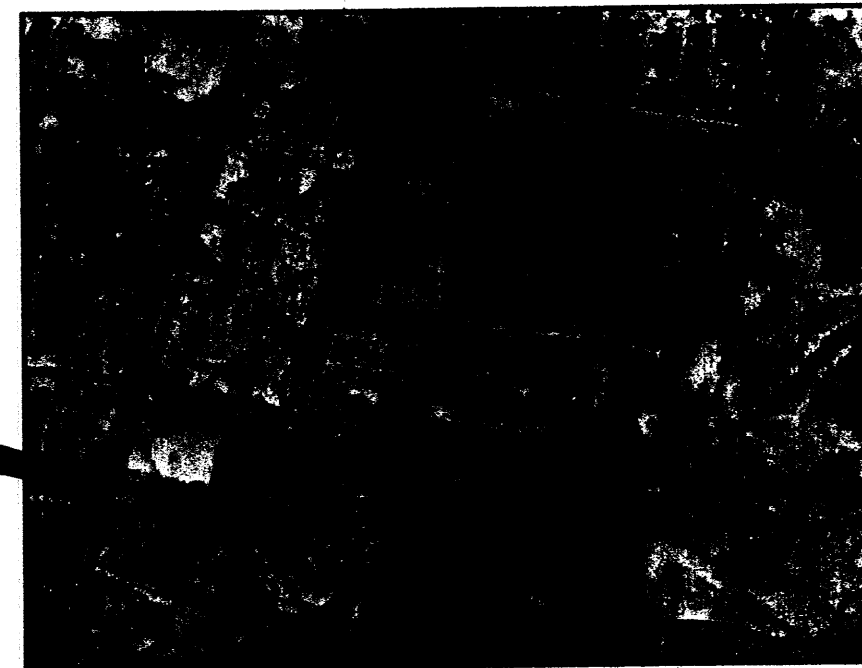
LEGEND

	EXISTING 4" PCC SIDEWALK
	PROPOSED LANDSCAPE
	PROPOSED ASPHALT
	BASIN 101 EXISTING BASIN DESIGNATION
	BASIN 201 PROPOSED BASIN DESIGNATION
	EXISTING BASIN BOUNDARY
	PROPOSED BASIN BOUNDARY
	SWALE/DIRECTION OF SURFACE FLOW
	PROPERTY LINE
TA	TOP OF ASPHALT
TC	TOP OF CURB
TS	TOP OF SIDEWALK / TOP OF SLAB
FL	FLOW LINE
FG	FINISH GRADE
ME	MATCH EXISTING
HP	HIGH POINT
	BREAKLINE

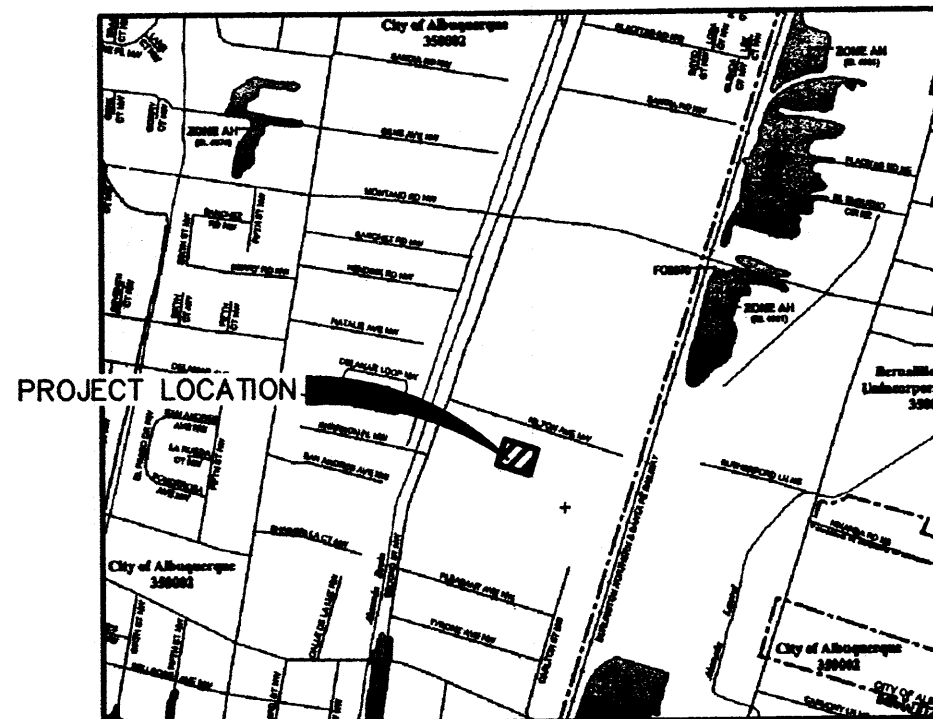
PROJECT LOCATION



LOCATION MAP  
ZONE ATLAS MAP NO. F-15



SOILS MAP  
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 21



FLOOD INSURANCE MAP  
REFERENCE: FLOOD INSURANCE STUDY PANEL 35001C0119E

LEGAL DESCRIPTION

A TRACT OF LAND SITUATE IN PROJECTED SECTION 33, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, COMPRISED OF PARCEL 2 TRACT 127B, MRGCD MAP 32; PARCEL 3, TRACT 128B, MRGCD MAP 32; PARCEL 4, TRACT 129 B-2, 131 AND 131A, MRGCD MAP 32, AND A PORTION OF THE VACATED GALLEGOS LATERAL (FILED AUGUST 29, 1975, BOOK MISC. 437, PP. 740, 741).

BENCH MARK

ACS STATION 8-F15 1 3/4" ALUMINUM DISK EPOXIED TO THE TOP OF A CONCRETE BASE OF A GALVANIZED STEEL ELECTRIC TRANSMISSION LINE POLE, APPROXIMATELY 10' NORTH OF THE NORTHWEST OF THIS PROPERTY. ELEVATION 4973.196 (NGVD 1988)

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
LOT 3 OF NORTH 2ND STREET BUSINESS CENTER			
GRADING & DRAINAGE PLAN			
DESIGN	MJ	WCEA NO.0860003300	DATE MAY 2007
DRAWN	STAFF	PROJECT NO. N/A	SHEET NO. C-101
CHECK	MJ		

