

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 19, 2020

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Maverik – Montgomery & Carlisle
3601 Montgomery Blvd. NE
Grading and Drainage Plan
Engineer's Stamp Date: 05/12/20
Hydrology File: F16D001A**

Dear Mr. Bohannon:

PO Box 1293

Based upon the information provided in your submittal received 05/15/2020, the Grading & Drainage Plan is approved for Building Permit, SO-19 Permit, and for action by the DRB on Site Plan for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

Also as a reminder, please provide Drainage Covenant for the stormwater quality ponds per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology

CITY OF ALBUQUERQUE

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NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Maverik- Montgomery & Carlisle **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TR G28 Plat of Tracts G-2-A & G-2-B Montgomery Complex
City Address: 3601 Montgomery Blvd. NE Albuquerque NM

Applicant: Maverik Inc **Contact:** Troy Jorgensen
Address: 185 S. State St, Suite 800 Salt Lake City UT 84111
Phone#: 801-335-3833 **Fax#:** _____ **E-mail:** Troy.Jorgensen@maverik.com

Other Contact: Tierra West, LLC **Contact:** Richard Stevenson
Address: 5571 Midway Park PI NE Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** rstevenson@tierrawestllc.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☒ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

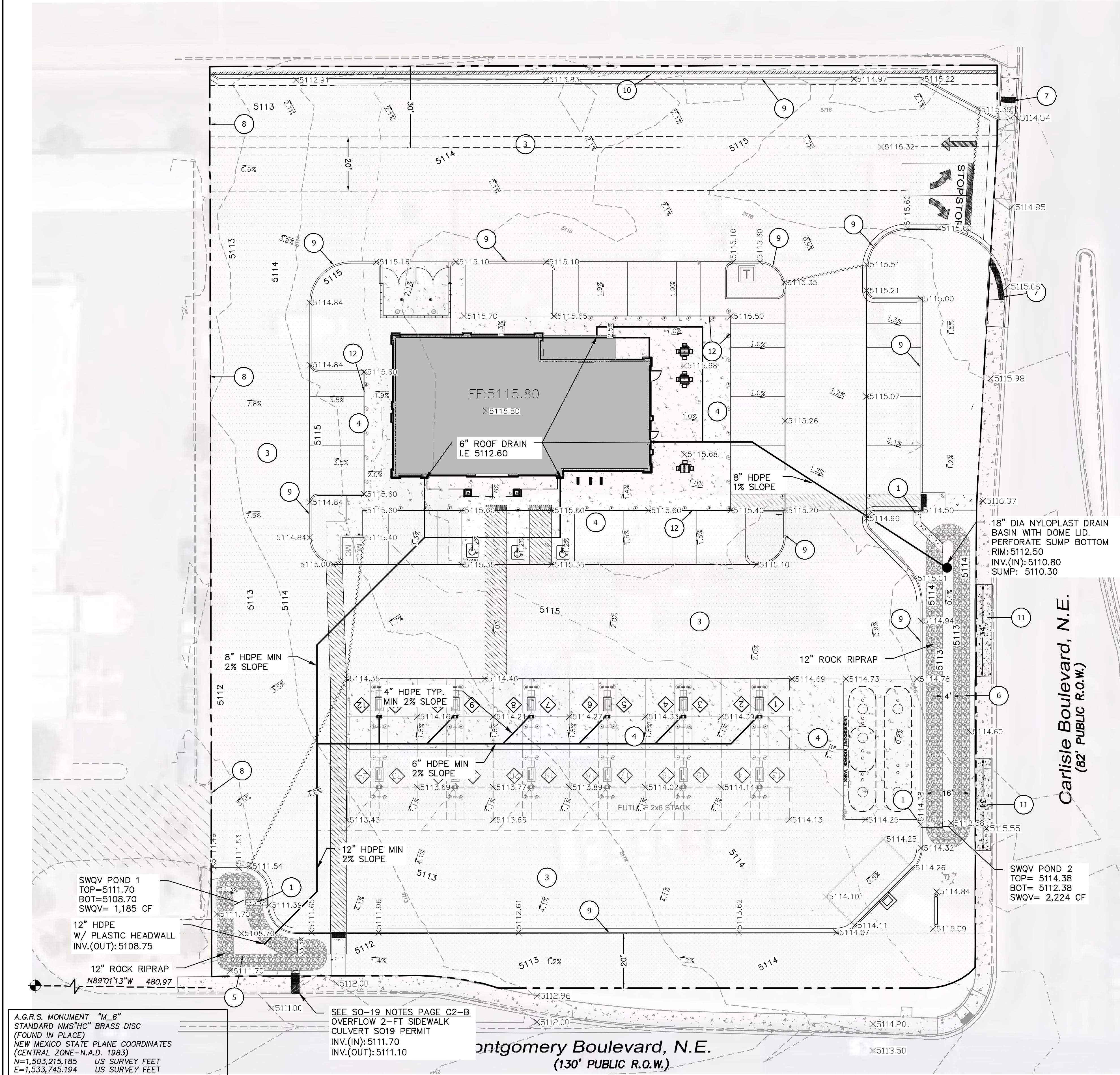
DATE SUBMITTED: 5/14/2020 **By:** Richard Stevenson

