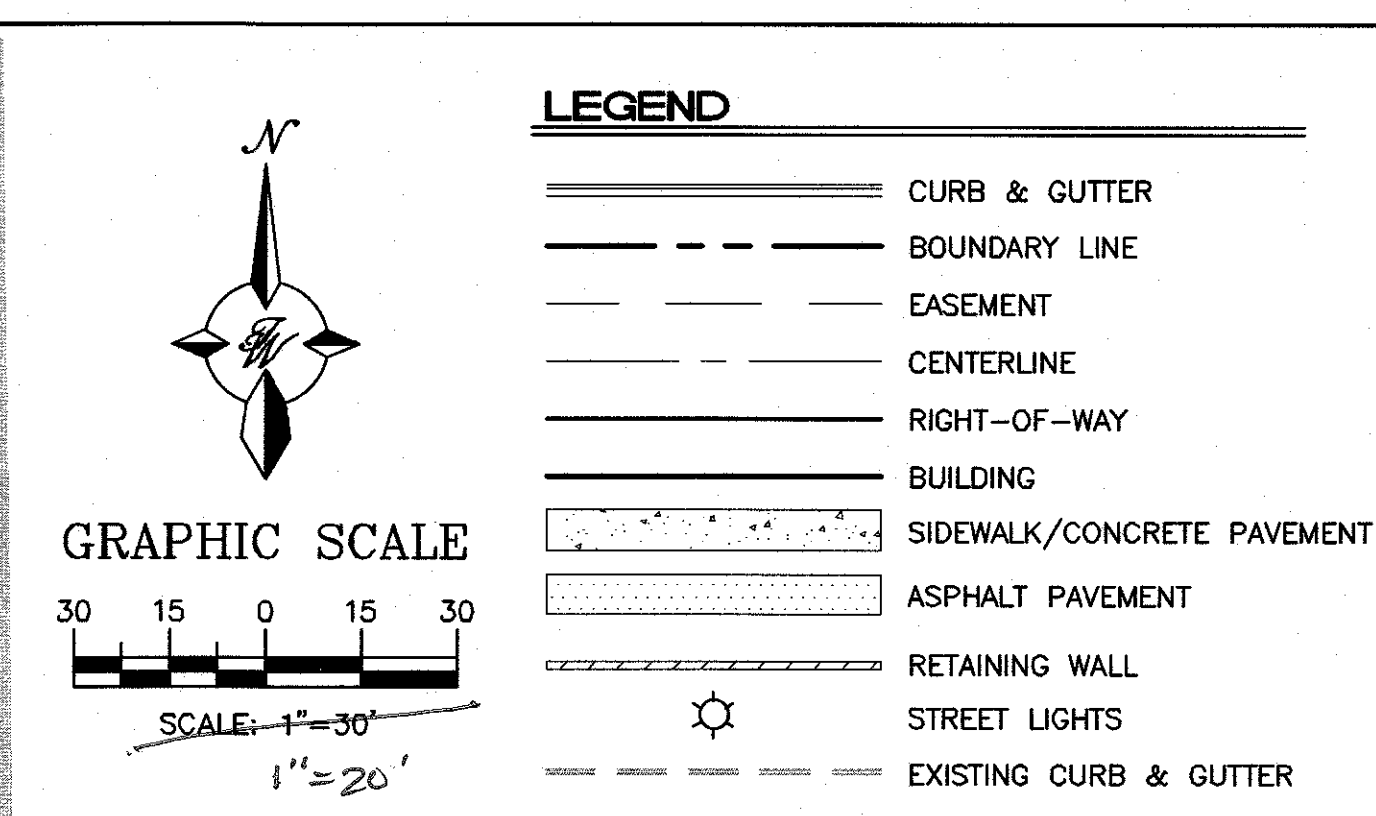
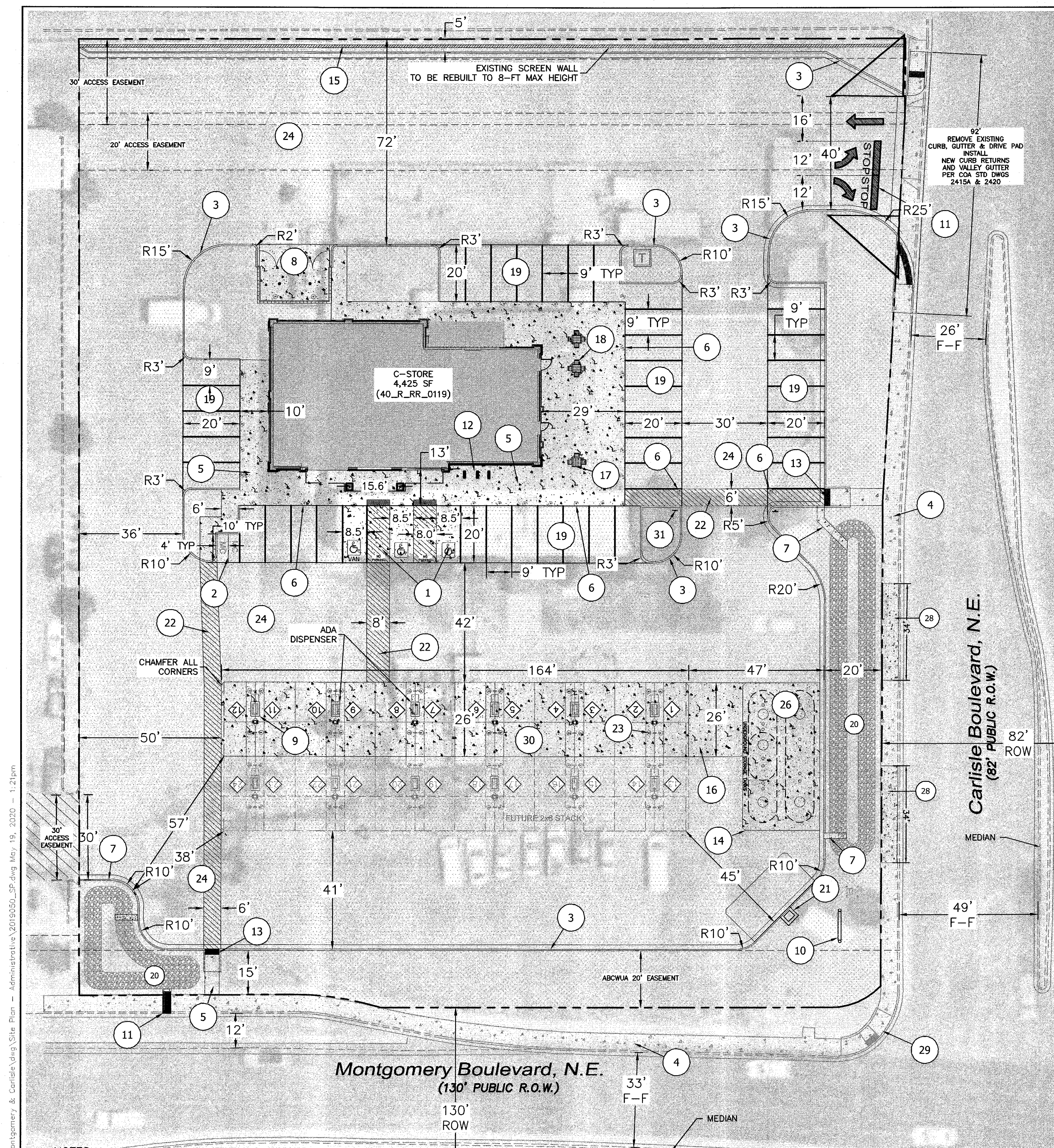


