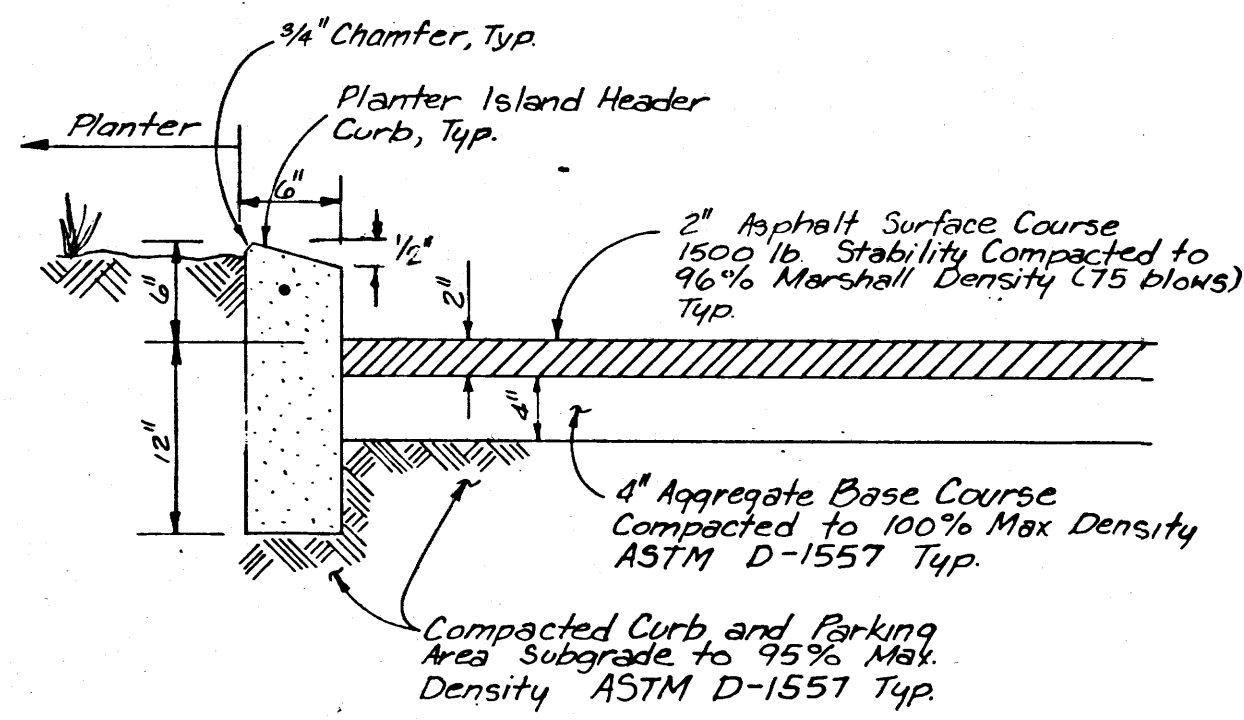
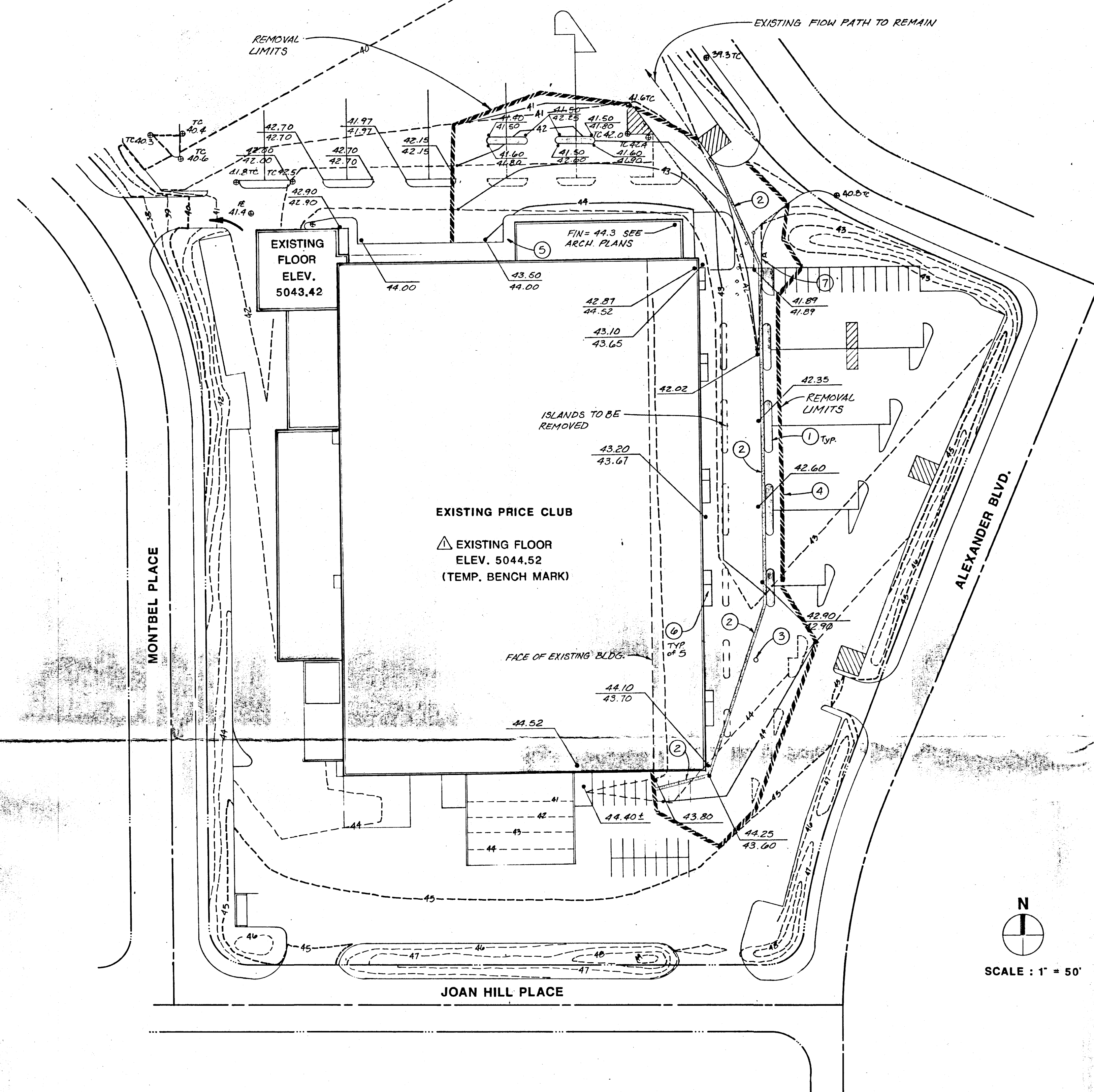




TYPICAL PARKING AREA PAVEMENT SECTION
No Scale



BENCHMARK

NEW MEXICO STATE HIGHWAY COMMISSION CONTROL STATION "I-25-20". A BRASS CAP SET IN TOP OF A CONCRETE POST, CONTROL STATION IS APPROXIMATELY 0.50 MILE SOUTHWEST OF MONTANA ROAD AND ON THE WESTERLY RIGHT-OF-WAY OF INTERSTATE 25. ELEVATION = 5079.42. TEMPORARY BENCH MARK AT NORTHEAST ENTRY DOOR OF EXISTING PRICE CLUB. ELEVATION = 5044.52.