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Z:\2019\2019050_Maverik_Montgomery & Carlisle.dwg Site Plan - Administrative 20190501.DWG May 19, 2020 - 3:30pm



A.G.R.S. MONUMENT "M-6"
STANDARD NMS"HC" BRASS DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE--N.A.D. 1983)
N=1,503,215.185 US SURVEY FEET
E=1,533,745.194 US SURVEY FEET
PUBLISHED EL=5113.206 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999672339
DELTA ALPHA ANGLE=-012'19.10"
REFERENCE DATE 1/29/2020

SEE SO-19 NOTES PAGE C2-B
OVERFLOW 2-FT SIDEWALK
CULVERT S019 PERMIT
INV.(IN): 5111.70
INV.(OUT): 5111.10

Montgomery Boulevard, N.E.
(130' PUBLIC R.O.W.)

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- CONCRETE / SIDEWALK
- GRADE BREAK
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- CURB INLET
- SIDEWALK/CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- 12" COBBLE

GRAPHIC SCALE



KEYED NOTES

- 2-FT CURB CUT AND 2-FT CONCRETE RUNDOWN
- NOT USED
- ASPHALT PAVING (SEE GEOTECH REPORT)
- CONCRETE SLAB WITH CHAMFERED CORNERS
- SWQV POND #1
- SWQV POND #2
- MATCH EXISTING FLOWLINE. BUILD NEW RAMP AT ENTRANCE PER DWG. 2446
- MATCH EXISTING ASPHALT PAVEMENT ON ADJACENT PROPERTY
- ONSITE CURB AND GUTTER
- NEW BOUNDARY/SCREEN WALL 6-FT HIGH, CMU BLOCK WALL, BY OWNER.
- REMOVE EXISTING DRIVEWAY (CURB, GUTTER & SW) AND REPLACE WITH COA STD. CURB, GUTTER & SW. MATCH EXISTING FL AT GUTTER.
- ZERO CURB