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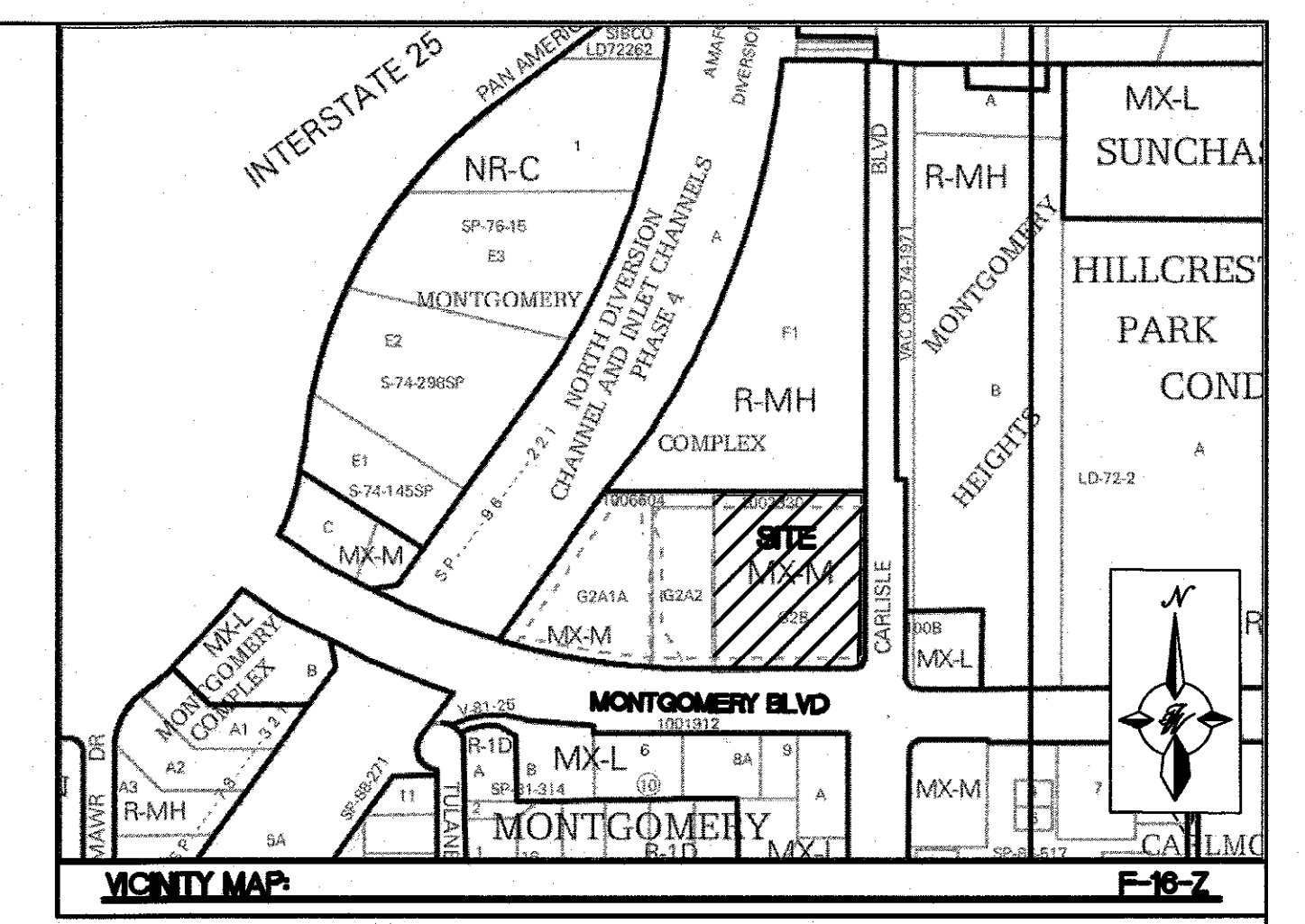