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED, BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE PUBLIC WORKS CONSTRUCTION (CURRENT EDITION) AND THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION).
- THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE (PH. 260-1990) TWO WORKING DAYS PRIOR TO ANY EXCAVATION FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- PRIOR TO GRADING ALL VEGETATION, DEBRIS AND NEAR SURFACE ORGANICALLY CONTAMINATED SOILS SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE, TOPSOIL STRIPPINGS SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- ALL MATERIAL PLACED IN FILL SHALL HAVE BEEN EXCAVATED ON-SITE OR FROM AN APPROVED BORROW AREA.
- NO FROZEN MATERIALS SHALL BE PLACED IN FILL.
- FINISHED PAD ELEVATIONS ARE CONCRETE SLAB THICKNESS BELOW FINISH FLOOR ELEVATIONS.
- DURING ROUGH GRADING OF THE SITE, ALL BUILDING PADS SHALL BE GRADED TO THREE FEET BEYOND SPECIFIED HORIZONTAL DIMENSIONS.
- SUBGRADE TOLERANCE ON ALL BUILDING PADS, PARKING AREAS, ROADWAYS AND DRAINAGE IMPROVEMENTS, ETC. SHALL BE +/- 0.05 FEET.
- FINISHED TOP OF ASPHALT TOLERANCE FOR ALL AREAS WITH SLOPES LESS THAN 1% IS +/- 0.02 FEET. FINISHED TOP OF ASPHALT TOLERANCE FOR ALL AREAS WITH SLOPE GREATER THAN 1% IS 0.05 FEET.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- GRADING AND EARTHWORK OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH ALL CURRENT CITY, COUNTY, STATE AND FEDERAL DUST CONTROL REGULATIONS.
- PRIOR TO FOOTING LAYOUT, THE PROPOSED BEARING SURFACES SHOULD BE SCARIFIED AND MOISTENED TO +/- 2% OF OPTIMUM MOISTURE FOR A MINIMUM DEPTH OF 8" AND COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY AS DETERMINED BY ASTM D-1557.
- BACKFILL AND ANY SOIL DISTURBED AROUND THE FOUNDATIONS SHOULD BE MOISTENED AND COMPACTED TO 95% OF MAXIMUM DENSITY PRIOR TO PLACING EXTERIOR SLABS OF SIDEWALKS.
- ANY FILL REQUIRED BELOW PAVED AREA OF THE BUILDING PAD SHOULD BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
- PRIOR TO PLACEMENT OF SITE FILL, EXPOSED CUT SECTIONS SHALL BE SCARIFIED, BROUGHT TO +/- 2% OPTIMUM MOISTURE FOR 8" DEPTH AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
- DO NOT PUDDLE OR JET BACKFILL.
- VALLEY GUTTERS SHALL BE CONSTRUCTED PER CITY STANDARD DRAWING 2415 FOR 2' "ALLEY GUTTERS."

KEYED NOTES

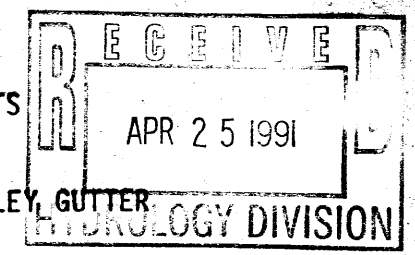
- WEST EDGE OF FIVE EAST ISLANDS SHALL HAVE 6" HIGH CURB & GUTTER WITH OVERALL WIDTH OF 2'-0"
- 2'-0" WIDE VALLEY GUTTER TO MATCH ALLEY GUTTER DETAIL, CITY STANDARD DETAIL 2415
- REMOVE AND RELOCATE LIGHT POLE. SEE SITE PLAN
- REMOVAL LIMITS TO BE 2'-0" FROM FACE OF NEW ISLANDS
- 6'-0" TRANSITION/RAMP TO EXISTING SIDEWALK SECTION AT NORTH SIDE OF BUILDING
- RAMP AT EXISTING EXIT DOORS. SEE SITE PLAN
- REMOVE EXISTING LANDSCAPE AND IRRIGATION LINES. BUILD 6" CURB AND NEW PAVEMENT

DEMOLITION

SITE DEMOLITION SHALL INCLUDE ALL PAVING, ISLAND CURBS, LANDSCAPING, IRRIGATION LINES, AND BOLLARDS. SEE STRUCTURAL PLANS FOR EXCAVATION NEAR EXISTING BUILDING LIMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL REMOVED MATERIAL.

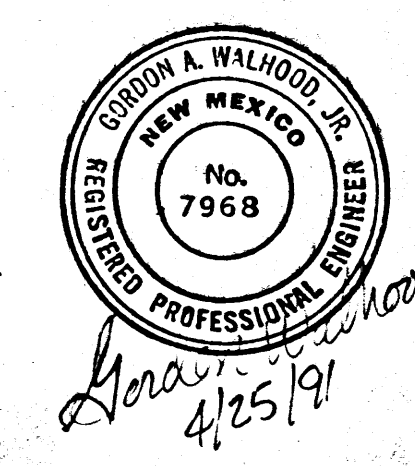
LEGEND

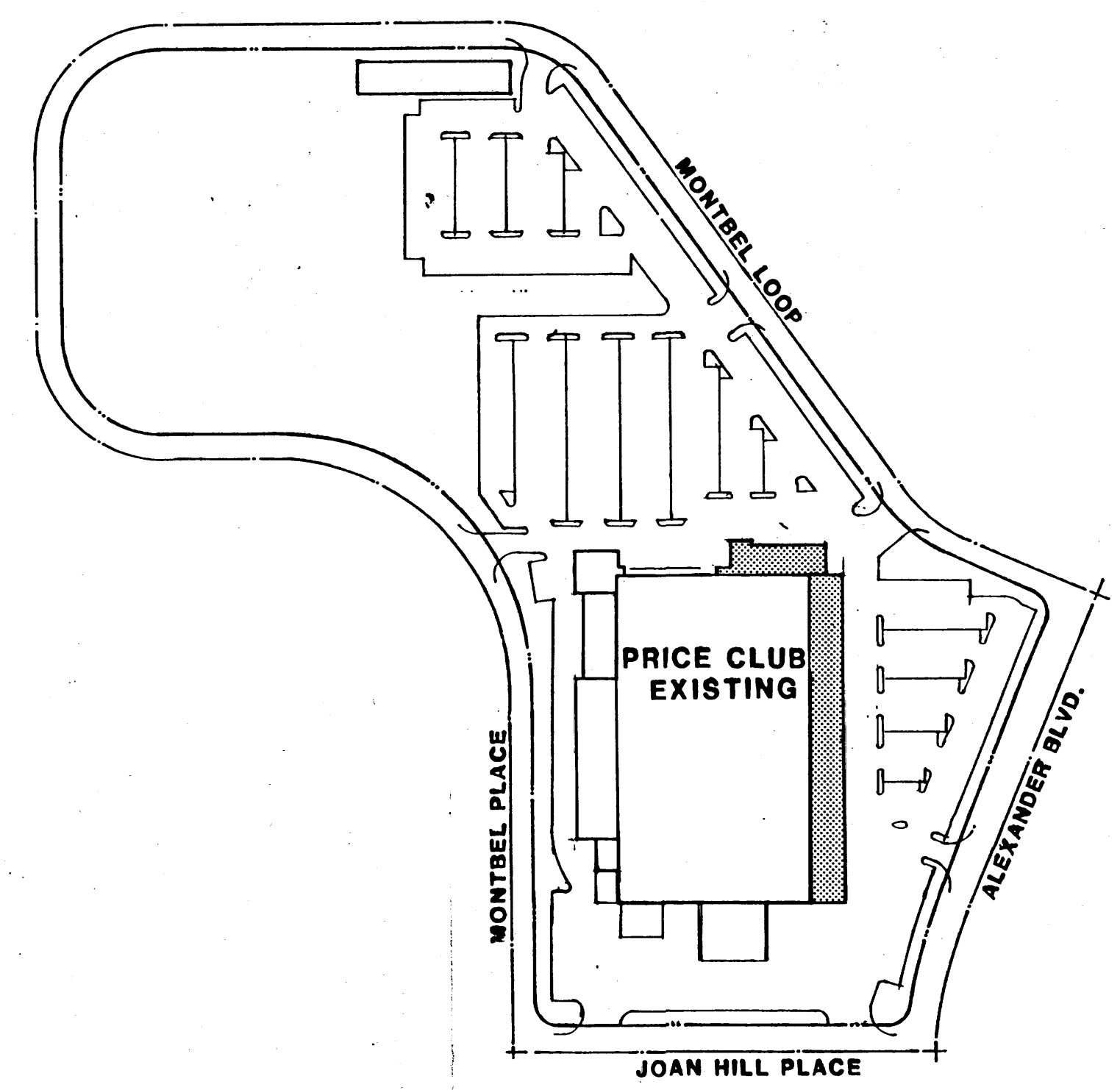
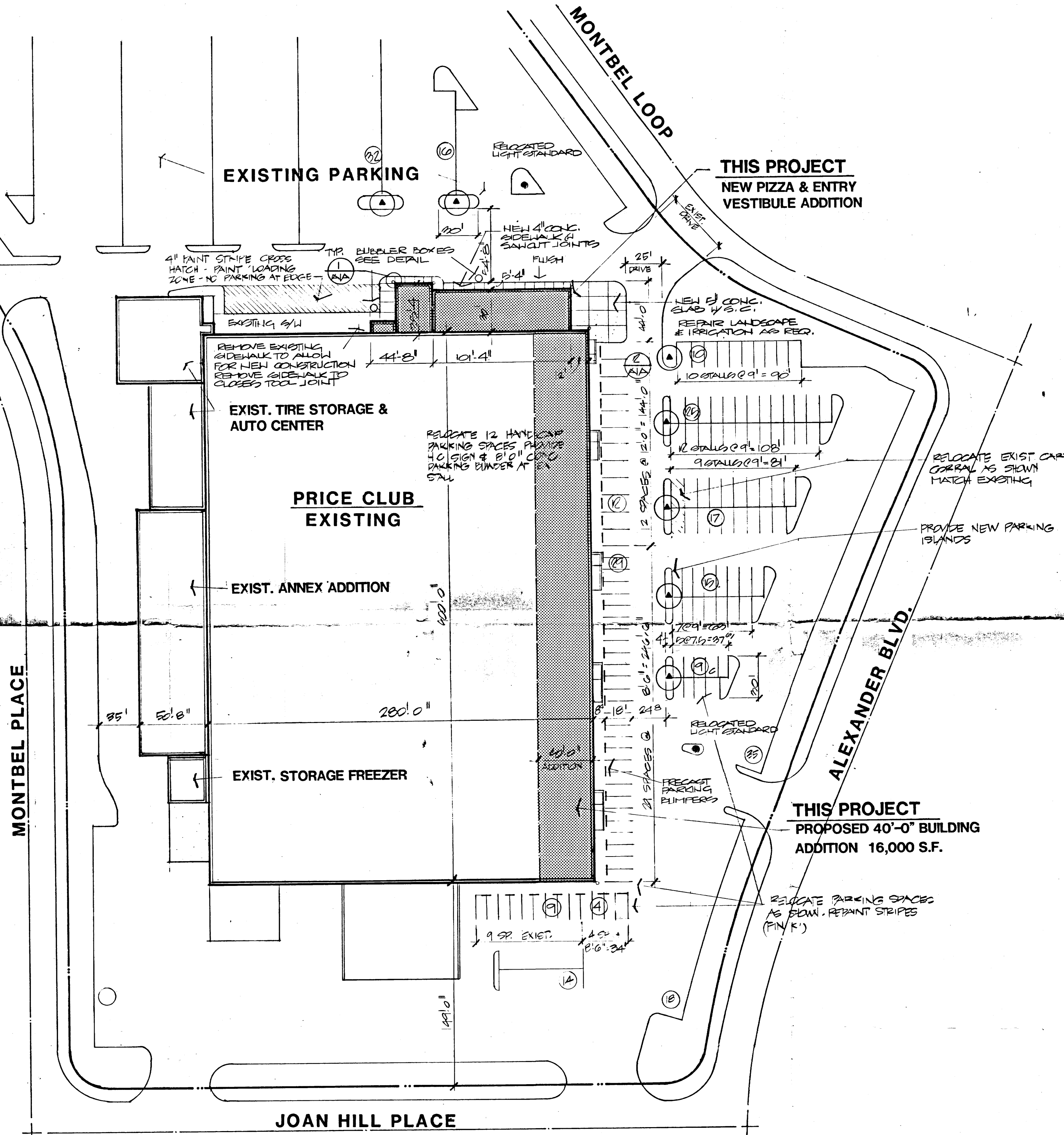
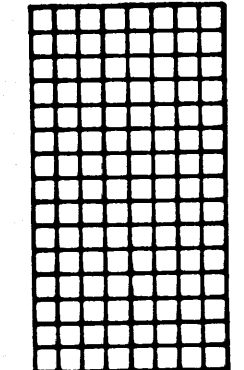
- EXIST. SPOT NEW SPOT SPOT ELEVATIONS (FLOWLINE)
- EXISTING CONTOURS
- NEW CONTOURS
- ISLANDS TO BE REMOVED
- ISLANDS TO BE REMOVED & REPLACED
- NEW ISLANDS
- REMOVAL LIMITS
- CONCRETE VALLEY GUTTER



