

DATA
 AREA OF SITE 30285 SQ. FT. (.69 AC)
 SLOPE 1.5% AVG.
 TIME OF CONCENTRATION 10 MINUTES
 100-YR. 6 HR. RAINFALL 2.2 INCHES
 INTENSITY $(0.64 \times 2.2 \times 10^{-5}) = 4.65$ IN/HR, PEAK

EXISTING ON-SITE CONDITIONS
 NO IMPROVEMENTS EXIST WITHIN LOT BOUNDARIES.
 VEGETATION LIMITED TO LOW, SCATTERED GROWTH.
 NO EVIDENCE OF EROSION; SOIL HAS BEEN GRADED
 AND COMPACTED IN PLACE.

IMPERVIOUS AREA NONE
RUNOFF COEFFICIENT .40
 $Q_{100} = .40 \times 4.65 \text{ IN/HR} \times .69 \text{ AC} = 1.20 \text{ CFS, PEAK}$
 $Q_{10} = .087 Q_{100} = 1.05 \text{ CFS}$
 SITE DRAINS TO WEST & NORTHWEST.

UPSTREAM CONTRIBUTORY AREAS
 NONE.

PROPOSED DEVELOPMENT
 COMMERCIAL BUILDING, PARKING & DRIVEWAYS.
 LANDSCAPE AREAS AS SHOWN. ALSO ONE-HALF
 OF DRIVE EXITING WEST SIDE OF LOT WILL BE
 CONSTRUCTED ON ADJOINING TRACT 14-A. IT IS
 COVERED BY PRIVATE COMMON ACCESS & DRAINAGE
 EASEMENT.

IMPERVIOUS AREA 48% $(310 \text{ SF} \times .90) (11740 \times .90)$
LANDSCAPED AREA 52%
 $C_{max} = .40 \times .224 (50 \times .75) = .57$
 $Q_{100} = .57 \times 4.65 \text{ IN/HR} \times .69 \text{ AC} = 2.28 \text{ CFS, PEAK}$
 $Q_{10} = .087 Q_{100} = 1.50 \text{ CFS}$

DISPOSAL ROUTING
 RUNOFF FROM DEVELOPED AREA WILL BE ROUTED
 TO MONTBELL LOOP NE VIA A DETENTION BASIN
 ON-SITE. VOLUME OF BASIN WILL ACCOMMODATE
 100% OF INCREASE IN RUNOFF GENERATED BY
 NEWLY CREATED IMPERVIOUS AREAS. RELEASE
 VOLUMES LIMITED TO .01 CFS/FEET (.086 CFS
 FOR THIS SITE). MONTBELL LOOP DRAINS TO AN
 EXISTING BASIN LOCATED AT THE EXTREME
 NORTHWEST CORNER OF THE COMMERCIAL AREA,
 ABOUT 1100 FEET WEST OF SITE. THIS BASIN IS
 INDICATED AS HATCHED AREA ON VICINITY MAP.
 IT IS NOT SIZED TO HANDLE DEVELOPED RUNOFF
 VOLUMES FROM ITS CONTRIBUTORY AREA.

VOLUME OF POND:
 AREA WITHIN 40.0 CONTOUR 2400 SQ. FT.
 AREA WITHIN 39.5 CONTOUR 1100 SQ. FT.
VOLUME 39.5 - 40.0
 $= \frac{.5 (1040 \times 1100 + 2400 \times 1100)}{3} = 851 \text{ CU FT.}$
VOLUME 39.1 - 39.5
 $= \frac{1100 \times .4}{3} = 147 \text{ CU FT.}$
1008 CU FT.

REQUIRED VOLUME
 DEV. RUNOFF = $\frac{.57 \times 2.2 \text{ IN} \times 30285}{12} = 3374 \text{ CU FT.}$
 - 1855 =
 NAT. RUNOFF = $\frac{.40 \times 2.2 \text{ IN} \times 30285}{12} = 2368 \text{ CU FT.}$
1006 CU FT.
 VOLUME PROVIDED EXCEEDS REQUIREMENT.