KEYED NOTES

- 1 CONCRETE ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C7, C9 & C10)
- 2 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C7)
- 3 ON-SITE CATCH TYPE CURB & GUTTER (SEE DETAIL SHT. C8)
- 4 EXISTING 6' PUBLIC SIDEWALK
- 5 CONCRETE SIDEWALK (SEE DETAIL SHT. C8)
- 6 BOLLARDS (SEE DETAIL SHT. C9)
- 7 2' CONCRETE RUNDOWN
- 8 DUMPSTER (SEE DETAIL SHT. C6)
- 9 GAS PUMP ISLAND (TYP) (SEE DETAIL SHT. C10)
- 10 MAVERIK MONUMENT SIGN (SEE ARCH. PLANS)
- 11 SIDEWALK CULVERT S019 PERMIT PER COA STD DWG 2236
- 12 BICYCLE RACKS (SEE DETAIL SHT. C7)
- 13 UNIDIRECTIONAL HC RAMP W/ TRUNCATED DOMES (SEE DETAIL SHT. C6)
- 14 CONCRETE SLAB W/CHAMFERED CORNERS (SEE DETAIL SHT. C8)
- 15 EXISTING SCREEN WALL TO BE REBUILT (SEE GRADING SHT C2, MAX HEIGHT 6.0', DETAIL SHT. 7)
- 16 PETROLEUM TRENCH CAP (SEE DETAIL SHT. C9)
- 17 ADA PICNIC TABLE
- 18 PICNIC TABLE
- 19 ASPHALT PARKING STALL (SEE DETAIL SHT. C8)
- 20 STORMWATER QUALITY VOLUME POND. SEE DRAINAGE PLAN.
- 21 XACTAIR AIR STATION BASE (SEE DETAIL SHT. C9)
- 22 CROSSWALK STRIPING
- 23 "HOOP" BOLLARD (SEE DETAIL SHT. C9)
- 24 ASPHALT PAVING (SEE GEOTECH REPORT & DETAIL SHT. C8)
- 25 ALL UNDER CANOPY LIGHTING TO BE RECESSED PER IDO 4-3(D)(17)(h)
- 26 UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS)
- 27 TANK PIT WALL TO BE LINED WITH GEOTEXTILE FILTER FABRIC PER XERXES TANK SPEC.
- 28 REMOVE EXISTING DRIVEWAY (CURB, GUTTER & SW) AND REPLACE WITH COA STD. CURB, GUTTER & SW. DWG 2415A, 2430. MATCH EXISTING FL AT GUTTER.
- 29 EXISTING ADA RAMP WITH TRUNCATED DOMES
- 30 MINI SIGHT TRIANGLE SEE NOTE THIS PAGE
- 31 INSTALL PEDESTRIAN CROSSWALK SIGN (REF: K-6534)

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

- NOTES:
1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. ALL UNUSED CURBS CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER; PER COA STD DWG 2415A AND 2430.
 2. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
 3. XACTAIR STATION ON 30"x36" CONCRETE PAD. EQUIPMENT PROVIDED BY OWNER. G.C. TO PROVIDE ELECTRICAL SERVICE AND INSTALL AIR STATION EQUIPMENT.
 4. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
 5. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF.
 6. COA CPN PROJECT NUMBER IS 709085.
 7. RE-STRIPING OF EXISTING INTERSECTION LINE MARKING IS PROPOSED FOR THE MONTGOMERY BLVD. AND CARLISLE BLVD. INTERSECTION AND SHALL BE DETAILED ON A CITY WORK ORDER PLAN.