BOHANNAN HUSTON, INC.

PROJECT TITLE PRICE CLUB BUILDING EXPANSION		
CONTENTS GRADING AND DRAINAGE PLAN		
REVISIONS	DRAWN AAG	PAGE
	CHECKED GAW	SHEET
	PROJECT NO. 91123.01	C-1





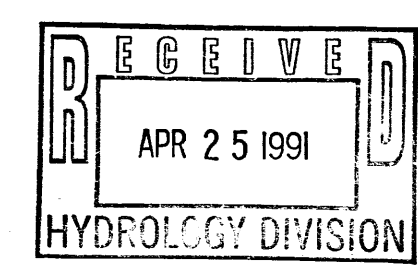
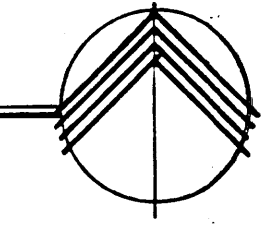
SITE PLAN

- LANDSCAPE NOTES:
1. ADD 1" x 20" BOX MIN. 2" CAL. "MARSHALL SEEDLESS ASH" AT EACH ISLAND AS SHOWN.
 2. EXTEND EXISTING IRRIGATION TO NEW ISLANDS.
 3. CAP IRRIGATION LINES WHICH ARE ABANDONED.
 4. INSTALL 3/8" CRUSHED ROCK 4" MIN. THICK. MATCH EXISTING.

NOTE:
SEE CIVIL DRAW. FOR CURBS,
ASPHALT THICKNESS

PARTIAL SITE PLAN

SCALE 1" = 20'-0"

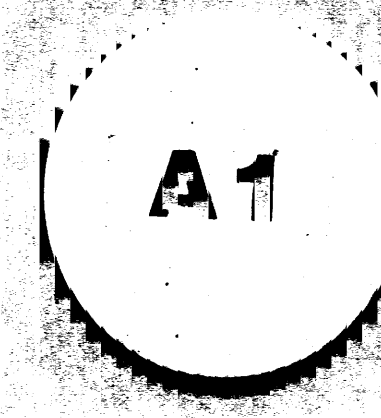


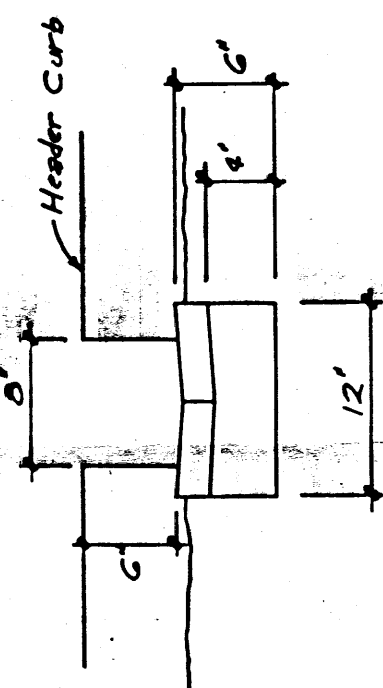
SCHOTANUS & COX
ARCHITECTS INC.
ARCHITECTS, PLANNERS, 134 W. VICTORIA SQUARE
PHOENIX, ARIZONA 85015 (602) 279-0015

IRWIN G. PASTERNAK & ASSOCIATES
ARCHITECTURE - PLANNING - INTERIOR
1741 EAST MARGARITA AVE
PHOENIX, ARIZONA 85016
SUITE 100
279-2808

PRICE CLUB
ALBUQUERQUE

TITLE	SITE PLAN
JOB NO.	91002
DATE	4-20-91
DRAWN BY	AL
CHECKED BY	RD
REVISIONS	





SCALE: 1" = 1'-0"

SCALE: 1"=1'-0"

LEGEND

- EXISTING CONTOUR (1 FT. INTERVALS)
PROPOSED CONTOUR (1 FT. INTERVALS)
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
EXISTING STANDARD CURB AND GUTTER
FUTURE STANDARD CURB AND GUTTER
PROPOSED DRAIN 6" PVC DRAIN PIPE
PROPERTY LINE
4 FT. FENCE
DIRECTION OF FLOW

BENCH MARK

NEW MEXICO STATE HIGHWAY COMMISSION CONTROL STATION "1-25-20"
A BRASS CAP SET IN TOP OF A CONCRETE POST, CONTROL STATION IS
APPROXIMATELY 0.50 MILE SOUTHWEST OF MONTANO ROAD AND ON THE
WESTERLY RIGHT-OF-WAY OF INTERSTATE 25. ELEVATION = 5079.42.