DESCRIPTION OF PROPERTY
 TRACT 14-B
 RENAISSANCE CENTER
 ALBUQUERQUE NEW MEXICO

JUNE 1988

PLAN REVISED TO SHOW DETENTION BASIN,
 INLET & OUTLET DETAILS, REVISE DISPOSAL TEXT
 7-20-88

HALL ENGINEERING COMPANY INC.
 ENGINEERING SURVEYING PLANNING CONSTRUCTION
 840 2ND ST. N.W. SUITE 300 - ALBUQUERQUE NEW MEXICO 87107
 PHONE (505) 245-1704

- GENERAL NOTES:**
- CONTRACTOR TO COORDINATE ARCHITECTURAL PLANS WITH STRUCTURAL, PLUMBING, CIVIL MECHANICAL AND ELECTRICAL PLANS FOR ROUTING, BLOCK-OUTS, STUBS, BLOCKING FOR EQUIPMENT, ETC. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR CONSTRUCTION SEQUENCE, MEANS, AND METHODS.
 - IF ANY CONFLICT IN THE CONSTRUCTION DOCUMENTS ARISE, THE LARGER SCALE DETAIL TAKES PRECEDENCE, AND THE SPECIFICATIONS GOVERN OVER ANY DRAWING.
 - THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY ERRORS OR OMISSIONS OR CONFLICTS IN THE CONSTRUCTION DOCUMENTS.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS ON-SITE PRIOR TO CONSTRUCTION.

revisions:

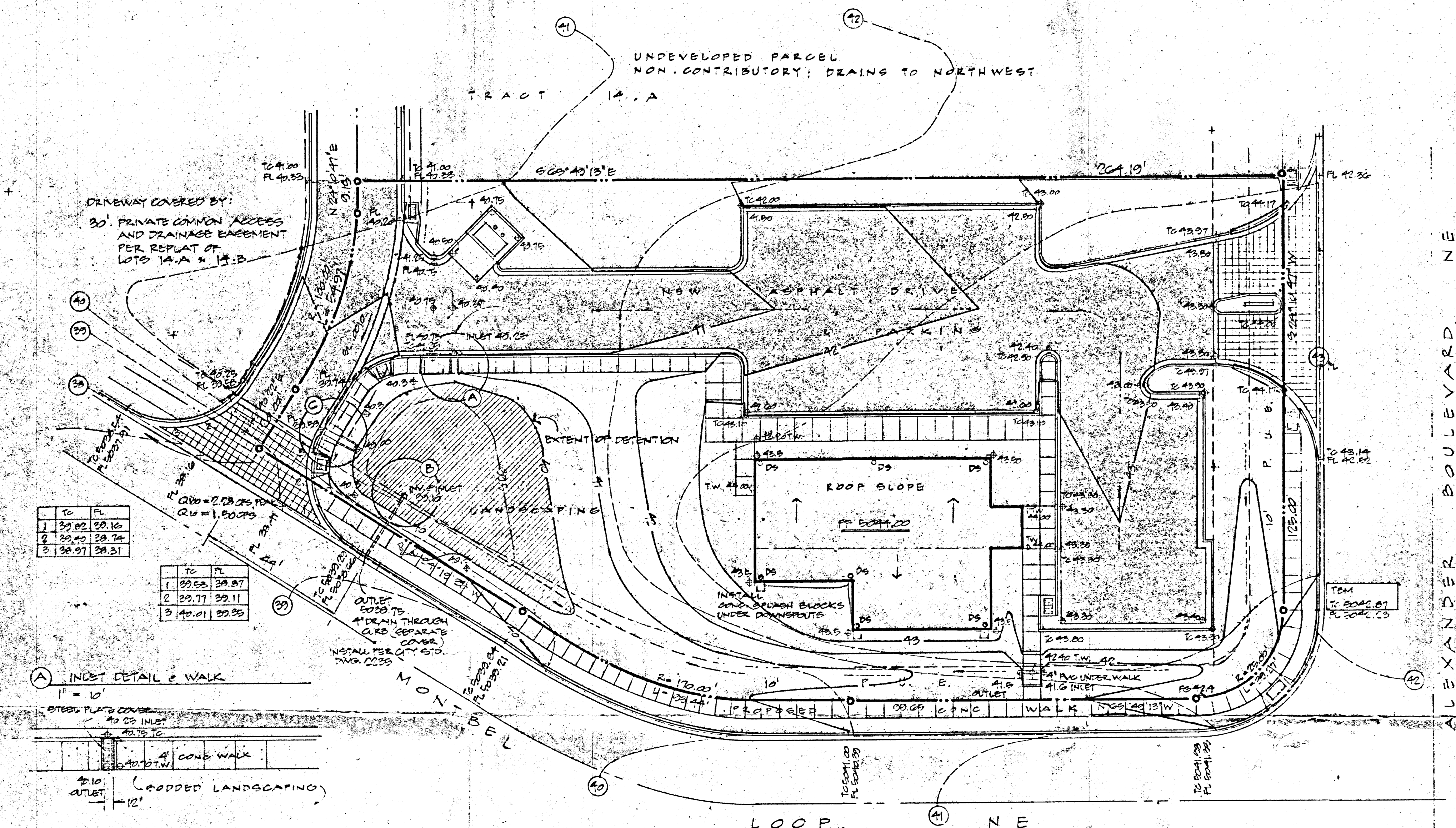
engineer: 6.15.88
architect: J. DAVID DEKKER No. 1463
 REGISTERED ARCHITECT

