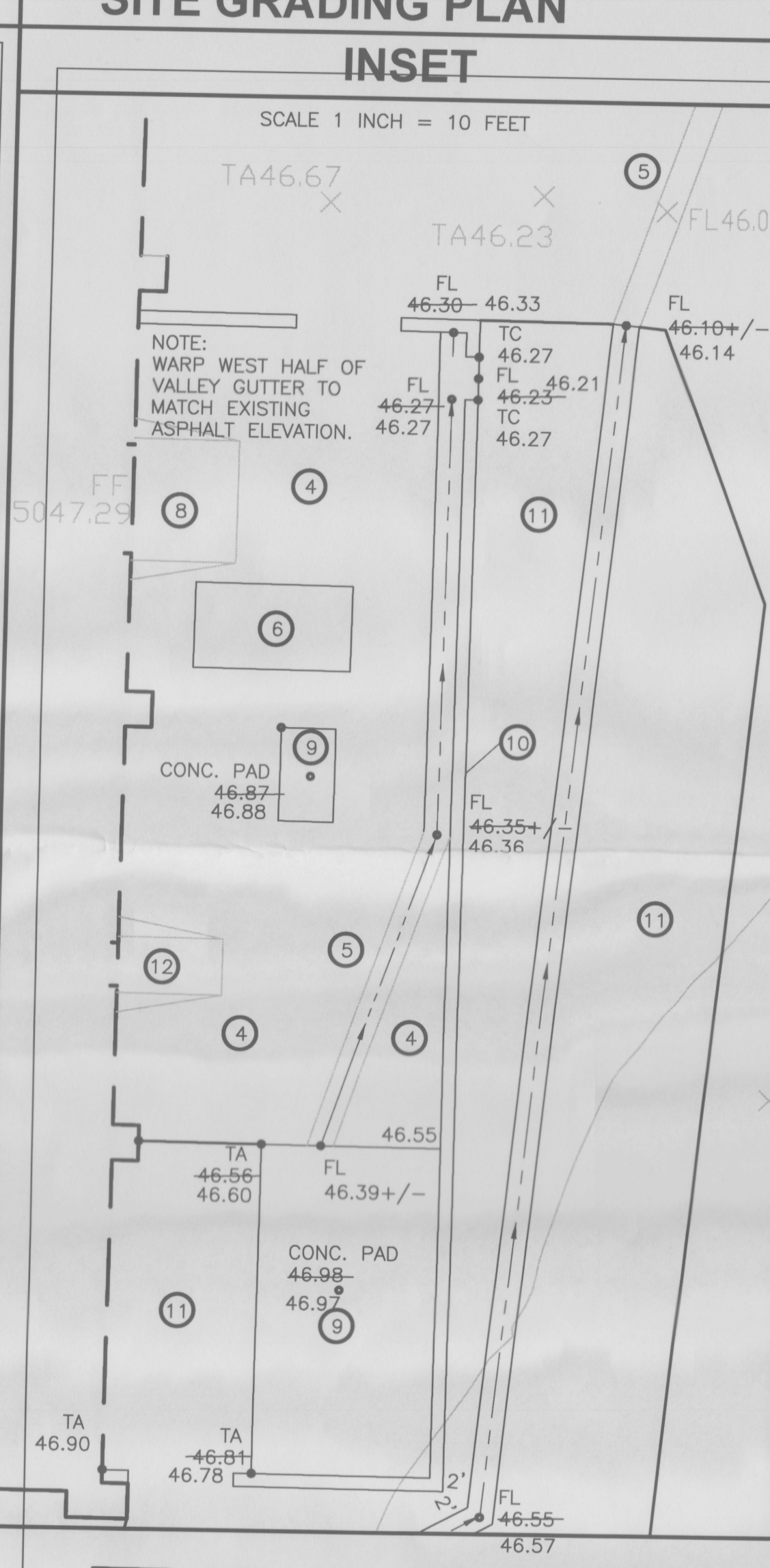


SITE GRADING PLAN



#4 BENT REBAR AT 16" max.
O.C./E.W. 2" CLEAR ON TOP
SURFACE, 3" CLEAR ON GROUND
AND SIDE SURFACES. 15° MIN.
LAP, IF USED.

12"

12"

6"

12"

RAISED PAD (3000 PSI PORTLAND CEMENT CONCRETE)

6" MIN. SUBGRADE PREPARATION (95% MODIFIED PROCTOR)

COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

NEW OR EXISTING ASPHALT

NEW CMU WALL

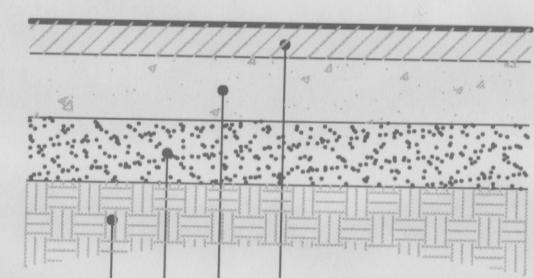
NOTES:

SEE SHEET A1-1 FOR LOCATION AND SURFACE DIMENSIONS.

SET INSET AT LEFT FOR SURFACE ELEVATION. PAD IS TO BE LEVEL.

PROVIDE SMOOTH TROWEL FINISH ON PAD CONCRETE SURFACES,
ROUND EXPOSED CORNERS WITH EDGING TROWEL (1/2" RADIUS).

1/2" BITUMINOUS JOINT FILLER SHALL BE INSTALLED AT RAISED PAD
JOINTS WITH CMU WALL AND SHALL COVER THE ENTIRE CONTACT
SURFACE. TRIM JOINTS FLUSH WITH CONCRETE PAVEMENT SURFACE.



3" ASPHALT SURFACE COURSE (CITY OF ALBUQUERQUE, TYPE C)
6" AGGREGATE BASE COURSE
6" SUBGRADE PREPARATION
(95% MODIFIED PROCTOR)
COMPACTED SUBGRADE
(90% MODIFIED PROCTOR)

6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)

NOTE:
PROVIDE TROWELED CONTRACTION JOINTS AT 8'
CENTERS AND EXPANSION JOINTS AT 48' CENTERS.

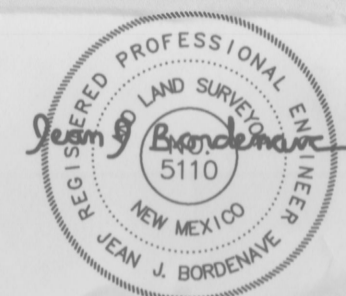
Diagram illustrating a door opening with a ramp down. The diagram shows a door opening with a ramp down, labeled "RAMP DOWN". The dimensions are indicated as 8', 6', and 18'.

NOTE:
SAWCUT, REMOVE AND DISPOSE EXISTING
ASPHALT.