LEGAL DESCRIPTION:
TR 02B PLAT OF TRACTS Q-2-A + Q-2-B MONTGOMERY COMPLEX

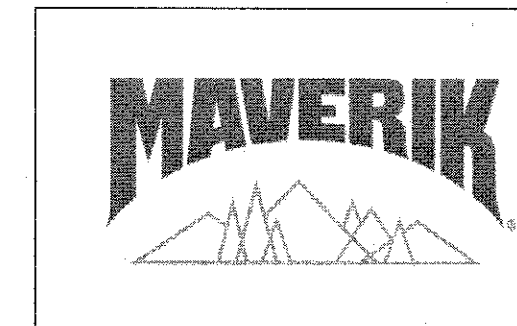
SITE DATA	
PROPOSED USAGE:	GAS CONVENIENCE STORE
IDO CLASSIFICATION:	LIGHT VEHICLE FUELING STATION
LOT AREA:	98,157 SF (2.25 ACRES)
BUILDING AREA:	4,425 SF
STACK:	2X6 (12 STATIONS) (2X6 FUTURE)
PER IDO TABLE 5-5-1 LIGHT VEHICLE FUELING STATION:	4
SPACES PER 1,000 SF REQUIRED:	18 SPACES
PARKING REQUIRED:	42 SPACES
PARKING PROVIDED:	42 SPACES
HC PARKING REQUIRED:	3 SPACES
HC PARKING PROVIDED:	3 SPACES
	(1 SPACE VAN ACCESSIBLE)
PER IDO TABLE 5-5-4:	
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
PER IDO TABLE 5-5-5:	
BICYCLE PARKING REQUIRED:	3 SPACES
BICYCLE PARKING PROVIDED:	3 SPACES
LANDSCAPE AREA REQUIRED:	14,725 SF
LANDSCAPE AREA PROVIDED:	15,101 SF

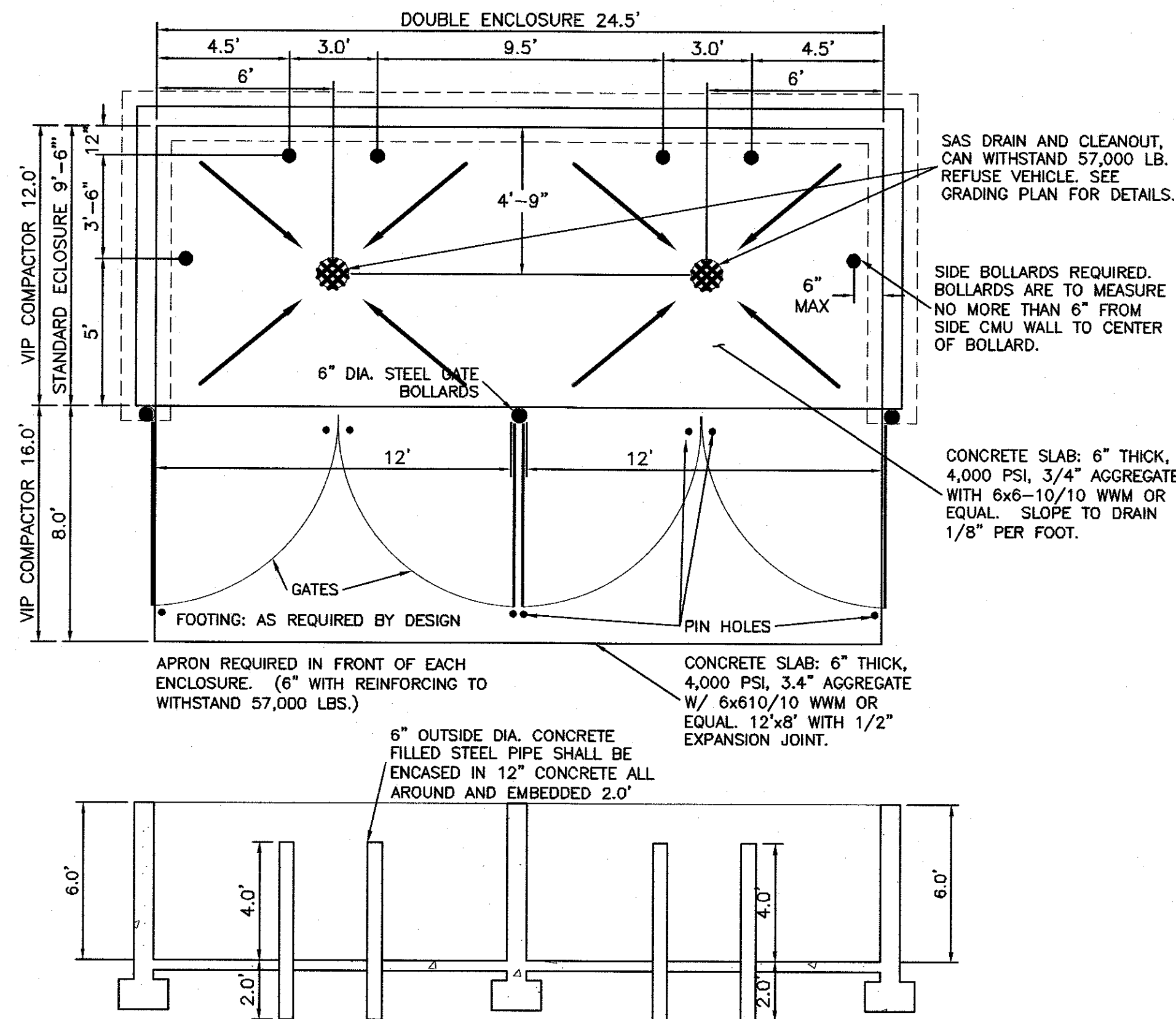
Solid Waste Management	Date
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CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED
05-21-2020