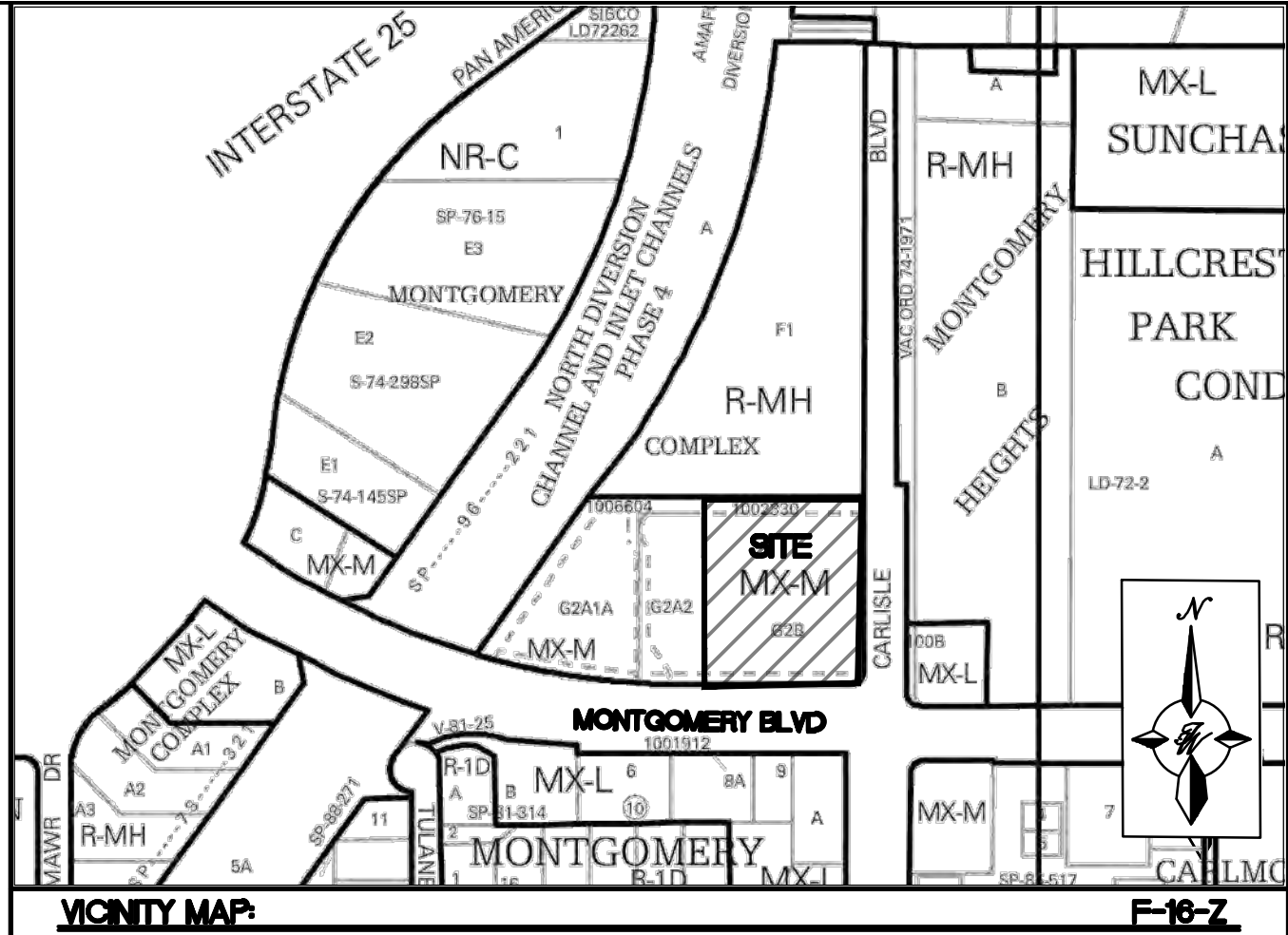
DRAINAGE PLANS ON FILE AT COA:
PROPERTY: F16D001, DATED 6/8/1973
PROPERTY EAST: F16D053 DATED 4/1/19 (CAR WASH AT 3525 MONTGOMERY BLVD.)

EXISTING DRAINAGE:

THE SUBJECT SITE IS LOCATED IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF MONTGOMERY BLVD AND CARLISLE BLVD ADDRESS OF 3601 MONTGOMERY BLVD. NE. THE SITE IS CURRENTLY DEVELOPED WITH AN EXISTING CHURCH AND ASPHALT PARKING ACROSS THE ENTIRE PARCEL AND IS THEREFOR 95% IMPERVIOUS WITH RUNOFF FLOW ENTERING INTO THE PROPERTY TO THE WEST. THE NORTHERN PORTION OF THE SITE DRAINS TO THE CREDIT UNION PROPERTY AND ENTERS THE DETENTION POND BEFORE DISCHARGING TO THE NORTH DIVERSION CHANNEL. THIS WAS NOT ACCOUNTED FOR IN THE CREDIT UNION DRAINAGE REPORT BUT THE POND WAS OVERSIZED AND HAS EXCESS CAPACITY. THE SOUTHERN PORTION OF THE SITE DRAINS INTO THE CAR WASH PROPERTY ADJACENT AND FLOWS INTO MONTGOMERY BLVD BEFORE ENTERING THE CATCH BASIN APPROXIMATELY 130-FT TO THE WEST. THERE IS A BLANKET CROSS DRAINAGE EASEMENT TO THE ADJACENT PARCEL. CURRENTLY THERE ARE NO WATER QUALITY FEATURES AND THE ENTIRE SITE DISCHARGES WEST VIA SURFACE FLOW. THE SITE IS LOCATED IN FLOOD ZONE X.