I, JEAN J. BORDENAVE, NMP&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED SEPT. 22, 2011. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS: NONE

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



04/21/15

1. EXISTING BUILDING
2. EXISTING DEPRESSED DOCK.
3. EXISTING CMU RETAINING WALL.
4. EXISTING ASPHALT PAVEMENT TO REMAIN.
5. EXISTING 2' WIDE CONCRETE VALLEY GUTTER. TO REMAIN.
6. EXISTING RAISED CONCRETE GENERATOR PLATFORM TO REMAIN.
7. EXISTING ASPHALT & CONCRETE VALLEY GUTTER. SAW CUT FULL DEPTH, REMOVE AND DISPOSE.
8. EXISTING DOORWAY RAMP TO REMAIN.
9. NEW RAISED CONCRETE PAD. SEE DIMENSIONS AND DETAILS ON SHT A1.1.
10. NEW CMU WALL. SEE DIMENSIONS AND DETAILS ON SHT A1.1.
11. NEW ASPHALT PAVEMENT. SEE DETAIL THIS SHEET.
12. NEW DOORWAY RAMP. SEE CONCRETE RAMP DETAIL THIS SHEET.

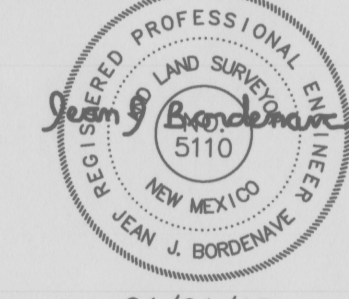
ACS 10-F15 ELEVATION 5002.450 (NAVD 1988)

1. THE SITE IS AN EXISTING FACILITY. THE PROPOSED CONSTRUCTION IMPACTS THE EXISTING DRAINAGE PATTERN AS IT SEVERES EXISTING DRAINAGE SWALE AND CONCRETE VALLEY GUTTER. ALL PROPOSED CONSTRUCTION WILL TAKE PLACE ON EXISTING PAVED SURFACES. NEW SURFACES WILL BE IMPERVIOUS AS WELL. EXISTING ASPHALT PAVEMENT HAS NUMEROUS PATCHES AND ALLIGATOR CRACKING INDICATING SUBGRADE FAILURES. IT IS SUSPECTED THAT THE FAILURES ARE PRIMARILY DUE TO POOR SURFACE DRAINAGE.
2. THERE IS NO CHANGE IN THE SITE HYDROLOGY OR DRAINAGE PATTERNS DUE TO THE PROPOSED CONSTRUCTION. THEREFORE NO COMPUTATIONS ARE PROVIDED.
3. THE SITE IS LOCATED IN AN AREA DESIGNATED "ZONE X" PER THE FEMA FIRM NO. 138H, DATED AUGUST 16, 2012.
4. EXISTING TOPOGRAPHY SHOWN ON THIS SHEET WAS OBTAINED BY HARRIS SURVEYING CO., INC. IN OCTOBER, 2013.

I, JEAN J. BORDENAVE, NME&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED OCTOBER 31, 2013. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS: NONE

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



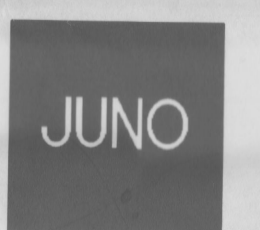
04/01/15

TTM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE
BC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
RED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

FEMA FLOODPLAIN BOUNDARY
 DRAINAGE BASIN BOUNDARY
 EROSION SETBACK LINE
 EXISTING CONTOUR
 PROPOSED CONTOUR
 XX.XX
 XX.XX
 XX.XX
 XX.XX
 EXISTING SPOT ELEVATION
 PROPOSED SPOT ELEVATION
 RECORD SPOT ELEVATION

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERM OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.



ARCHITECTS

7925 BOSQUE ST. NW, ALBUQUERQUE, NM 87114 Ph. (505) 892-8453 Fax. (505) 890-1736

PROJECT:

OSO BIO WAREHOUSE FREEZER PROJECT
4401 ALEXANDER BLVD., NE, ALBUQUERQUE, NM

SHEET TITLE:

GRADING AND DRAINAGE PLAN

NO.	REVISION	DATE
1	RETAIN ASPHALT PAVEMENT IN WALLED AREA	10/31/13

ARCHITECT STAMP

CONSULTANT STAMP



Professional Engineer Seal

507 (11/15/19) (11/15/19) (11/15/19)



C1.1

7

CROSS HATCHED AREA. SAW CUT ASPHALT FULL DEPTH, REMOVE AND DISPOSE. SAW CUT VALLEY GUTTER, REMOVE AND DISPOSE.

6

5

CONCRETE

TA46.57 X

TA46.23 X

FL46.08 \ TA46.34

TA46.49 X

BC47.26

EL46.41

TA46.53 X

TA46.79

TA46.36 X

TA46.97 X

TA46.36

TA46.02

TA46.36

TA46.27

XTA47.28

XTA47.33

XTA47.38

XTA47.43

TA46.71

TA46.67

TA46.71

XTA47.34

TA47.57

14'

20'

20'

12'

2'

NORTH

SCALE 1 INCH = 20 FEET

20 10 0 10 20 40 60

3" ASPHALT SURFACE COURSE (CITY OF ALBUQUERQUE, TYPE C)
 6" AGGREGATE BASE COURSE
 6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)
 COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

2'-0"

1 1/2"

7"