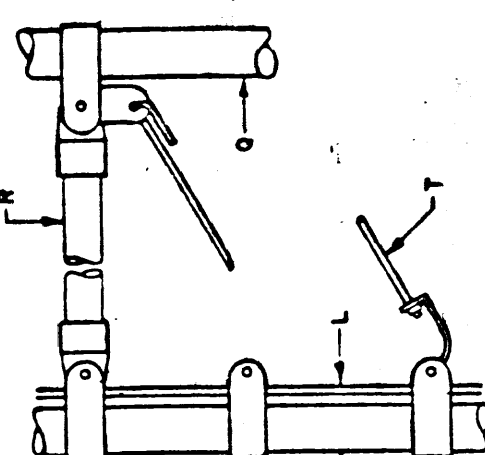
NOTES

1. ALL WORK DETAILED ON THESE PLANS IS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED, BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION).
2. THE CONTRACTOR SHALL CONTACT THE LOCATION SERVICE (PH: 954-3137), TWELVE (12) HOURS PRIOR TO CONSTRUCTION OF THE CONTRACTOR SHALL EXAMINE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST BETWEEN THE UTILITIES AND THE PROPOSED FOUNDATION, THE CONTRACTOR SHALL RESOLVE WITH A MINIMUM AMOUNT OF DELAY, SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. PRIOR TO GRADING ALL VEGETATION, DERIS AND NEAR SURFACES BEING EXCAVATED SHALL BE REMOVED AND THE EXCAVATION SHALL BE BACKFILLED WITH A MINIMUM OF 18" OF COMPACTED SOILS. SHALL BE DISPOSED OF AT A NEARBY LANDFILL. EXCAVATED SOILS SHALL BE DISPOSED OF OFF SITE OR STOCKPILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
4. THE EXCAVATION FILL SHALL HAVE BEEN EXCAVATED ON-SITE OR FROM AN APPROVED BORROW AREA.
5. NO PROTECT MATERIALS SHALL BE PLACED IN THE FILL.
6. THE EXCAVATION SHALL BE PROTECTED FROM ALL WEATHER CONDITIONS.
7. DURING ROUGH GRADING OF THE SITE ALL BUILDING PADS SHALL BE GRADED TO THREE FEET BEYOND SPECIFIED HORIZONTAL TOLERANCES.
8. THE EXCAVATION SHALL BE PROTECTED FROM ALL WEATHER CONDITIONS.
9. FINISHED TOP OF ASPHALT TOLERANCE FOR ALL AREAS WITH ROADS LESS THAN 15' $\pm$ 0.02 FEET FINISHED TOP OF ASPHALT TOLERANCE FOR ALL AREAS FINISHED TOP OF ASPHALT SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
10. THE EXCAVATION SHALL BE PROTECTED FROM ALL WEATHER CONDITIONS.
11. EARTH SOILS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
12. GRADING AND SHORROW OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
13. PRIOR TO FOOTING PLACEMENT THE PROPOSED BEARING SURFACES SHOULD BE SCAFFOLD AND MOISTENED TO $\frac{1}{4}$ - 2% OF OPTIMUM MOISTURE FOR A MINIMUM OF 18" OF COMPACTED SOILS.
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CHAIN LINK FENCE CONSTRUCTION NOTES

2. D. 2" NO. 9 GAUGE CHAIN LINK GALV. WIRE FABRIC.
3. WIRE TIES & STEEL TENSION BANDS AT 18" OR LESS.
L. TENSION BAR 1/4" X 3/4"
P. CORNER POST 5" O.D.
Q. LINE POST 2 1/2" O.D.
R. TOP AND BRACE RAILS 1 5/8" O.D.
S. WIRE REINFORCEMENT

BRACE DETAIL

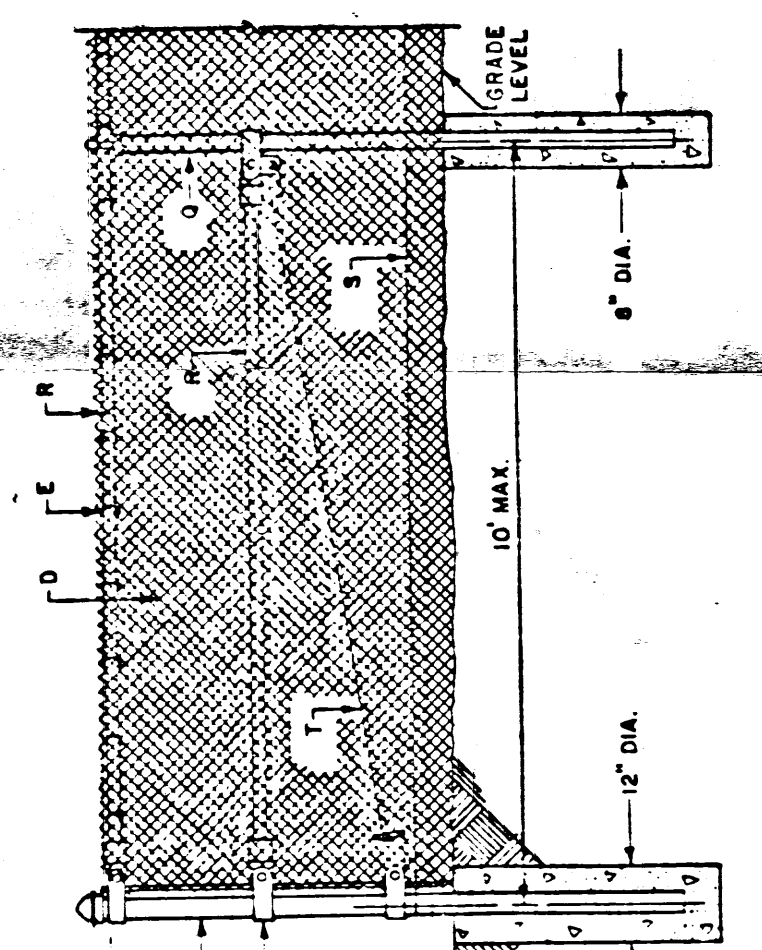


GRADING PLAN

SCALE : 1" = 50'

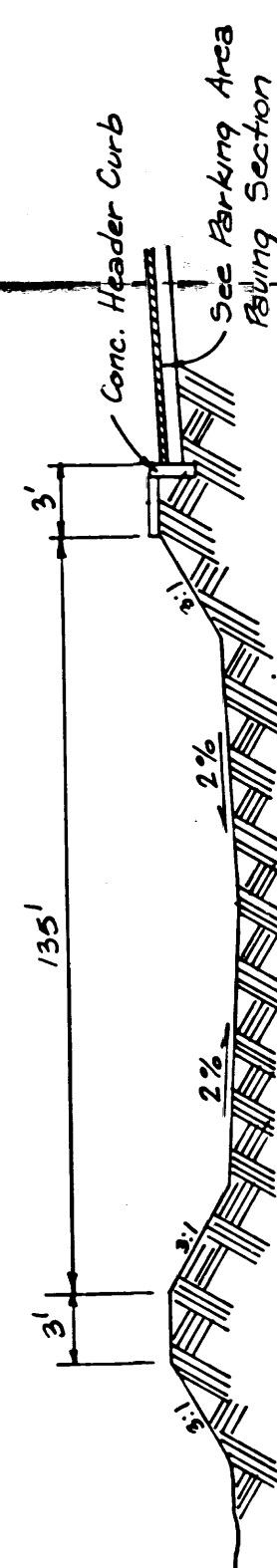
REVISION DATED OCTOBER 6, 1987

BOUNDARY MARKING SECTION - LOCATION NOTED
1. FENCE ADDED AT DETENTION ROAD TO ADD 2 FENCE
2. DETAIL OF 4 FENCE ADDED
3. NOTE ADDED TO REMOVE EXISTING ASPHALT AS
NECESSARY TO ALLOW GRADING AND SHOVIN.
8. NOTE 20 ADDED.