- INDEX TO DRAWINGS
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING PLAN
 - C3. DEVELOPED DRAINAGE PLAN
 - C4. GRADING DETAILS
 - C5. MASTER UTILITY PLAN
 - C6. CONSTRUCTION DETAILS
 - C7. CONSTRUCTION DETAILS
 - C8. CONSTRUCTION DETAILS
 - C9. CONSTRUCTION DETAILS
 - C10. CONSTRUCTION DETAILS
 - D1. DEMOLITION PLAN
 - L1. LANDSCAPING PLAN
 - B1. BUILDING ELEVATION & SIGN PLANS
 - SW1. EROSION CONTROL PLAN
 - SW2. EROSION CONTROL DETAILS
 - SW3. EROSION CONTROL DETAILS

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN</div> <div>NEW MEXICO</div> <div>PROFESSIONAL ENGINEER</div> <div>7868</div> <div>5/19/2020</div> <div>RONALD R. BOHANNAN</div> <div>P.E. #7868</div>	MAVERIK GAS STATION	DRAWN BY
	3601 MONTGOMERY BLVD. NE	RS
	TRAFFIC CIRCULATION LAYOUT PLAN	DATE
		5/19/2020
<div>TERRA WEST, LLC</div> <div>5571 MIDWAY PARK PLACE NE</div> <div>ALBUQUERQUE, NM 87109</div> <div>(505) 858-3100</div> <div>www.tierrowestllc.com</div>		2019050_SP
		SHEET #
		C1
		JOB #
		2019050