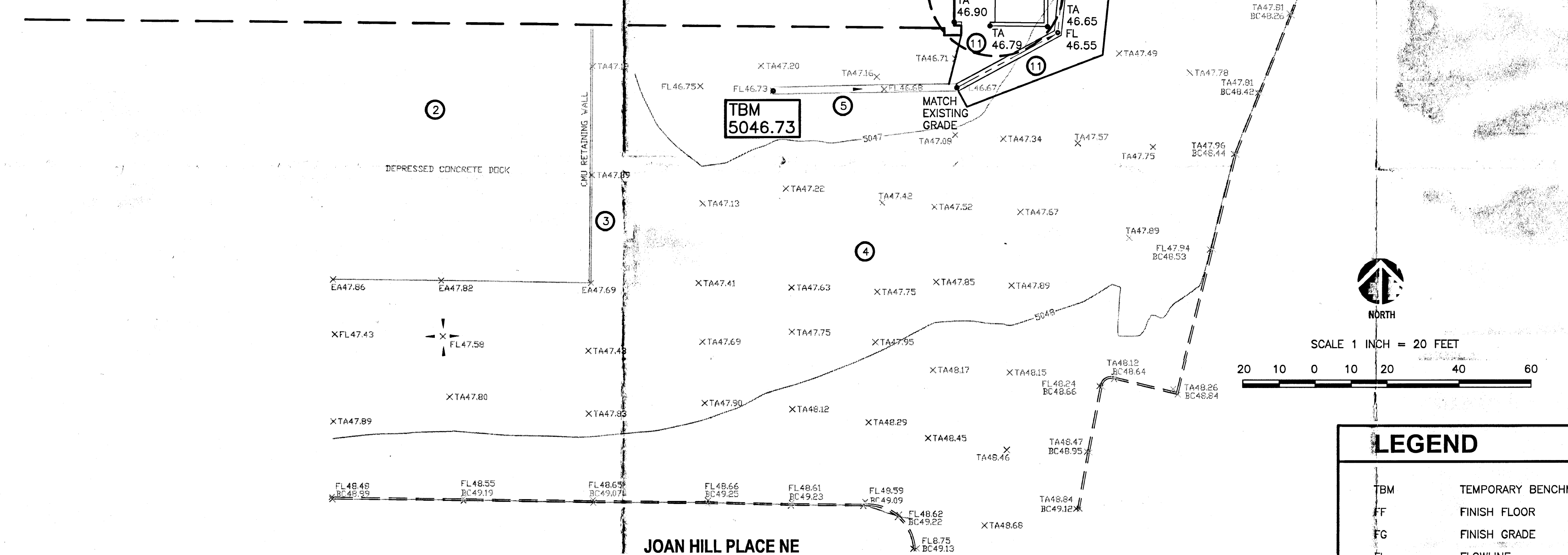
VALLEY GUTTER (3000 PSI PORTLAND CEMENT CONCRETE)

6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)

COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

NOTE:
PROVIDE TROWELED CONTRACTION JOINTS AT 8' CENTERS AND EXPANSION JOINTS AT 48' CENTERS.

Diagram illustrating a door opening with a concrete ramp. The ramp is labeled "4" CONCRETE RAMP (3000 PSI PORTLAND CEMENT CONCRETE)". The ramp is shown with a "RAMP DOWN" arrow. The dimensions are: 8' (width of the ramp), 6" (height of the ramp), and 15' (length of the ramp). The ramp is shown with a "DOOR OPENING" label. A note specifies: "NOTE: SAWCUT, REMOVE AND DISPOSE EXISTING ASPHALT."



1. EXISTING BUILDING
2. EXISTING DEPRESSED DOCK.
3. EXISTING CMU RETAINING WALL.
4. EXISTING ASPHALT PAVEMENT TO REMAIN.
5. EXISTING 2' WIDE CONCRETE VALLEY GUTTER. TO REMAIN.
6. EXISTING RAISED CONCRETE GENERATOR PLATFORM TO REMAIN.
7. EXISTING ASPHALT & CONCRETE VALLEY GUTTER. SAW CUT FULL DEPTH, REMOVE AND DISPOSE.
8. EXISTING DOORWAY RAMP TO REMAIN.
9. NEW RAISED CONCRETE PAD. SEE DIMENSIONS AND DETAILS ON SHT A1.1.
10. NEW CMU WALL. SEE DIMENSIONS AND DETAILS ON SHT A1.1.
11. NEW ASPHALT PAVEMENT. SEE DETAIL THIS SHEET.
12. NEW DOORWAY RAMP. SEE CONCRETE RAMP DETAIL THIS SHEET.

ACS 10-F15 ELEVATION 5002.450 (NAVD 1988)

TRACT B, BLOCK 5, SUNDT'S INDUSTRIAL CENTER

1. THE SITE IS AN EXISTING FACILITY. THE PROPOSED CONSTRUCTION IMPACTS THE EXISTING DRAINAGE PATTERN AS IT SEVERES AND EXISTING DRAINAGE SWALE AND CONCRETE VALLEY GUTTER. ALL PROPOSED CONSTRUCTION WILL TAKE PLACE ON EXISTING SURFACE. EXISTING SURFACE WILL BE IMPROVED AS WELL. EXISTING ASPHALT PAVEMENT HAS SEVERAL NUMEROUS PATCHES AND ALLIGATOR CRACKING INDICATING SUBGRADE FAILURES. IT IS SUSPECTED THAT THE FAILURES ARE PRIMARILY DUE TO POOR SURFACE DRAINAGE.
2. THERE IS NO CHANGE IN THE SITE HYDROLOGY OR DRAINAGE PATTERNS DUE TO THE PROPOSED CONSTRUCTION. THEREFORE NO COMPUTATIONS ARE PROVIDED.
3. THE SITE IS LOCATED IN AN AREA DESIGNATED "ZONE X" PER THE FEMA FIRM NO. 1384, DATED AUGUST 16, 2012.
4. EXISTING TOPOGRAPHY SHOWN ON THIS SHEET WAS OBTAINED BY HARRIS SURVEYING CO., INC. IN OCTOBER, 2013.

1BM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE
BC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
CW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

This map illustrates the downtown area of St. Louis, Missouri, with various commercial and industrial zones. Key areas labeled include:

- MISSION SEMINARY BUILDING**: Located in the upper left quadrant.
- RENAISSANCE**: Multiple zones labeled in the upper and middle sections.
- CENTER**: Labeled in the middle right section.
- MONTANA**: Labeled in the lower left section.
- DOWNTOWN**: Labeled in the lower left section.
- MIDTOWN**: Labeled in the lower left section.
- SITE**: A specific location marked with a circle and labeled "SITE" in the lower left section.
- INDUSTRIAL**: Labeled in the lower right section.
- COMMERCIAL**: Labeled in the lower right section.
- RESIDENTIAL**: Labeled in the lower right section.
- RECREATION**: Labeled in the lower right section.
- TRANSPORTATION**: Labeled in the lower right section.
- UTILITIES**: Labeled in the lower right section.
- GOVERNMENT**: Labeled in the lower right section.
- EDUCATION**: Labeled in the lower right section.
- HEALTHCARE**: Labeled in the lower right section.
- FINANCIAL**: Labeled in the lower right section.
- TECHNOLOGY**: Labeled in the lower right section.
- ARTS AND CULTURE**: Labeled in the lower right section.
- ENTERTAINMENT**: Labeled in the lower right section.
- SPORTS**: Labeled in the lower right section.
- CONVENTION**: Labeled in the lower right section.
- OFFICE**: Labeled in the lower right section.
- RETAIL**: Labeled in the lower right section.
- FOOD AND BEVERAGE**: Labeled in the lower right section.
- TRAVEL**: Labeled in the lower right section.
- TRANSPORTATION**: Labeled in the lower right section.
- UTILITIES**: Labeled in the lower right section.
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- OFFICE**: Labeled in the lower right section.
- RETAIL**: Labeled in the lower right section.
- FOOD AND BEVERAGE**: Labeled in the lower right section.
- TRAVEL**: Labeled in the lower right section.