PROPOSED DRAINAGE:

THE PROPOSED DEVELOPMENT WILL BE GRADED TO ACCOMMODATE THE LIGHT VEHICLE FUELING STATION AND CONVENIENCE STORE WITH A 4,425 SQ. FT. BUILDING, NEW ASPHALT AND CONCRETE PAVING, FUELING FACILITY AND ASSOCIATED SITE FEATURES. RUNOFF FROM THE SITE WILL CONTINUE TO FLOW FROM NORTH EAST TO SOUTHWEST HOWEVER WATER QUALITY PONDS WILL BE INSTALLED TO CAPTURE THE FIRST FLUSH VOLUME. THE 100-YR PEAK DISCHARGE FROM THE SITE TO THE ADJACENT PROPERTY WILL BE 9.87 CFS WHICH IS LESS THAN HISTORIC DISCHARGE. THE RUNOFF FROM THE NORTHERN PORTION OF THE SITE THAT CANNOT PASS THROUGH A SWQV ON THE PROPERTY WILL ENTER THE DETENTION POND AT THE CREDIT UNION AND THEREFORE MEET THE REQUIRED SWQV PONDING REQUIREMENT.



FIRM MAP: F35001C0138H DATED AUGUST 16, 2012

LEGAL DESCRIPTION: TRACT G-2-B, MONTGOMERY COMPLEX, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

ENGINEER'S SEAL RONALD R. BOHANNAN PROFESSIONAL ENGINEER NEW MEXICO 7868 5/12/2020 RONALD R. BOHANNAN P.E. #7868	MAVERIK GAS STATION 3601 MONTGOMERY BLVD. NE	DRAWN BY RS
	GRADING & DRAINAGE PLAN	DATE 5/12/2020
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2-A	2019050_GR
		JOB # 2019050

DPM Weighted E Method

Precipitation Zone 2
3601 Montgomery Blvd. NE Albuquerque NM
Maverik Gas Station
TWLLC Date 2/5/2020

Existing Conditions

Basin Descriptions										100-Year, 6-Hr			10-Year, 6-Hr				
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)						
E1	35,093.96	0.81	0.00126	0%	0.000	0%	0.000	5%	0.040	95%	0.765	2.071	0.139	3.72	1.299	0.087	2.47
E2	60,912.96	1.40	0.00218	0%	0.000	0%	0.000	5%	0.070	95%	1.328	2.071	0.241	6.46	1.299	0.151	4.29
Total	96,007	2.20	0.00344		0.000		0.000		0.110		2.094		0.380	10.19		0.239	6.76

Proposed Conditions

Basin Descriptions										100-Year, 6-Hr			10-Year, 6-Hr				
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)						
P1	27,111.18	0.62	0.00097	0%	0.000	2%	0.012	0%	0.000	98%	0.610	2.093	0.109	2.90	1.319	0.068	1.93
P2	4,936.23	0.11	0.00018	0%	0.000	0%	0.000	0%	0.000	100%	0.113	2.120	0.020	0.53	1.340	0.013	0.36
P3	9,115.29	0.21	0.00033	0%	0.000	10%	0.021	0%	0.000	90%	0.188	1.986	0.035	0.93	1.234	0.022	0.61
P4	46,398.42	1.07	0.00166	0%	0.000	15%	0.160	0%	0.000	85%	0.905	1.919	0.170	4.62	1.181	0.105	2.99
P5	8445.80	0.19	0.00030	0%	0.000	5%	0.010	0%	0.000	95%	0.184	2.053	0.033	0.89	1.287	0.021	0.59
Total	96,007	2.20	0.00344		0.000		0.203		0.000		2.001		0.367	9.87		0.228	6.48

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

Excess Precipitation, E (in.)			
Zone 2	100-Year	10-Year	
Ea	0.53	0.13	
Eb	0.78	0.28	
Ec	1.13	0.52	
Ed	2.12	1.34	

Peak Discharge (cfs/acre)			
Zone 2	100-Year	10-Year	
Qa	1.56	0.38	
Qb	2.28	0.95	
Qc	3.14	1.71	
Qd	4.70	3.14	

Water Quality Volume (Onsite)

Total Impervious Area = 2.20 Acres = 96,007 SF

Retainage depth = 0.28" = 0.023' (redevelopment)