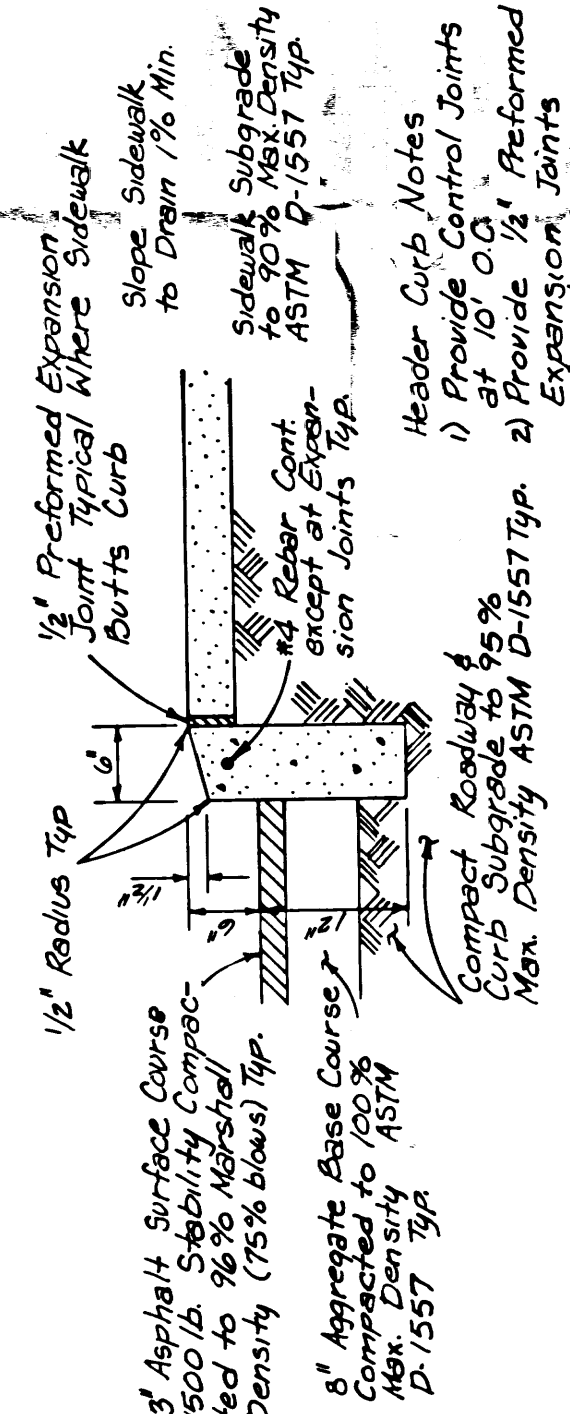
SECTION A-A

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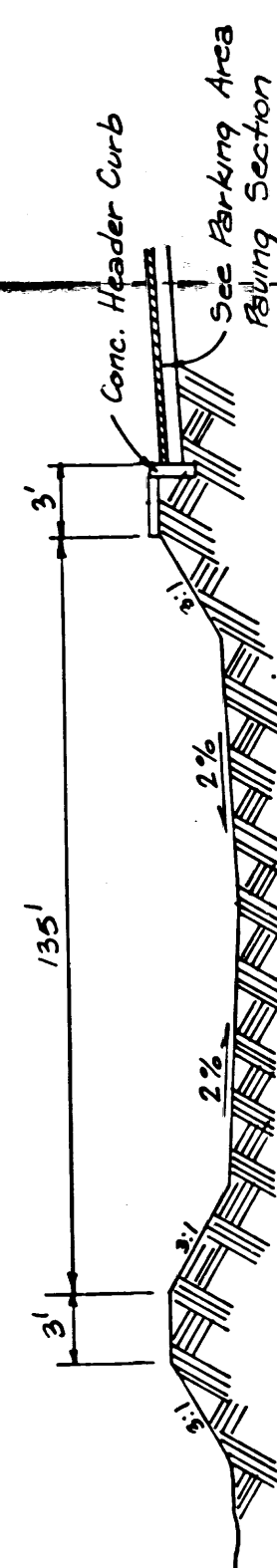