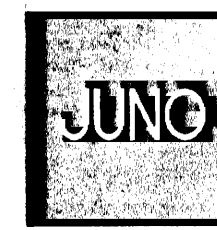
The map also shows major roads, parking lots, and specific building footprints. A scale bar at the bottom indicates distances in feet and miles.

2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
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THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL, INSURANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.



ARCHITECTS

7925 BOSQUE ST. NW, ALBUQUERQUE, NM 87114 Ph. (505) 892-8453 Fax. (505) 890-1736

OSO BIO WAREHOUSE FREEZER PROJECT
4401 ALEXANDER BLVD., NE, ALBUQUERQUE,

SHEET TITLE

NO.	REVISION	DATE
1	RETAIN ASPHALT PAVEMENT IN WALLED AREA	10/31/13

ARCHITECT STAMP

CONSULTANT STA.

RECEIVED
NOV 13 2013
LAND DEVELOPMENT SECTION



DATE: 10.14.13

PROJECT NO.

1324

SHEET NO.

C1 1

Ch. 1

7

CROSS HATCHED AREA, SAW CUT ASPHALT FULL DEPTH, REMOVE AND DISPOSE. SAW CUT VALLEY GUTTER, REMOVE AND DISPOSE. CONCRETE GENERATOR PAD TO REMAIN.

CONCRETE

TA46.67 X

TA46.23 X

FL46.18 X

TA46.34

TA46.49

BC47.04

BC47.35

TA46.91

X

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3" ASPHALT SURFACE COURSE (CITY OF ALBUQUERQUE, TYPE C)

6" AGGREGATE BASE COURSE

6" SUBGRADE PREPARATION
(95% MODIFIED PROCTOR)

COMPACTED SUBGRADE
(90% MODIFIED PROCTOR)

2'-0"

1/2"

7"

VALLEY GUTTER (3000 PSI PORTLAND CEMENT CONCRETE)

6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)

COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

NOTE:
PROVIDE TROWELED CONTRACTION JOINTS AT 8' CENTERS AND EXPANSION JOINTS AT 48' CENTERS.

NOTE:
RAMP SHALL BE POURED MONOLITHICALLY
WITH ABUTTING SLAB.

NOTES:
PROVIDE BROOM FINISH ON ALL CONCRETE SURFACES. (MAKE
PATTERN TRANSVERSE TO SLOPE ON RAMPS.)
PROVIDE CONTRACTION JOINTS AS SHOWN ON INSET. JOINTS SHALL
BE A MINIMUM OF 1/8" WIDE AND 1.5 INCHES DEEP. JOINTS SHALL
BE THOROUGHLY CLEANED AND FILLED WITH ELASTOMERIC JOINT
SEALANT.
7"x1/2" BITUMINOUS JOINT FILLER SHALL BE INSTALLED AT ALL WALL
AND RAISED PAD JOINTS WITH CONCRETE PAVEMENT. TRIM JOINTS
FLUSH WITH CONCRETE SURFACE.

[illegible]

1. EXISTING BUILDING
2. EXISTING DEPRESSED DOCK.
3. EXISTING CMU RETAINING WALL.
4. EXISTING ASPHALT PARKING AREA.
5. EXISTING 2' WIDE CONCRETE VALLEY GUTTER.
6. EXISTING RAISED CONCRETE GENERATOR PLATFORM TO REMAIN.
7. EXISTING ASPHALT & CONCRETE VALLEY GUTTER. SAW CUT FULL DEPTH, REMOVE AND DISPOSE.
8. NEW DOORWAY RAMP. SEE DETAIL IN CONC. PAVEMENT DETAIL THIS SHEET.
9. NEW RAISED CONCRETE PAD. SEE DIMENSIONS AND DETAILS ON SHT A1.1.
10. NEW CMU WALL. SEE DIMENSIONS AND DETAILS ON SHT A1.1.
11. NEW ASPHALT PAVEMENT. SEE DETAIL THIS SHEET.
12. NEW CONCRETE PAVEMENT. SEE DETAIL THIS SHEET.
13. CONTRACTION JOINT, TYPICAL.

ACS 10-F15	ELEVATION 5002.450 (NAVD 1988)	TRACT A, BLOCK 5, SUNDT'S INDUSTRIAL CENTER
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ACS 10-F15	ELEVATION 5002.450 (NAVD 1988)	TRACT A, BLOCK 5, SUNDT'S INDUSTRIAL CENTER
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1. THE SITE IS AN EXISTING FACILITY. THE PROPOSED CONSTRUCTION IMPACTS THE EXISTING DRAINAGE PATTERN AS IT SEVERES AND EXISTING DRAINAGE SWALE AND CONCRETE VALLEY GUTTER. ALL PROPOSED CONSTRUCTION WILL TAKE PLACE ON EXISTING IMPERVIOUS SURFACES. NEW SURFACES WILL BE IMPERVIOUS AS WELL. EXISTING ASPHALT PAVEMENT HAS CRACKS, PATCHES AND ALLIGATOR CRACKING INDICATING SUBGRADE FAILURES. IT IS SUSPECTED THAT THE FAILURES ARE PRIMARILY DUE TO POOR SURFACE DRAINAGE.
2. THERE IS NO CHANGE IN THE SITE HYDROLOGY OR DRAINAGE PATTERNS DUE TO THE PROPOSED CONSTRUCTION. THEREFORE, NO COMPUTATIONS ARE PROVIDED.
3. THE SITE IS LOCATED IN AN AREA DESIGNATED "ZONE X" PER THE FEMA FIRM NO. 1384, DATED AUGUST 16, 2012.
4. EXISTING TOPOGRAPHY SHOWN ON THIS SHEET WAS OBTAINED BY HARRIS SURVEYING CO., INC. IN OCTOBER, 2013.

TEMP	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE
BC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD ✓	ROOF DRAINAGE POINT

- - - - -	FEMA FLOODPLAIN BOUNDARY
- · - · -	DRAINAGE BASIN BOUNDARY
.	EROSION SETBACK LINE
—————	EXISTING CONTOUR
———	PROPOSED CONTOUR
- - - - -	EXISTING SPOT ELEVATION
- - - - -	PROPOSED SPOT ELEVATION
- - - - -	RECORD SPOT ELEVATION

[illegible]

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE CITY OF ALBUQUERQUE ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERM OR SILT FENCES AT PROPERTY LINES AND METTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWEEP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.

2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.

