

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 2, 2023

Scott McGee, P.E.
9700 Sand Verbena Trail NE
Albuquerque, NM 87122

**RE: La Plata Apartments - Addition
Grading & Drainage Plan
Engineer's Stamp Date: 02/13/23
Hydrology File: F15D058**

Dear Mr. McGee:

Based upon the information provided in your submittal received 02/22/2023, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: LA PLATA APARTMENTS **Building Permit #:** _____ **Hydrology File #:** F-15
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT A Land division of Lots 2-16 FOREST ACRES
City Address: 145 LA PLATA RD NW

Applicant: SMM PE **Contact:** Scott McGee
Address: P O BOX 93962
Phone#: 263-2905 **Fax#:** _____ **E-mail:** scottmmcgee@gmail.com

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 2/22/23 **By:** Scott M McGee

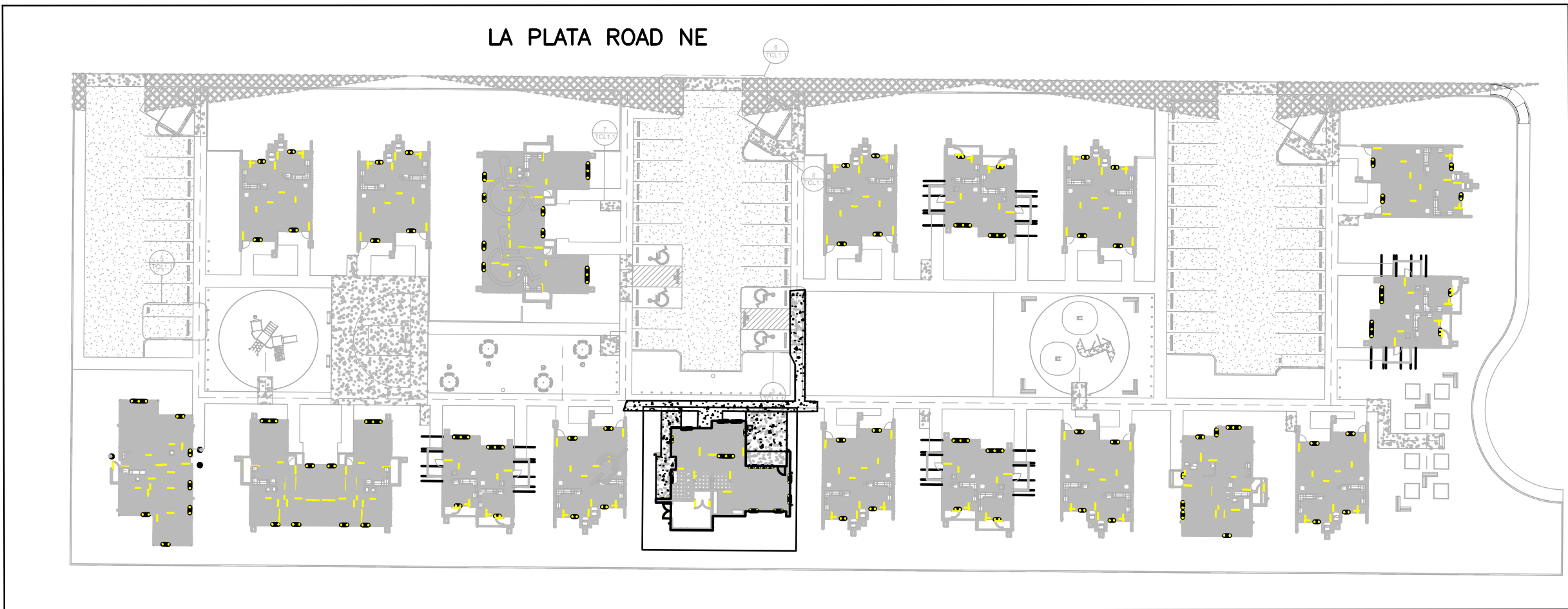
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



GRADING AND DRAINAGE PLAN



OVERALL SITE PLAN

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 03/02/23
BY: *Rebecca Brumfield*
HydroTeam # F15D058



VICINITY MAP F-15-Z

KEYED NOTES:

- 1 NEW 12" WIDE DRAINAGE SIDEWALK DRAINAGE CULVERT WITH STEEL TOP. SEE CITY OF ALBUQUERQUE STD DWG 2236
- 2 NEW 18" WIDE CURB CUT.
- 3 NEW HANDICAP PARKING 4" YELLOW STRIPE (TYP) IN ACCORDANCE WITH THE LATEST MUTCD.
- 4 NEW 6" CURB RAMPS.