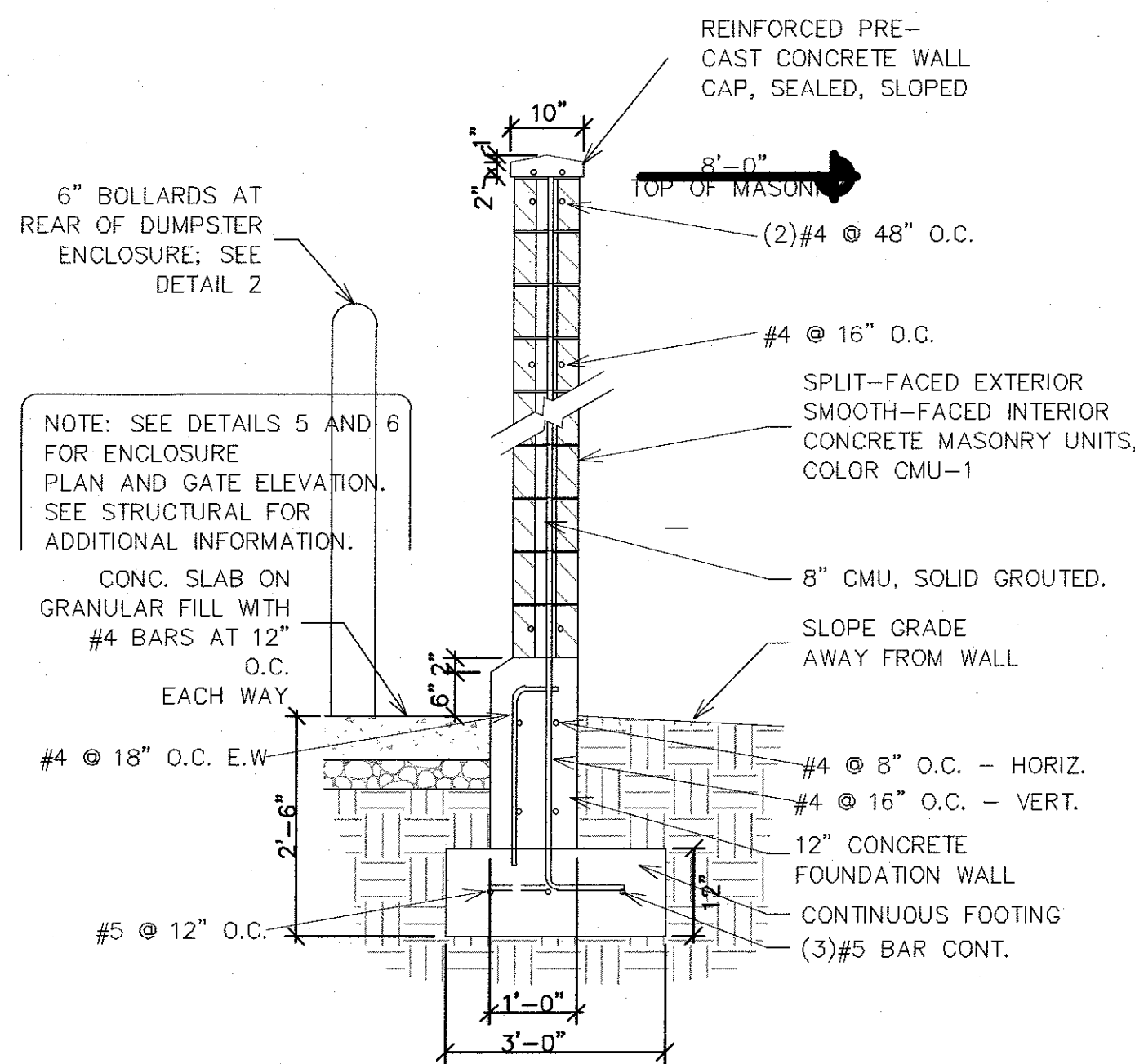
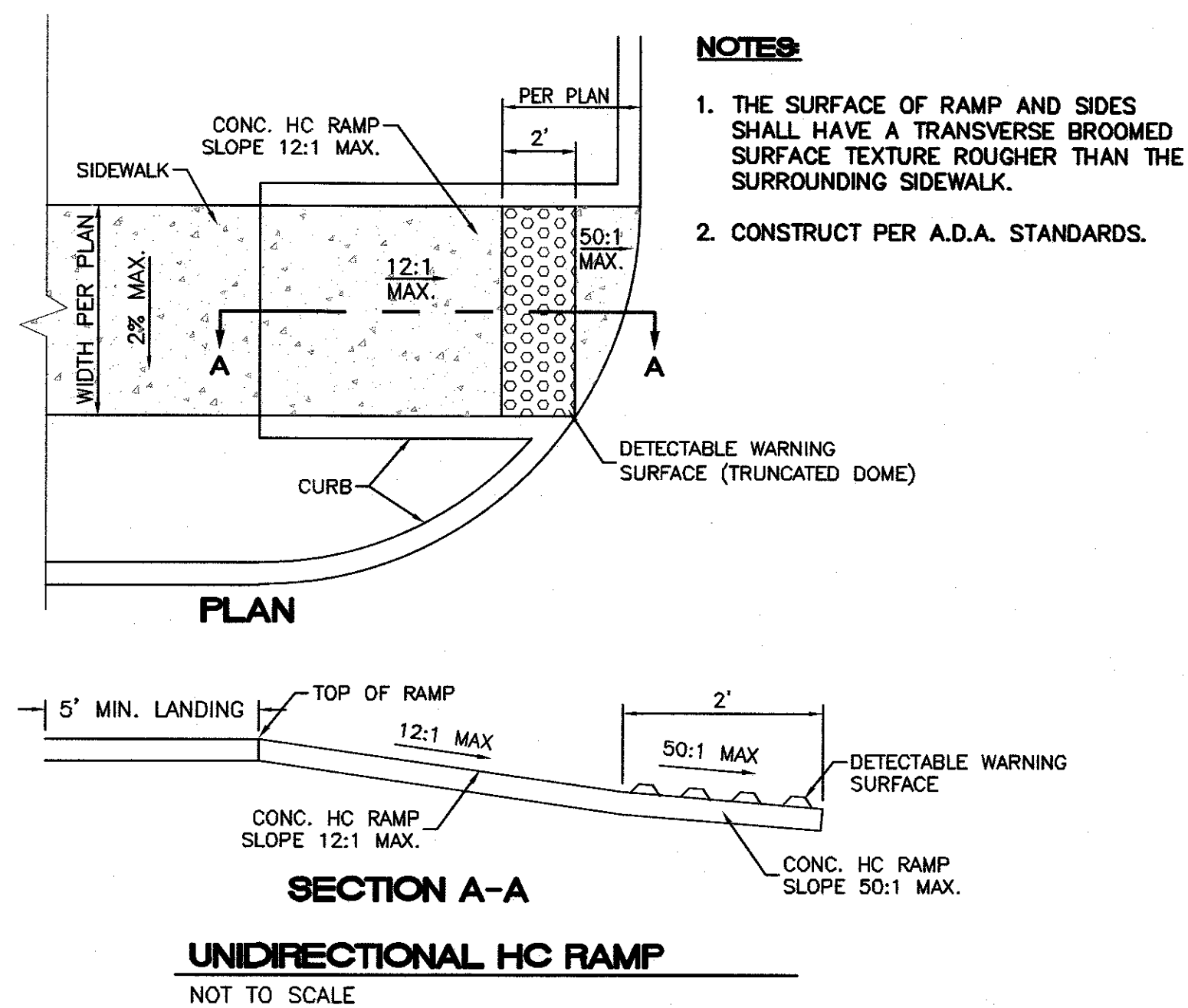