3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

ARCHITECTS
7925 BOSQUE ST. NW, ALBUQUERQUE, NM 87114 Ph. (505) 892-8453 Fax. (505) 890-1736

GRADING AND DRAINAGE PLAN

NO.	REVISION	DATE
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ARCHITECT STAMP
STATE OF NEW MEXICO
KEVIN JUNO
No. 1603
REGISTERED ARCHITECT

CONSULTANT STAMP



10/14/13

DATE: 10-14-13
PROJECT NO: 1324
SHEET NO: C1.1

RECEIVED
OCT 16 2013

C1.1

GENERAL NOTES

1. ALL WORK DETAIL ON THESE PLANS AND PERFORMED UNDER THE CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WITH RESPECT TO STORM WATER DRAINAGE, IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DRAINAGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL TEST EVERY EXISTING AND NEW VERTICAL CURVE TO DETERMINE THE EXISTING GRADE. THE CONTRACTOR SHALL VERIFY THE VERTICAL CURVE DATA AND THE EXISTING GRADE. THE CONTRACTOR SHALL VERIFY THE VERTICAL CURVE DATA AND THE EXISTING GRADE. THE CONTRACTOR SHALL VERIFY THE VERTICAL CURVE DATA AND THE EXISTING GRADE.
4. THE CONTRACTOR SHALL VERIFY THE VERTICAL CURVE DATA AND THE EXISTING GRADE. THE CONTRACTOR SHALL VERIFY THE VERTICAL CURVE DATA AND THE EXISTING GRADE. THE CONTRACTOR SHALL VERIFY THE VERTICAL CURVE DATA AND THE EXISTING GRADE.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND CONDUITS SHALL BE LOCATED AND DEPTHS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTHS OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTHS OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTHS OF ALL UTILITIES.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADE, TYPICAL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT SHALL BE SUBMITTED TO THE CITY OF ALBUQUERQUE FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTHS OF ALL UTILITIES.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH ALL REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

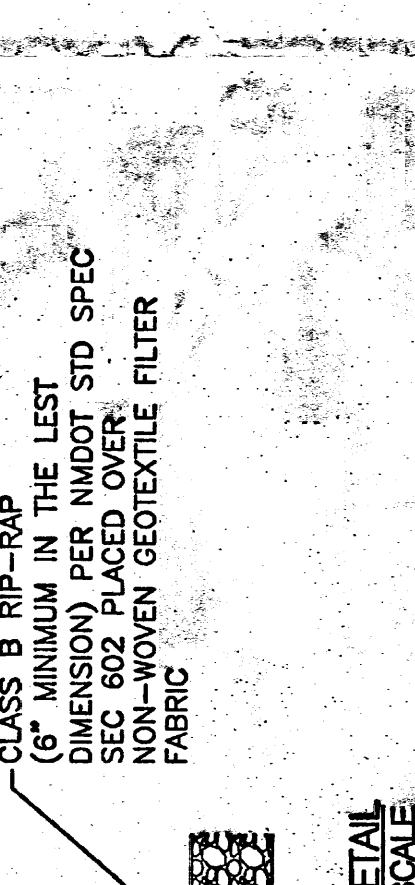
GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REMOVED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCORPORATED INTO THE PROJECT COST.
3. ALL WORK RELATIVE TO CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS" (SECOND EDITION), AS ADOPTED BY THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS" (SECOND EDITION), AS ADOPTED BY THE CITY OF ALBUQUERQUE, NEW MEXICO.
4. EXCEPT AS PROVIDED HEREIN, THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY LINES, CABLES, AND CONDUITS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY LINES, CABLES, AND CONDUITS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY LINES, CABLES, AND CONDUITS AT ALL TIMES.
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7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL, SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTHS OF ALL UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIAN AND SLOPES.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

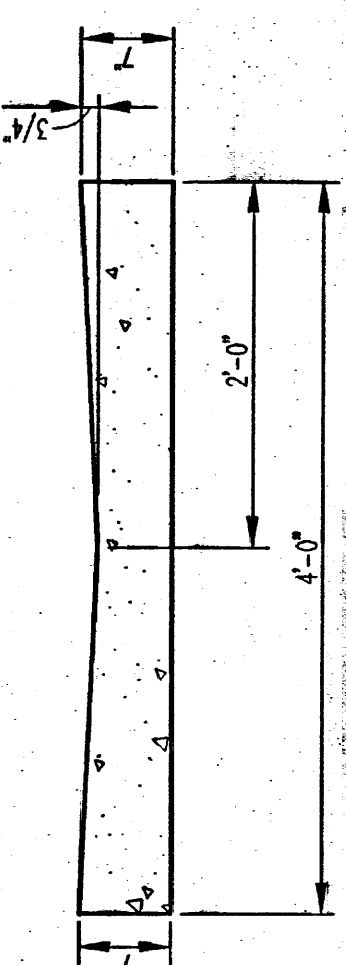
GRADING KEYED NOTES

1. PER DETAIL THIS SHEET.
2. CONSTRUCT 4" WIDE CONCRETE VALLEY GUTTER.
3. CONSTRUCT 24" WIDE SIDEWALK QUILTS PER COA.
4. CONSTRUCT 12" WIDE CONCRETE RIBBON CHANNEL (PAVED).
5. CONSTRUCT 12" WIDE CONCRETE RIBBON CHANNEL (PAVED).
6. CONSTRUCT 12" WIDE CONCRETE RIBBON CHANNEL (PAVED).
7. CONSTRUCT 12" WIDE CONCRETE RIBBON CHANNEL (PAVED).
8. CONSTRUCT 12" WIDE CONCRETE RIBBON CHANNEL (PAVED).
9. CONSTRUCT 12" WIDE CONCRETE RIBBON CHANNEL (PAVED).
10. CONSTRUCT 12" WIDE CONCRETE RIBBON CHANNEL (PAVED).

CONCRETE VALLEY GUTTER SECTION



TRACT B, BLOCK 5
SUNDT'S INDUSTRIAL CENTER
4-27-2007 (2007C, 102)