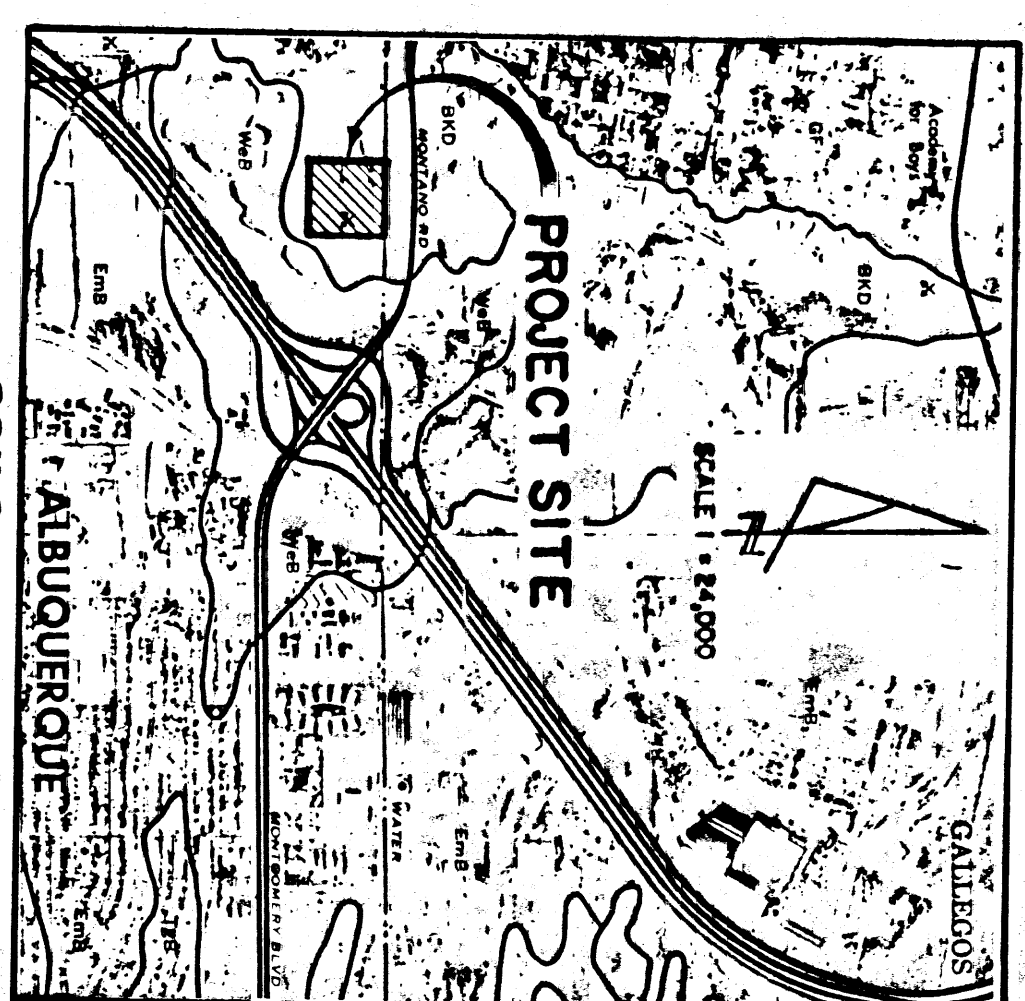
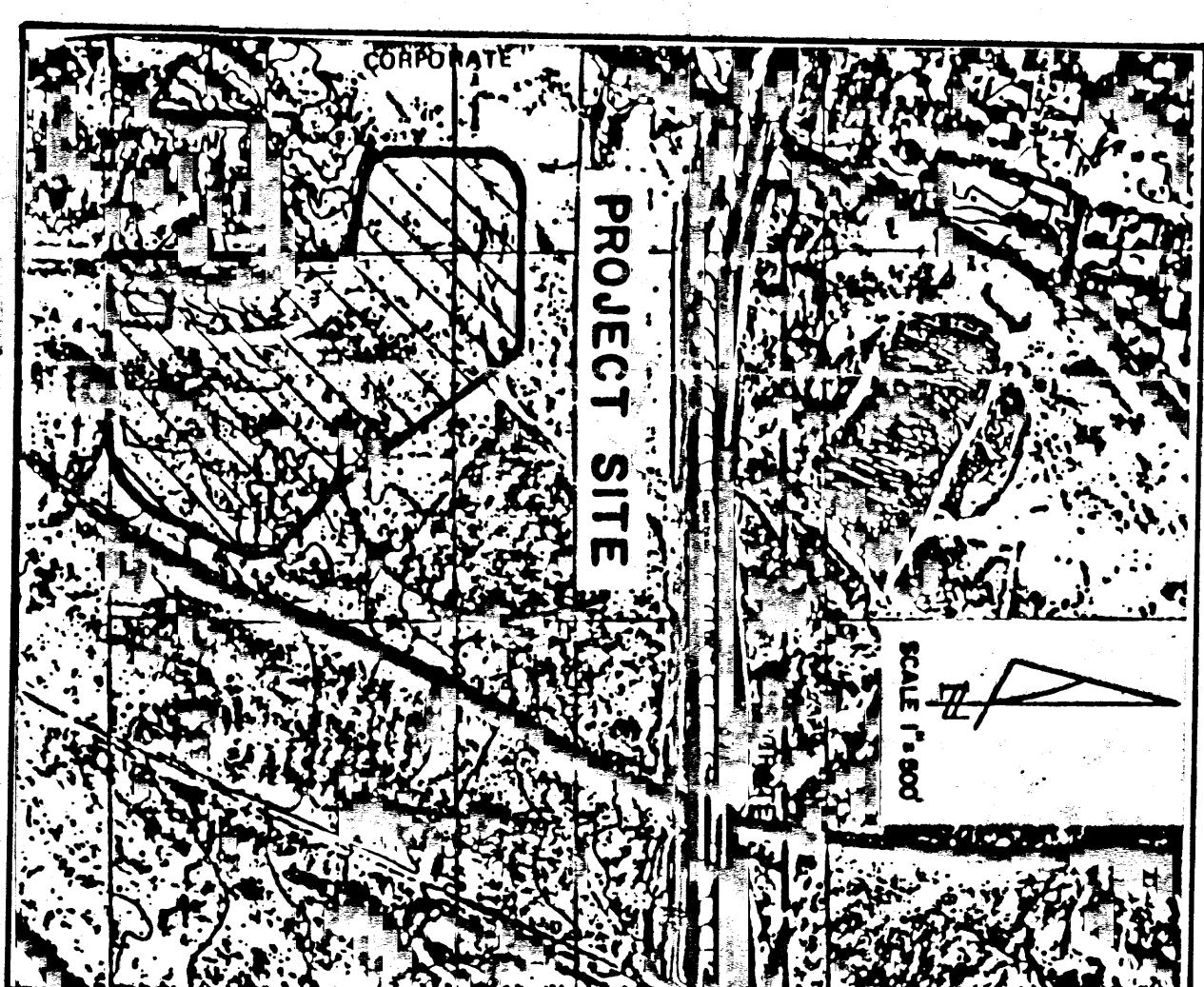
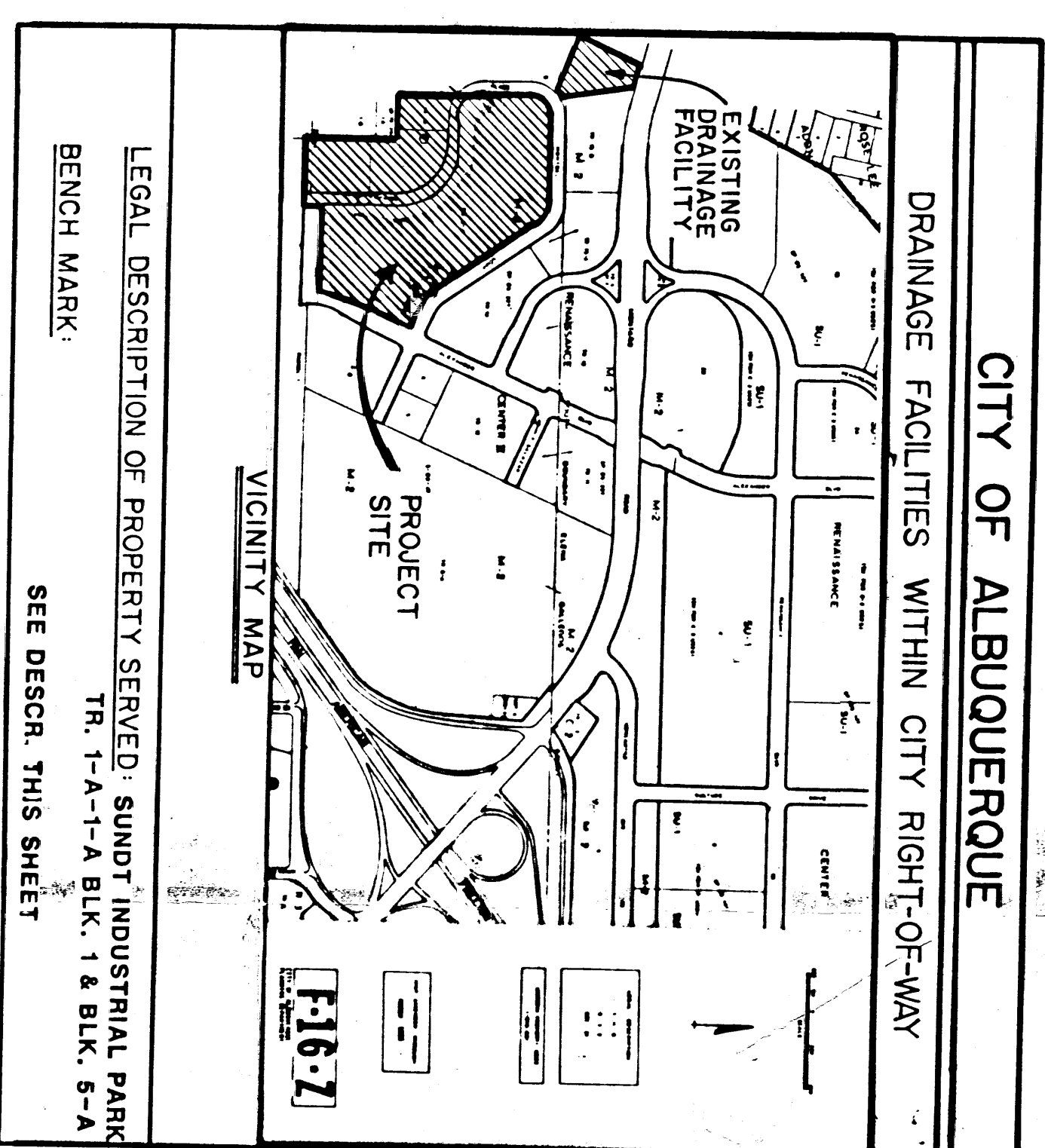
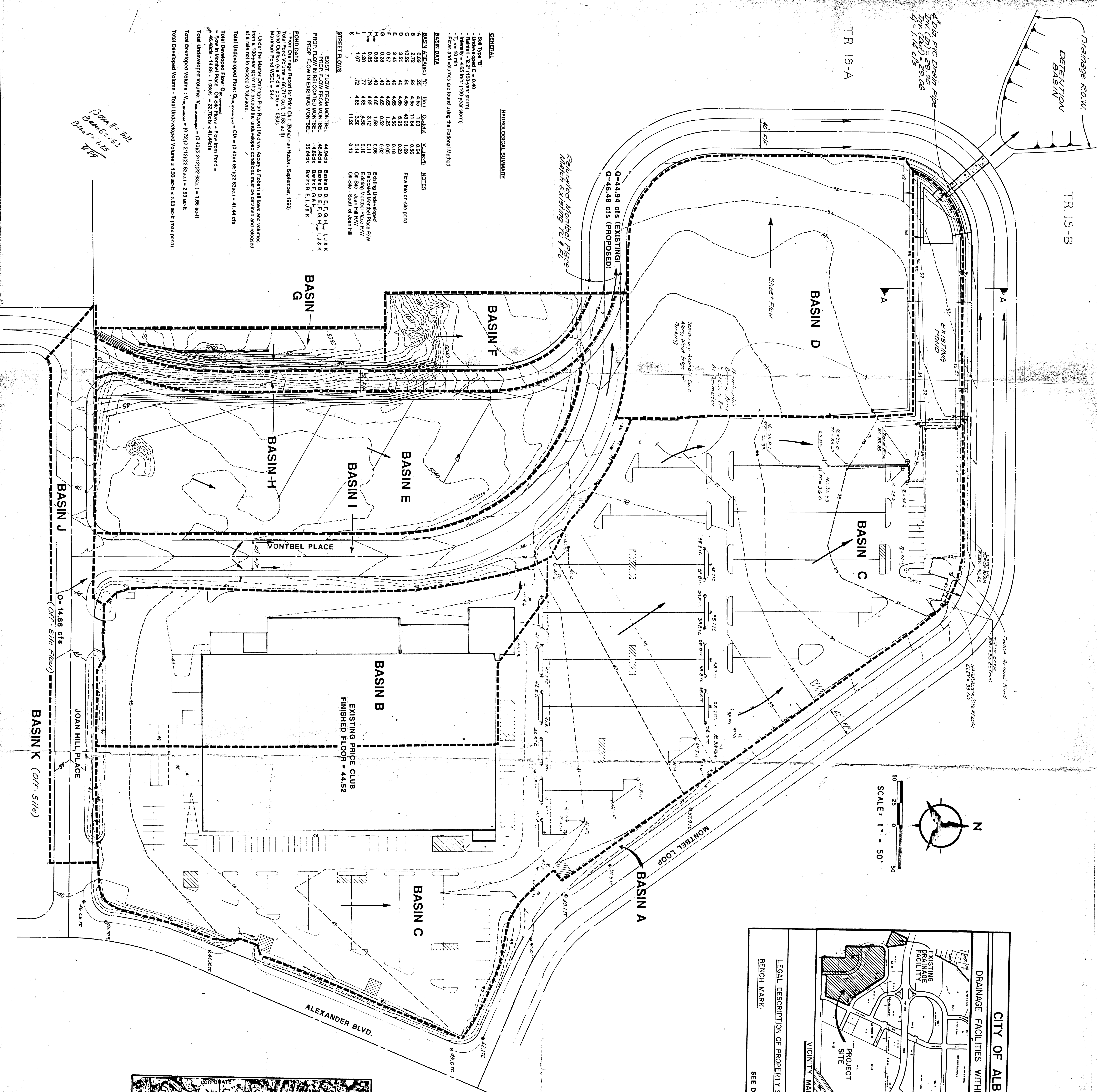
TYPICAL PARKING AREA PAVEMENT SECTION