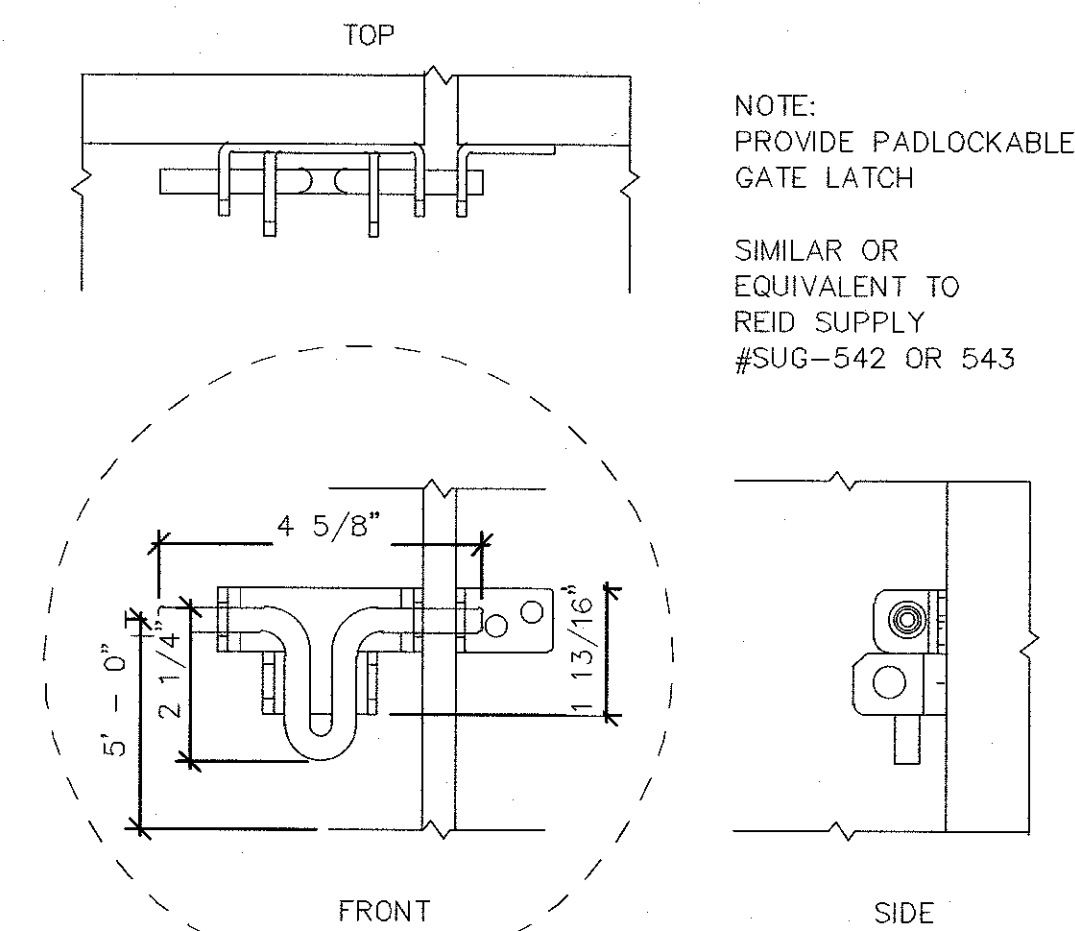
- NOTE:
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