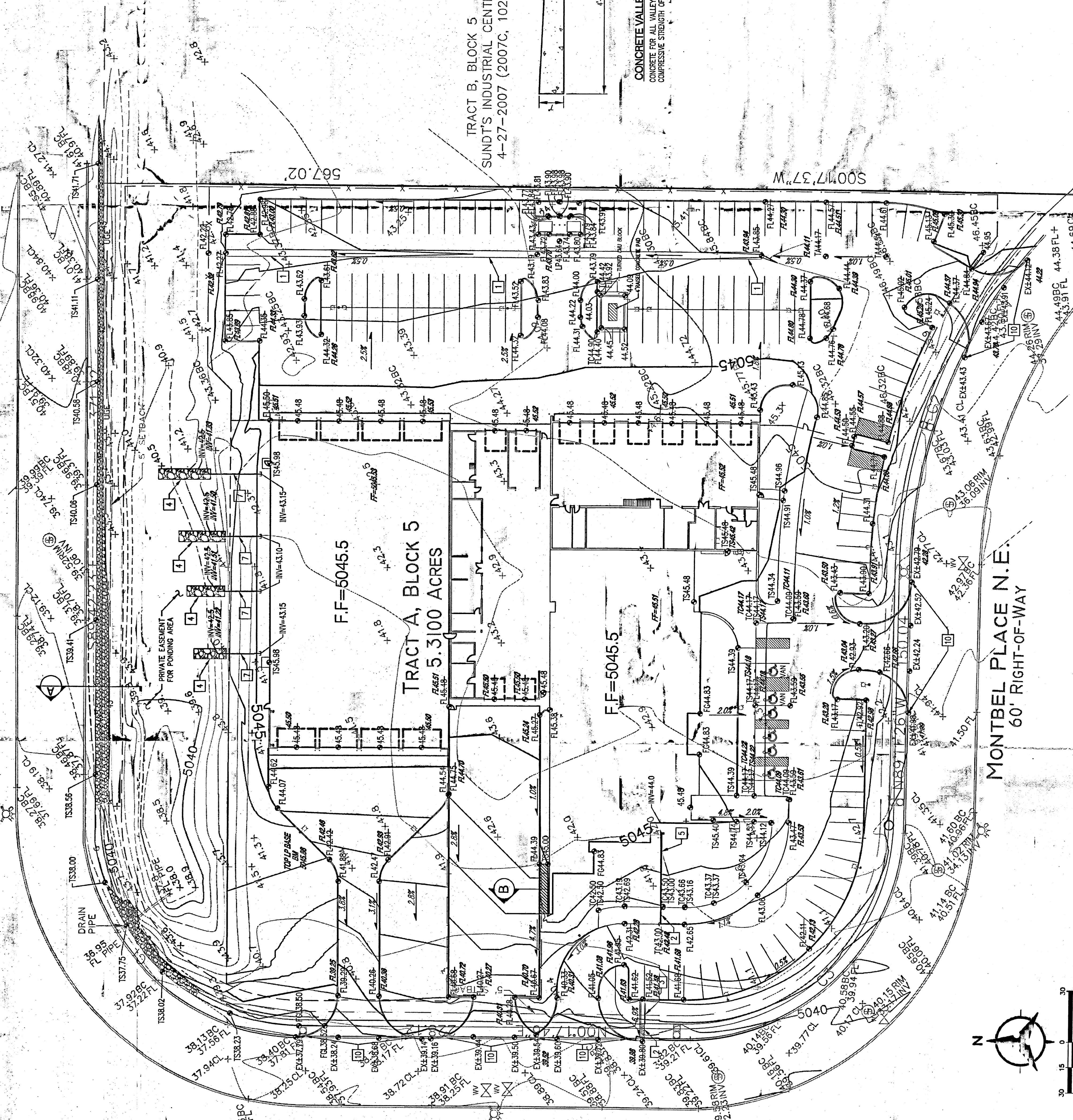


CONCRETE VALLEY GUTTER SECTION

COMPRESSIVE STRENGTH OF 3000 PSI IN 24 HOURS

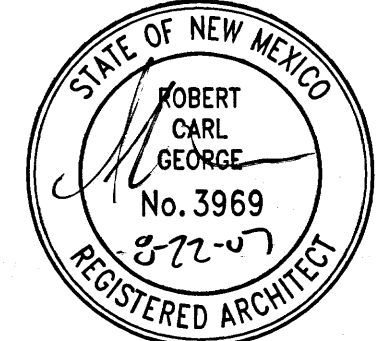
S00°17'37"W

MONTBEL LOOP N.E.
60' RIGHT-OF-WAY



GRADING & DRAINAGE PLAN

SCALE: 1"=30'



GENERAL INFORMATION

ALL BID ALTERNATES WILL BE BUILT
THERE WILL BE NO RASING ON THIS JOB
DESCRIPTION

ADDRESS:
4500 MONTBEL PLACE N.E.
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:
TRACT A BLOCK 5
SUNDT'S INDUSTRIAL CENTER
SECTIONS 33 & 34, T.11 N., R. 2E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2001

TYPE OF DEVELOPMENT
BASE STATION FOR ALBUQUERQUE AMBULANCE

SIZE OF DEVELOPMENT:
55,901 SQ. FT. BUILDING ON A 5.31 ACRE SITE

PARKING CALCULATIONS

(NET LEASEABLE AREAS SHOWN BELOW ARE CALCULATED AS DEFINED BY ALBUQUERQUE ZONING CODE)

OFFICE

15061 SF
200 SF/SPACE = 75.305 SPACES REQ.

"WARE HOUSE"

20,273 SF
9,315 SF
9,199 SF
+ 3,075 SF
41,862 SF

AMBULANCE GARAGE
AMBULANCE CLEAN / PREP
AMBULANCE SERVICE / PARTS STORAGE
PARTS STORAGE

41,862 SF
2,000 SF/SPACE = 20.931 SPACES REQ.
97 TOTAL SPACES REQ'D.

FOR 51 - 100 VEHICLE SPACES REQUIRED
4 HANDICAP SPACES ARE REQ'D
(N.M.B.C.) REQ'D 1 TO BE VAN ACCESSIBLE
3 MOTORCYCLE SPACES REQ'D