Retention Volume = 0.023*96,007 = 2,208 CF = 0.05 Ac-Ft

SWQV		
Required (cf)	Provided (cf)	Untreated (cf)
611	0	611
114	2,224	0
189		
907	1,185	0
185	0	185
2,005	3,409	796

SEE POND CALCS
THIS SHEET

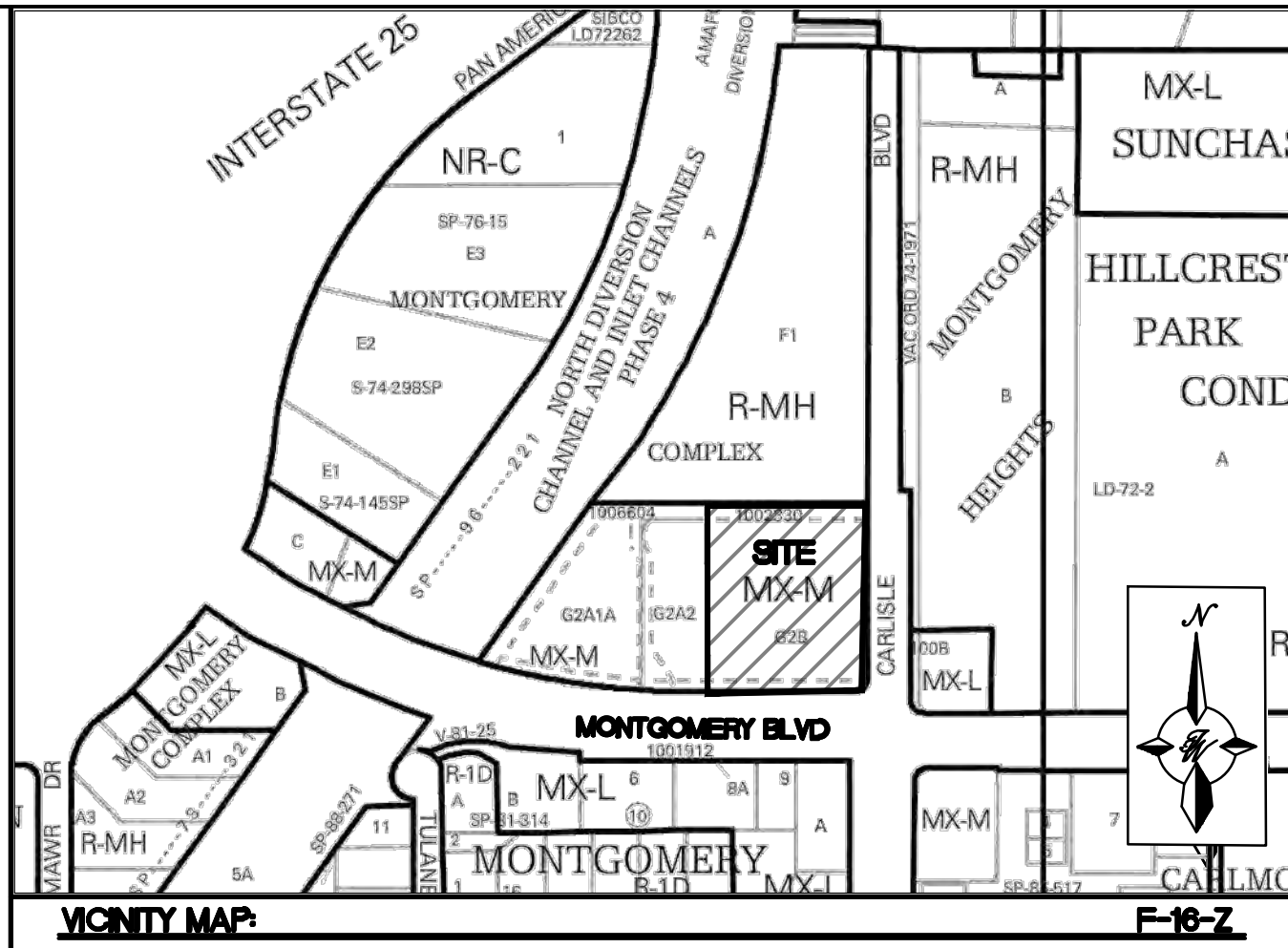
To downstream
detention pond

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR
(SPECIAL ORDER 19 "SO-19")

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT AUGIE ARMijo AT (505) 857-8607 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