DUMPSTER W/SAS DRAIN - ENCLOSURE DETAIL

NTS

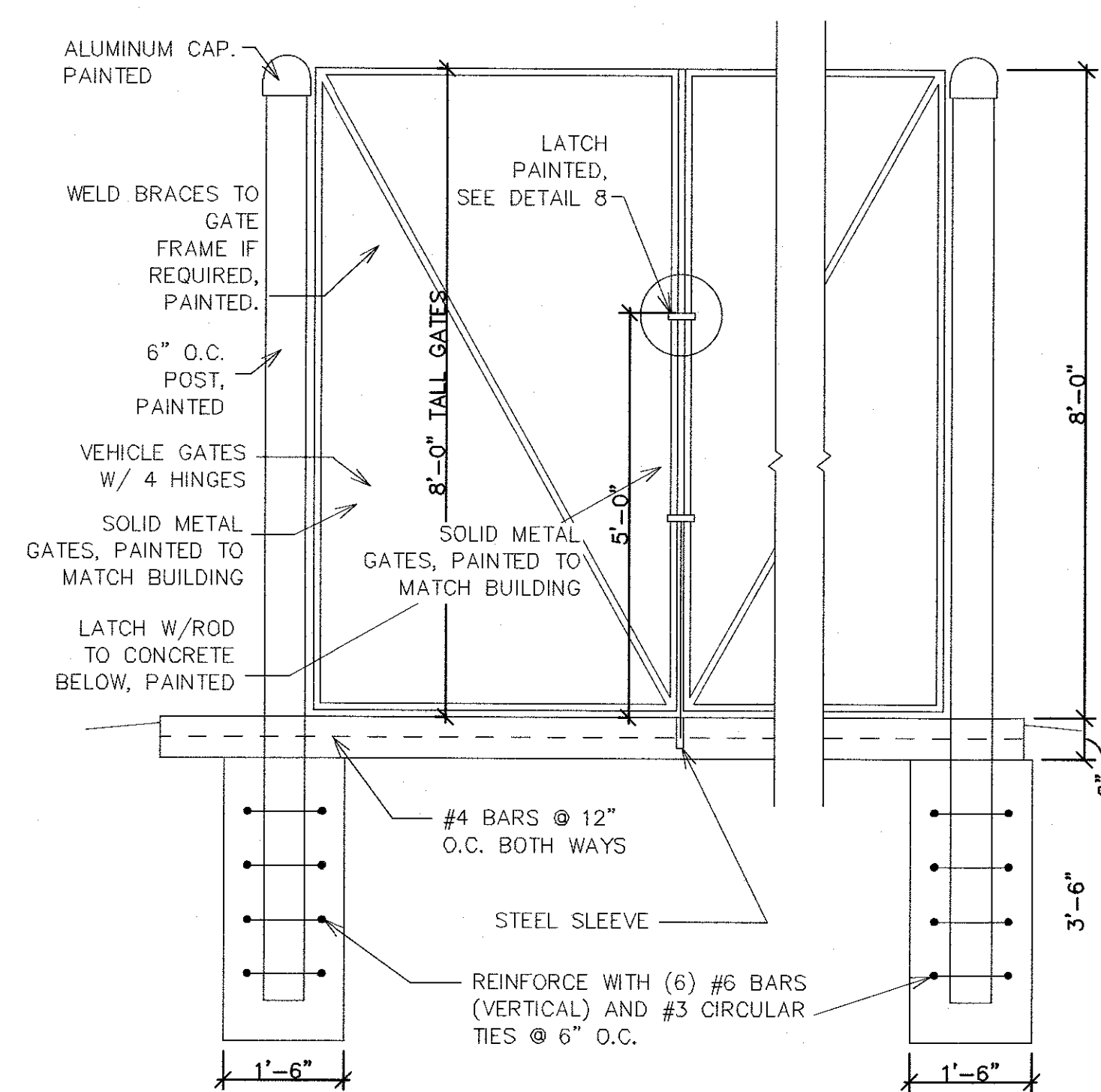


Dumpster Enclosure Wall Section



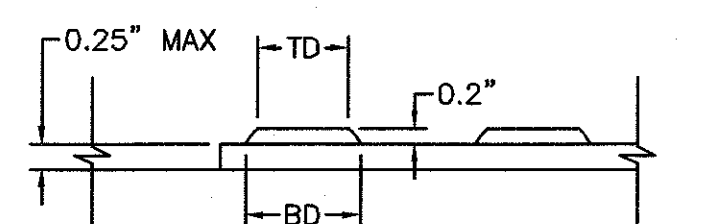
Dumpster Enclosure Gate Latch Detail

SCALE: NONE



Dumpster Enclosure Gate Detail

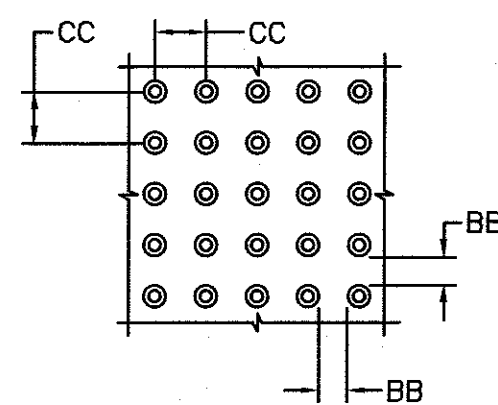
SCALE: NONE



DOMES SECTION

BD - BASE DIAMETER 0.9" MIN

TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOMES SPACING

CC - CENTER TO CENTER SPACING 2.35"

BB - BASE TO BASE SPACING 1.48" MIN



ENGINEER'S SEAL	MAVERIK GAS STATION 3601 MONTGOMERY BLVD. NE	DRAWN BY RS
RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER	CONSTRUCTION DETAILS	DATE 5/19/2020
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C6
		JOB # 2019050