97 VEHICLE SPACES
20 BICYCLE SPACES PER V. SPACE
= 4.85 BICYCLE SPACES REQ'D.

98 SPACES PROVIDED - BASE BID
149 SPACES PROVIDED - W/ BID ALT. #1

PROVIDED
6 HANDICAP SPACES ARE PROVIDED
/ 2 ARE VAN ACCESSIBLE
4 MOTORCYCLE SPACES AREA PROVIDED

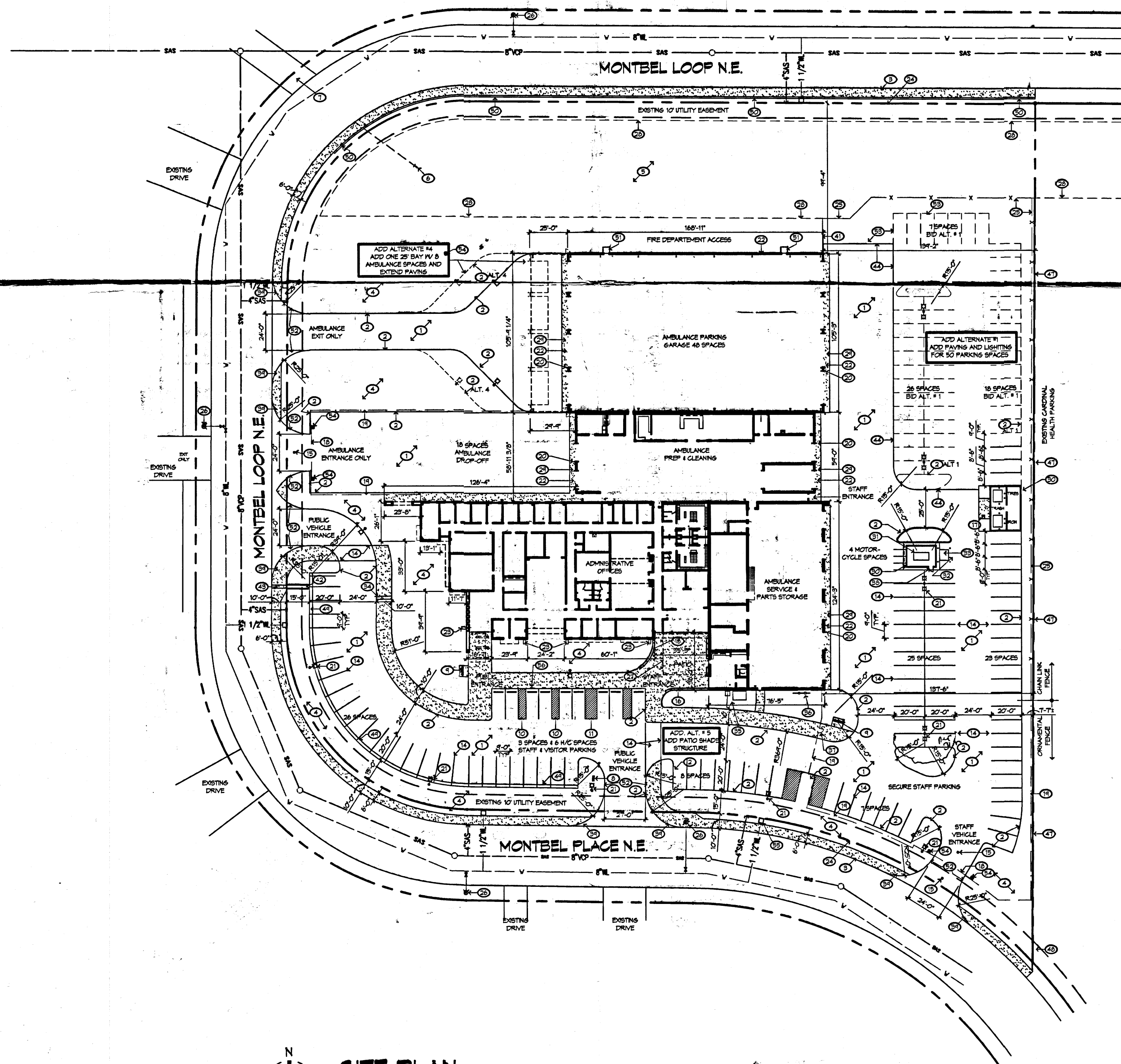
7 BICYCLE SPACES PROVIDED

GENERAL NOTES

- ADDITIVE ALTERNATE NO. 1 ADD PAVING, STRIPING AND ADDITIONAL SITE LIGHTING AS SHOWN FOR 50 ADDITIONAL PARKING SPACES EAST OF AMBULANCE PARKING GARAGE.
- ADDITIVE ALTERNATE NO. 4 ADD ONE 25' BAY TO WEST END OF AMBULANCE PARKING GARAGE BUILDING WITH SPACE FOR AN ADDITIONAL 8 AMBULANCES. MOVE PAVED AREA AND 2 ASSOCIATED POLE MOUNTED SITE LIGHTING 25' TO THE WEST AS SHOWN.
- ADDITIVE ALTERNATE NO. 5 ADD PATIO SHADE STRUCTURE AND DELETE WINDOW SHADE DEVICE FROM STORE FRONT AT NORTH SIDE OF PATIO.
- CURB TO BE HEADER CURB PER CITY OF ALBUQUERQUE DETAIL 2415 B TYPICAL, UNLESS NOTED OTHERWISE. SLOPE TOP 1/4" PER FOOT.
- ALL SIDEWALKS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2120 UNLESS NOTED OTHERWISE ON CIVIL DRAWINGS.
- REFER TO SHEET A201 FOR ROOF PLAN
- REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE.
- REFER TO A202 FOR SIDEWALK CONTRACTION JOINTS AND EXPANSION JOINT DETAILS. SIDEWALK JOINTS TO BE NO GREATER THAN 6' O.C. UNLESS NOTED OTHERWISE.