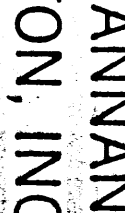
No Scale

TYPICAL ONSITE ROADWAY PAVEMENT SECTION¹⁴

No Sale





 BOHANNAN HUSTON, INC.	PROJECT TITLE		
	PRICE CLUB		
	PHASE I EXPANSION		
	CONTENTS		
	DRAINAGE AND GRADING PLAN		
	PLATE		
REVISIONS	BY	DATE	
CHECKED	1	1	
DRAWN BY	SHEET		
DATE	1 OF 1		
9/21/12			

NEW MEXICO STATE HIGHWAY COMMISSION CONTROL STATION "1-25-20"
A BRASS CAP SET IN TOP OF A CONCRETE POST. CONTROL STATION IS
APPROXIMATELY 0.50 MILE SOUTHWEST OF MONTANO ROAD AND ON THE
WESTERLY RIGHT-OF-WAY OF INTERSTATE 25. ELEVATION = 5079.42

LEGEND

EXISTING CONTOUR (1 FT. INTERVALS)

PROPOSED CONTOUR (1 FT. INTERVALS)

EXISTING SPOT ELEVATION

PROPOSED SPOT ELEVATION

EXISTING STANDARD CURB AND GUTTER

FUTURE STANDARD CURB AND GUTTER

PROPOSED DRAIN 6" PVC DRAIN PIPE

PROPERTY LINE

4 FT. FENCE

DIRECTION OF FLOW

DRAINAGE BASIN BOUNDARY

BENCH MARK

F-16 / D3B

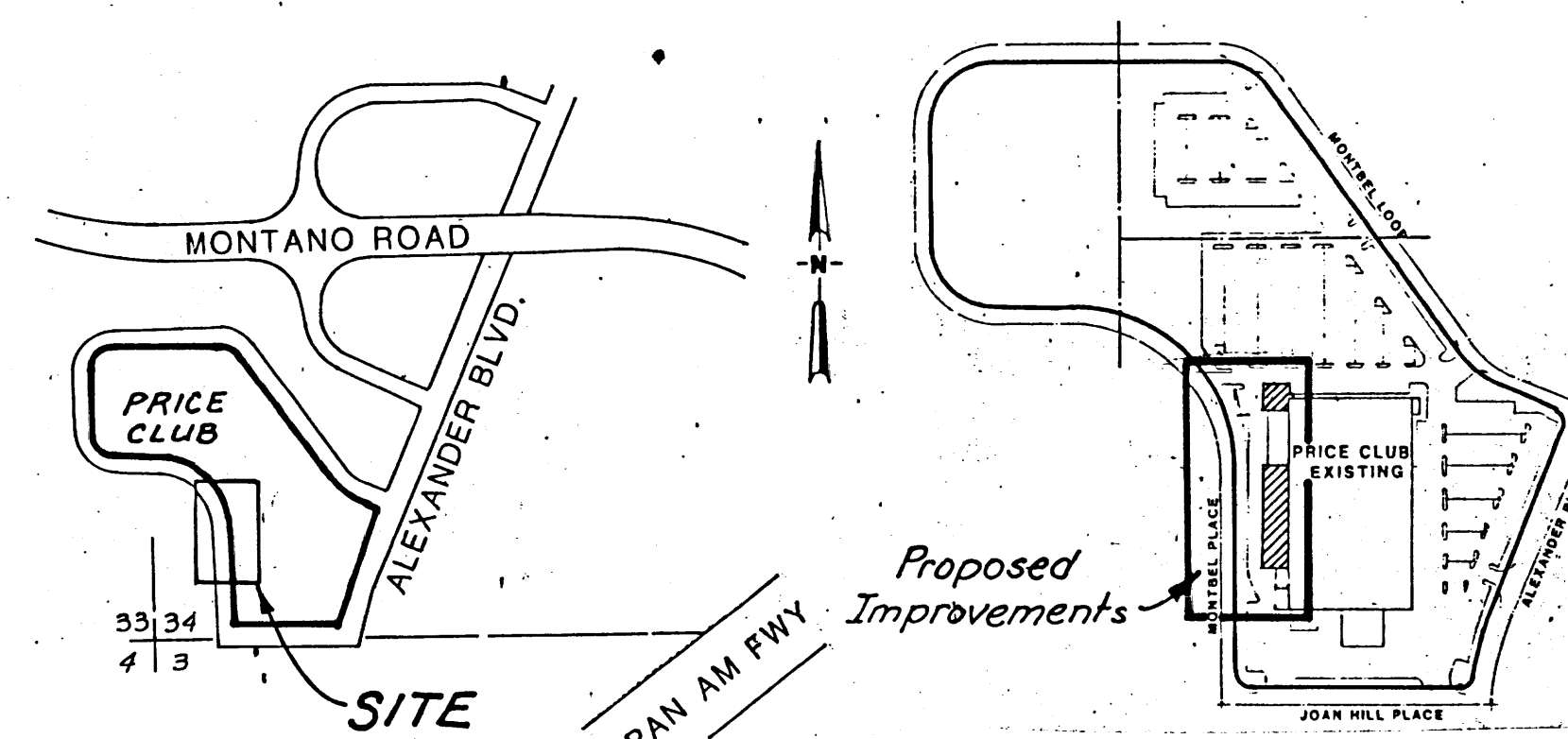
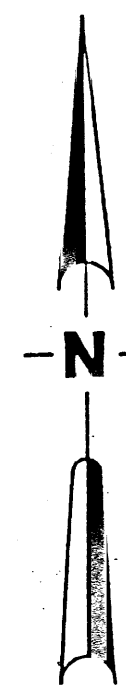
copy

DECEMBER
OCT 16 1992
HYDROLOGICAL ENGINEERING

LEGEND

- Exist. Pavement
- Exist. Concrete
- New Pavement
- New Stair Landing (See Arch. Plans)
- Exist. Water Line
- Exist. Sanitary Sewer
- Exist. Top of Curb Elev.
- Exist. Flow Line Elev.
- Proposed Pavement Elev.
- Proposed Flow Line Elev.
- Exist. Grade

SCALE: 1"=30'