DRAINAGE ANALYSIS

ADDRESS: 145 La Plata Rd NW, Albuquerque, NM

LEGAL DESCRIPTION: Tract A, Land Division of Lots 2-16 Forest Acres

SITE AREA: 2.73 AC (119,249 SF) Disturbed area= 14,600 SF

BENCHMARK: COA BM "US Coast & Geodetic Survey Douglas 1969" monument
ELEV= 4975.06 (NAVD 1988)
SURVEYOR: Souder Miller & Assocs. dated January, 2023
PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0119G (9/26/2008), this site is identified as being within Zone 'X' which is a reduced flood risk area due to levee and determined to be outside the 1% annual chance floodplain.

OFFSITE FLOW: The site does not accept offsite flow as a public street borders the site to the north. Existing residential development surrounds the site on all other sides.

EXISTING CONDITIONS: The site is currently developed as a multi-family development with existing paved access and parking areas. The site is very flat but slopes down to La Plata Road to the north.

PROPOSED IMPROVEMENTS: The proposed improvements include an 1,870 SF community building, asphalt parking, and xeric depressed landscaping. This project is considered redevelopment of an existing impervious site.

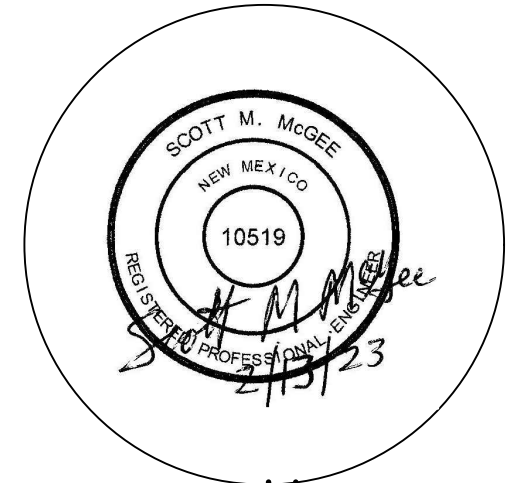
DRAINAGE APPROACH: The north ½ of the building will drain to Pond A while the south ½ of the building and new parking area will drain to the south to Pond B. SWQ volumes provided exceed the required amounts.

Existing land treatment: 85% C & 15% D
 $Q = [(.85)(3.05) + (.15)(4.34)](0.33) = 1.1$ CFS
Proposed land treatment: 56% C and 44% D
 $Q = [(0.56)(3.05) + (0.44)(4.34)](0.33) = 1.2$ CFS

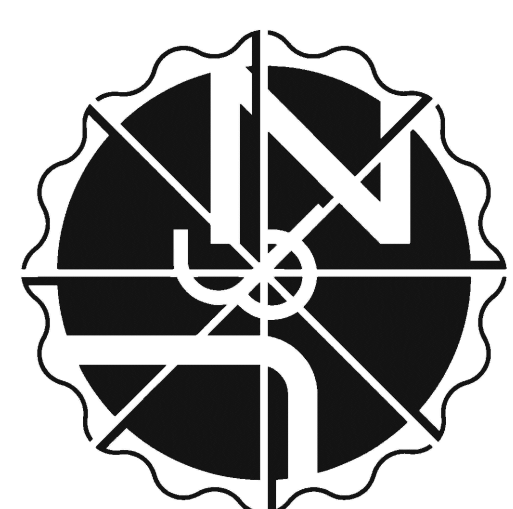
SWQ V= (6,424)(0.26/12)= 139 CF
Valley Drainage V= (6,424)(0.5/12)= 268 CF

The developed flow will discharge to onsite retention ponding areas located west and east of the new building. The SWQ volume of 272 CF will be retained in the pond bottom. Site discharge will not be increased.

For 18" curb opening—Weir Q = $CLH^{3/2} = (2.7)(1.5)(0.5)^{3/2} = 1.4$ CFS



JEEBS & ZUZU, LLC.
5924 ANAHEIM AVENUE NE SUITE 87113
ALBUQUERQUE, NM 87113
P: 505-797-1318



job no: 22-013
drawn: EAM
checked: J&Z
date: May 16, 2022

www.jeebsandzuzu.com

GRADING AND DRAINAGE PLAN

120 La Plata

120 La Plata Rd NW,
Albuquerque, NM
87107

sheet no:
C-GD1.0