KEYED NOTES

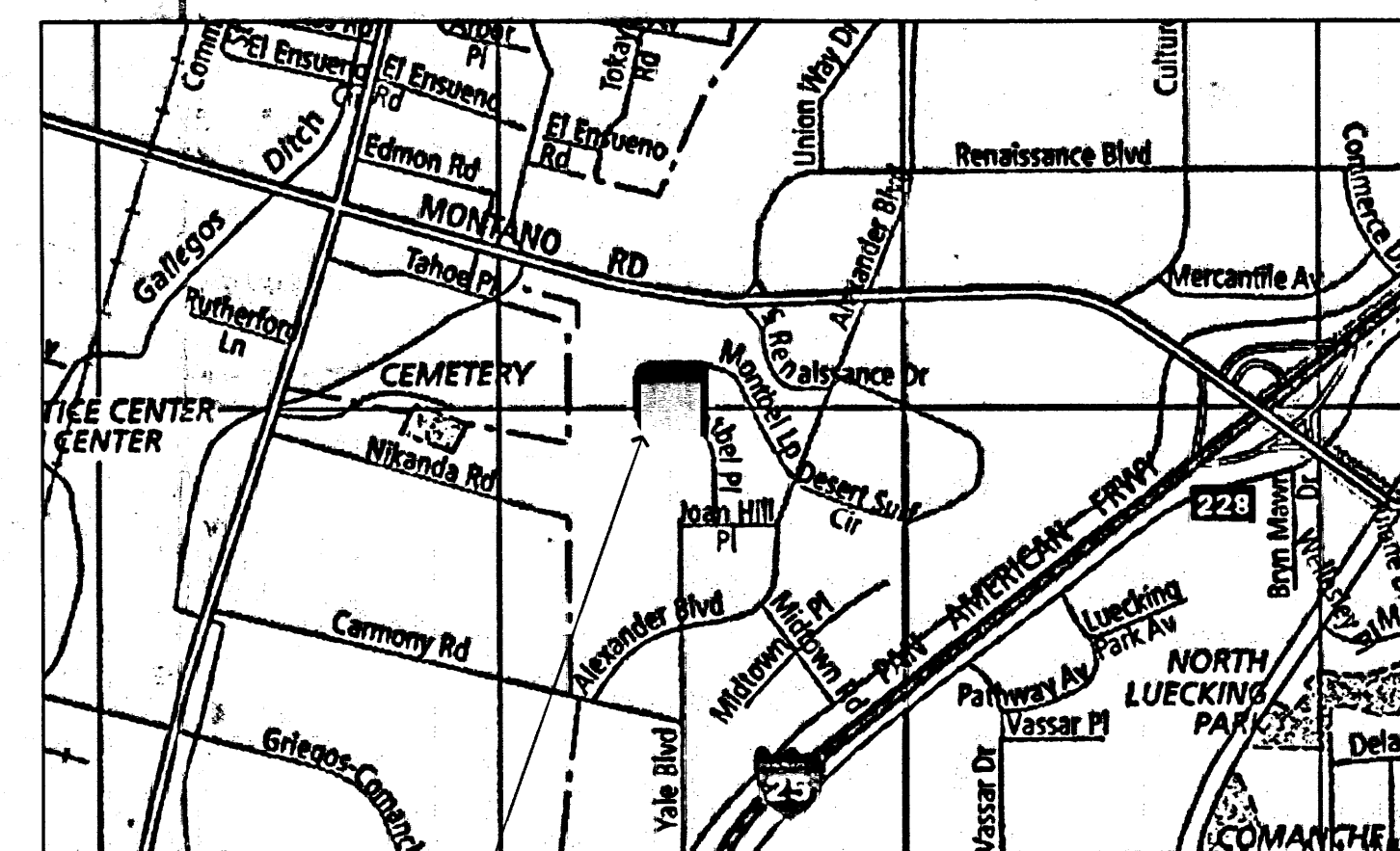
- ASPHALT PAVING, SEE CIVIL
- HEADER CURB, 6" EXPOSED ABOVE FLOW LINE.
- CONCRETE SIDEWALK
- LANDSCAPE AREA
- EXISTING PONDING AREA TO REMAIN
- EXISTING DRAIN PIPE FOR PONDING AREA TO REMAIN
- EXISTING CONCRETE RUNDOWN TO EXISTING RETENTION BASIN
- MONUMENT SIGN AND FOOTING (NOT IN CONTRACT) SEE DETAIL C5/A001
- BICYCLE RACK, SEE DETAIL D6/A002
- 5' WIDE PAINTED H/C ACCESSIBLE ISLE
- 8' WIDE PAINTED HANDICAPPED VAN ACCESSIBLE AISLE
- HANDICAPPED PARKING SIGN
- HANDICAPPED VAN PARKING SIGN
- 4" WIDE PAINTED STRIPING
- POST MOUNTED CARD READER TO BE OWNER FURNISHED, CONTRACTOR INSTALLED. SEE ELECTRICAL FOR POWER AND DATA REQ.
- PATIO BENCH
- CITY OF ALBUQUERQUE STANDARD CONCRETE APRON FOR TRASH ENCLOSURE
- ELECTRICALLY OPERATED GATE IN TWO ROLLING SECTION CONTROLLED BY CARD READER. GATE BY FENCE MANUFACTURER OR TO MATCH ORNAMENTAL FENCE
- 6" HIGH STEEL ORNAMENTAL FENCE WITH STANDARD BLACK FACTORY FINISH.
- BOLLARD, SEE DETAIL E3/A002
- 25' HIGH POLE MOUNTED SITE LIGHTING, SEE ELECTRICAL
- WALL MOUNTED LIGHTING, SEE ELECTRICAL
- CONCRETE SPLASH BLOCK FOR OVER FLOW DRAIN OUTLET
- PROPERTY LINE
- 6'-0" HIGH CHAIN LINK FENCE
- EXISTING FIRE HYDRANT
- PATIO SHADE STRUCTURE, ADDITIVE ALTERNATE #
- EXISTING CHAIN LINK FENCE TO REMAIN
- 4'-0" WIDE CONCRETE PAVEMENT APRON, 6" THICK
- 6'-4" HIGH SCREEN WALL, STUCCO ON 8" CMU
- EMERGENCY GENERATOR, SEE ELECTRICAL
- ELECTRIC METER, SEE ELECTRICAL
- TRANSFORMER, SEE ELECTRICAL
- SIDEWALK CULVERT, SEE DETAIL C1/A002
- PLUMBING EQUIPMENT HOT BOX, SEE PLUMBING
- GAS SERVICE PIPING, SEE PLUMBING
- 3'-0" WIDE ORNAMENTAL GATE IN ORNAMENTAL FENCE W/ HASP FOR PADLOCK
- GATE CONSTRUCTED OF HOLLOW METAL JAMBS AND HOLLOW METAL DOOR. TOP OF DOOR AND JAMBS TO MATCH TOP OF CMU SCREEN WALL.
- HANDICAP ACCESSIBLE SIDEWALK RAMP PER CITY OF ALBUQUERQUE STANDARD DRAWING 2426.
- PRECAST CONCRETE WHEEL STOP - ANCHORED
- 24" WIDE TWO LEAF CHAIN LINK GATE WITH HASP FOR PADLOCK TO ALLOW EMERGENCY FIRE DEPARTMENT ACCESS.
- CONCRETE CHANNEL
- SIDEWALK CULVERT
- EDGE OF PAVEMENT - BASE BID
- COORDINATE WITH FNM AND MAKE THE BOLLARD IN THE CENTER OF THE TRANSFORMER TO BE REMOVABLE AS REQUIRED FOR ACCESS TO THE TRANSFORMER.
- SIGN "MOTORCYCLE PARKING" SIMILAR TO HANDICAPPED SIGN A1/A002
- HEADER CURB, 6" EXPOSED ABOVE GRADE, 12" MIN. BELOW GRADE. SEE CITY OF ALBUQUERQUE DETAIL 2415 B.
- TAPER TOP OF HEADER CURB TO SIDEWALK.
- CONCRETE MEDIAN CURB AND GUTTER. SEE CITY OF ALBUQUERQUE DETAIL 2415 A.
- RETAINING WALL, SEE CIVIL
- 4'-0" BY 4'-0" CONCRETE PAD.
- CURB RETURN, 3" STANDARD CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING 2415A.
- HEADER CURB, TOP EVEN WITH TOP OF PAVEMENT. ADD. ALT. 1
- MOTORIZED GATE OPERATOR.
- WATER METER.
- HANDICAPPED PARKING SIGN AT EACH HANDICAPPED SPACE, TYPICAL.



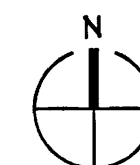
SITE PLAN



1"=50'



VICINITY MAP



NOT TO SCALE

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

**TRAFFIC CIRCULATION LAYOUT
APPROVED**

K5 *AS*
Signed Date 8/22/07

REVISIONS	
△	
△	
△	
△	
DRAWN BY	
REVIEWED BY	
DATE	August 22, 2007
PROJECT NO.	01045.044
DRAWING NAME	

SHEET NO. OF