VICINITY MAP
ALBUQUERQUE, NEW MEXICO

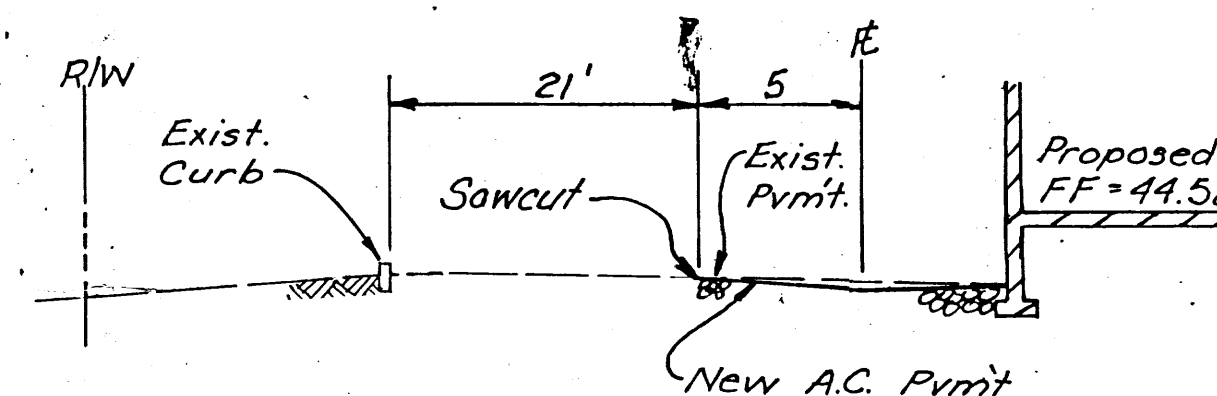
SITE PLAN

GENERAL NOTES

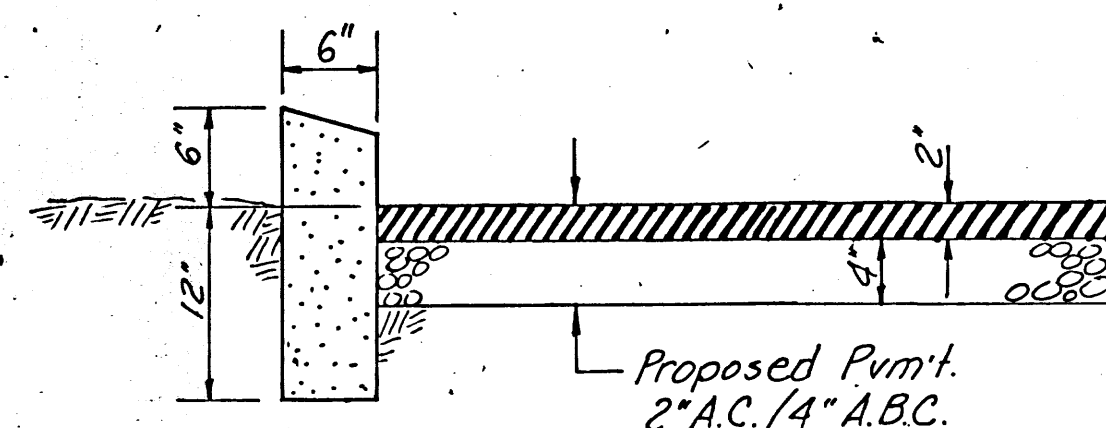
- All work detailed on these plans to be performed under contract shall, except otherwise stated or provided for hereon, be constructed in accordance with City of Albuquerque "Public Works Contract 84-2" and the New Mexico Standard Specifications for Public Works Construction, 1979 edition.
- Two working days prior to any excavation, contractor must contact line-locating service, 765-1234, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all utilities. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Earth slopes shall not exceed 3 horizontal to 1 vertical.
- Grading and earthwork operations shall be performed in accordance with all current city, county, state and federal dust control regulations.
- All existing elevations and utility locations shown on this plan as per the Price Club construction plans by Bohannon-Huston, Inc. 4125 Carlisle Boulevard, NE Albuquerque, NM 87107, Project No. 41692, dated July 10, 1984.
- All existing elevations and utility locations to be verified by contractor prior to construction.

CONSTRUCTION KEYNOTES

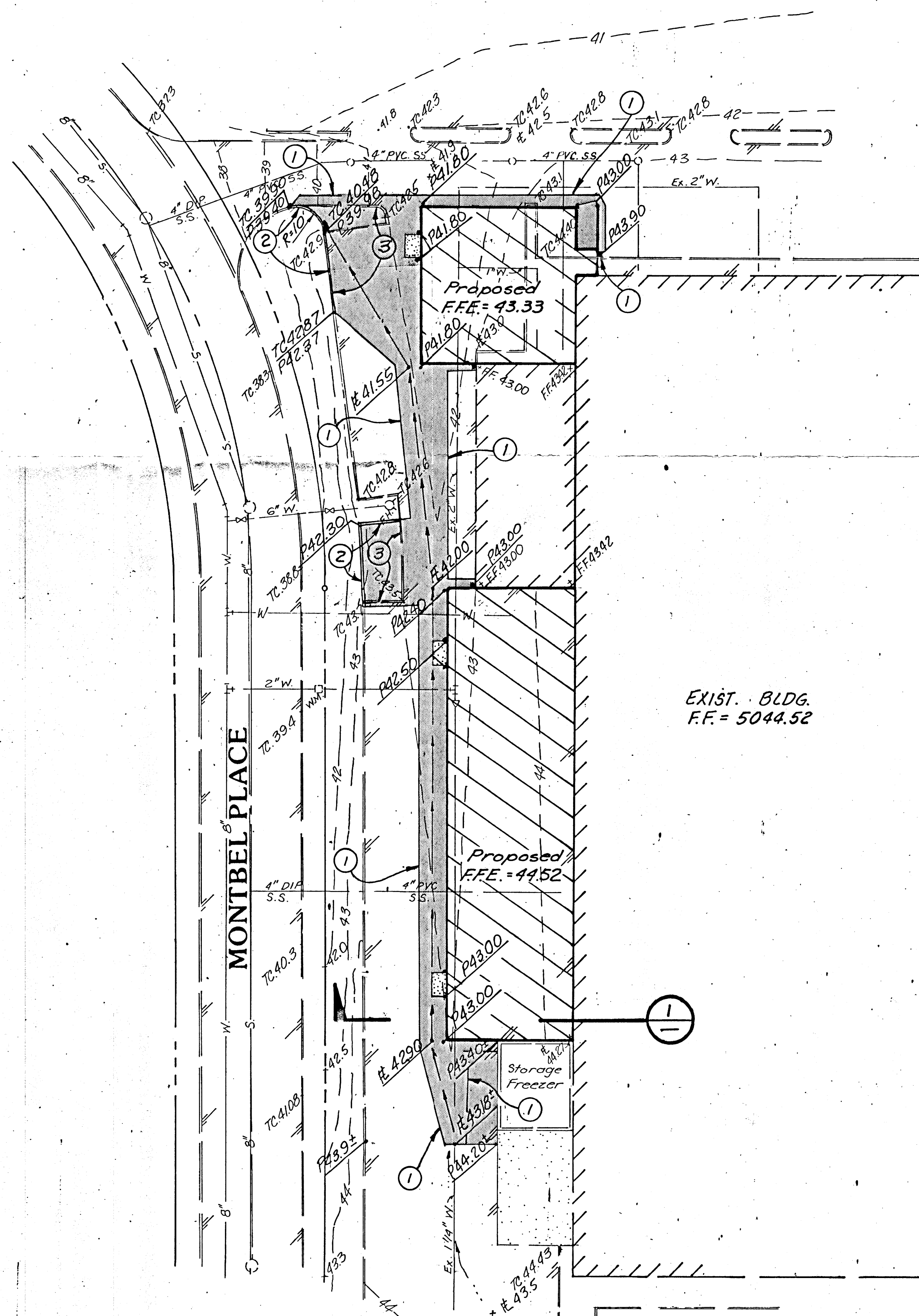
- Sawcut & Match exist. pavement
- Construct New Curb to Match Existing
- Sawcut & Remove Existing Curb



SECTION



CURB DETAIL



EXIST. BLDG.
FF = 5044.52

Proposed
FFE = 44.52

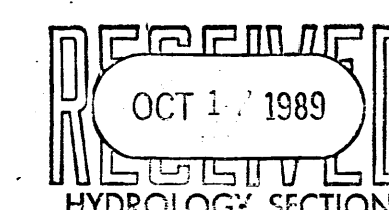
Storage
Freight

OWNER

The Price Company
2657 Ariane Drive
San Diego, CA 92117
(619) 483-6600

BENCHMARK

New Mexico St. Hwy. Comm. Control
Sta. "I-25-20", B.C. set in top of
conc. post. Control Sta. is approx.
0.50 mi. S.W. of Montano Rd. &
on the Westerly R.O.W. of I-25.
Elevation = 5079.42



THE PRICE CLUB, ALBUQUERQUE, NEW MEXICO
GRADING, DRAINAGE & UTILITY PLAN

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

U.B.C. PLAN CHECK CONSULTING CIVIL ENGINEERING		JMA	
745 E. Maryland Ave., Suite 208, Phoenix, Arizona 85014, (602) 248-0286			
DESIGN JD	DRAWN TT	CHECK JM	DATE 10/89
JOB NO. 8953		SHEET 1 OF 1	