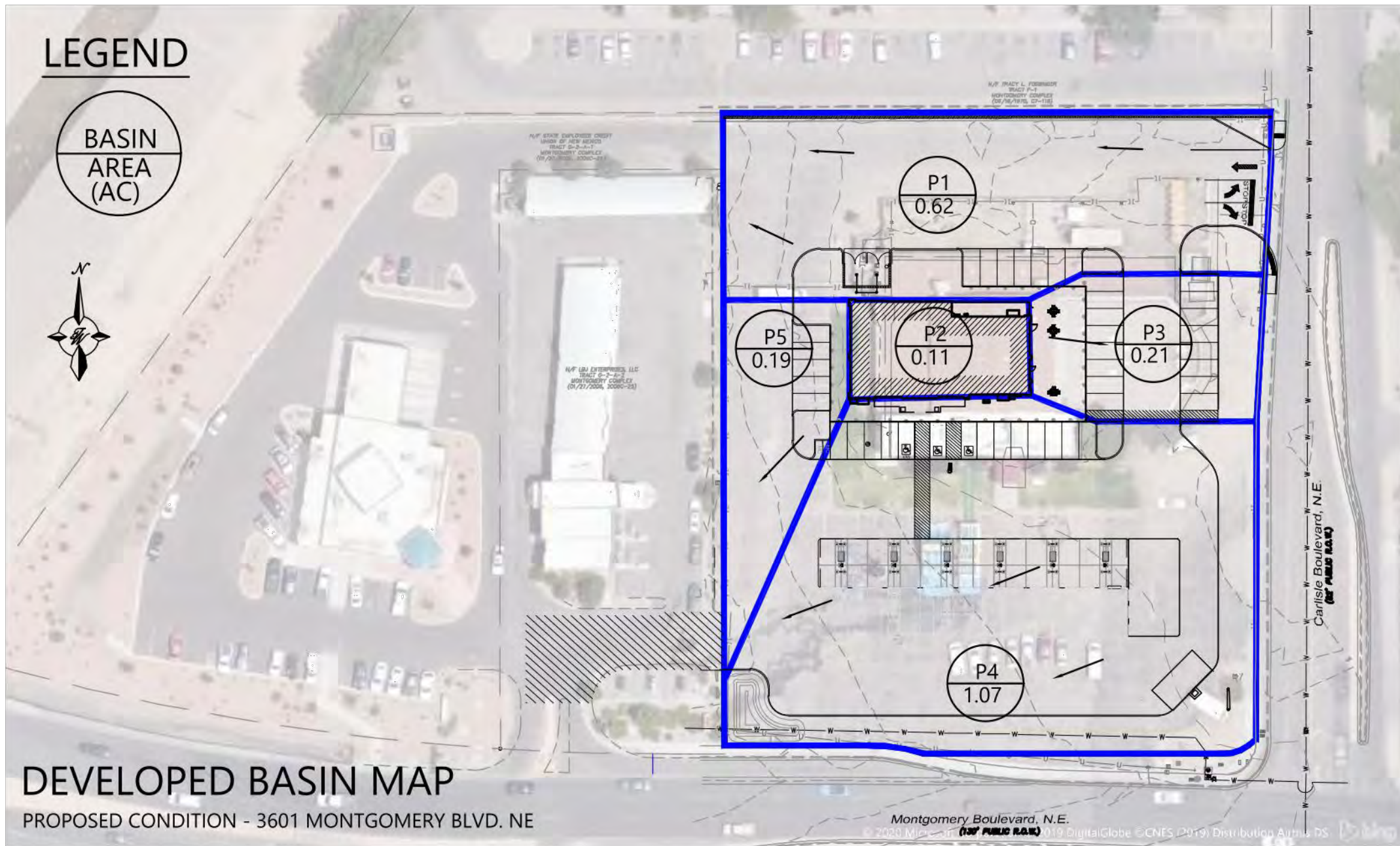
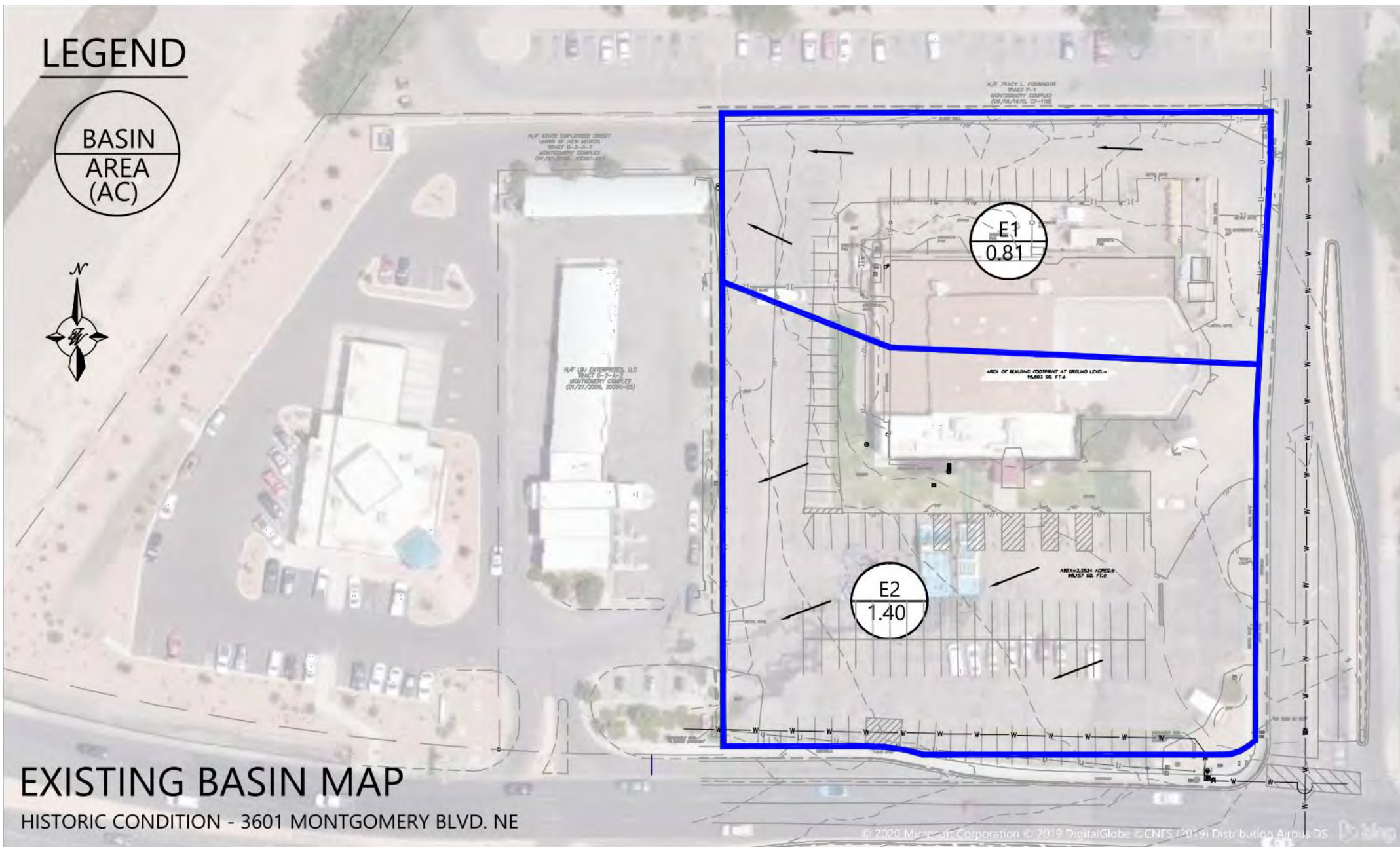
SWQV POND CALCULATIONS			
POND No.	MIDPOINT (SF)	POND DEPTH (FT)	POND VOLUME (CF)
1	395	3.0	1,185
2	1,112	2.0	2,224

The required SWQV Retention is 2,005 cubic feet.
3,409 cubic feet SWQV retention is provided in two onsite ponds
796 cubic feet does not enter the onsite ponds but does enter the downstream detention pond.



FIRM MAP: #35001C0138H DATED AUGUST 16, 2012

LEGAL DESCRIPTION: TRACT G-2-B, MONTGOMERY COMPLEX, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 5/12/2020 RONALD R. BOHANNAN P.E. #7868	MAVERIK GAS STATION 3601 MONTGOMERY BLVD. NE	DRAWN BY RS DATE 5/12/2020 2019050_GR
	GRADING & DRAINAGE PLAN	SHEET # C2-B JOB # 2019050
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		