A Jewelry Store
 for John Silverman
 JUL 22 1988
 HYDROLOGY SECTION

project no. 8830 date: 6-16-88

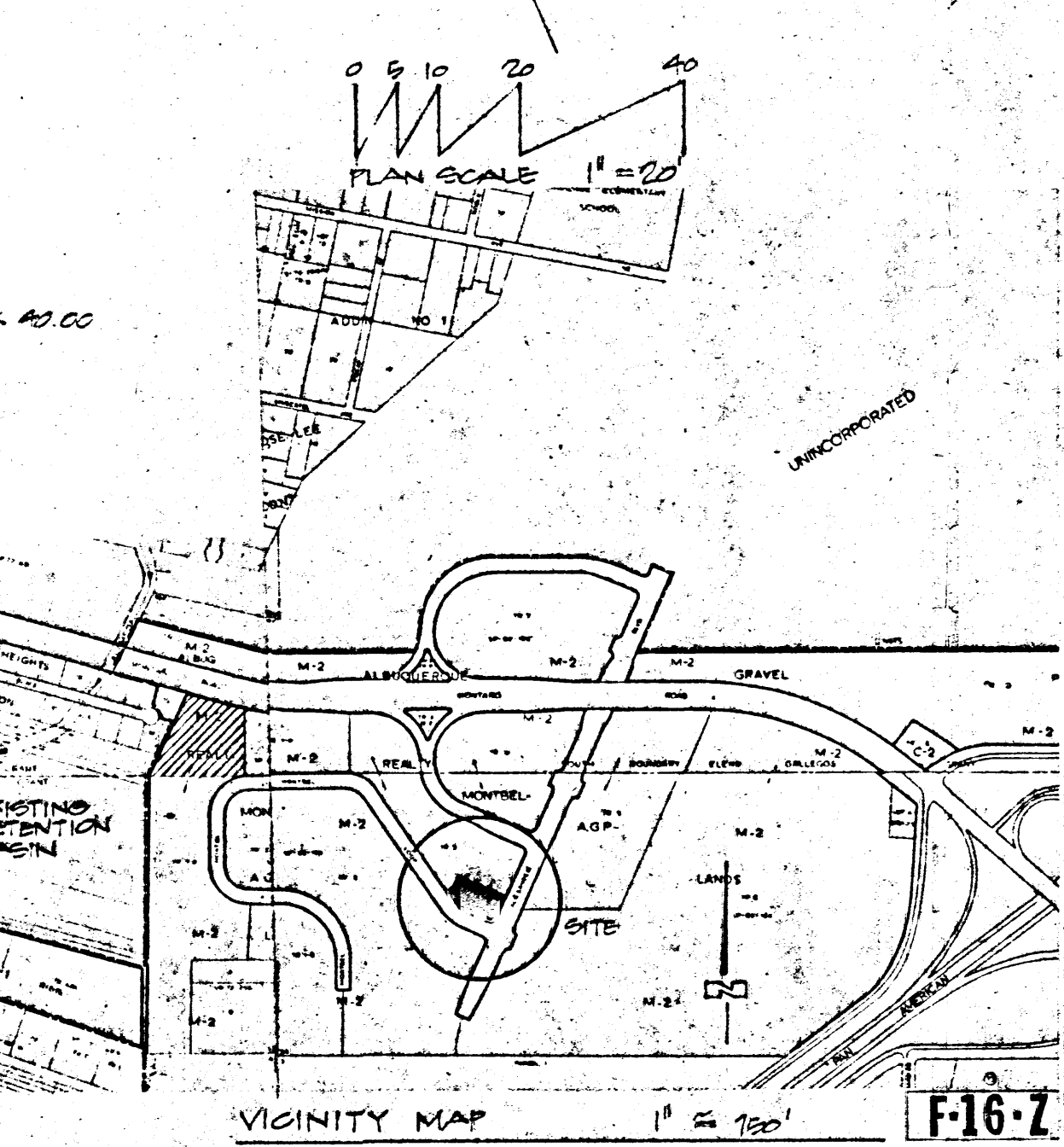
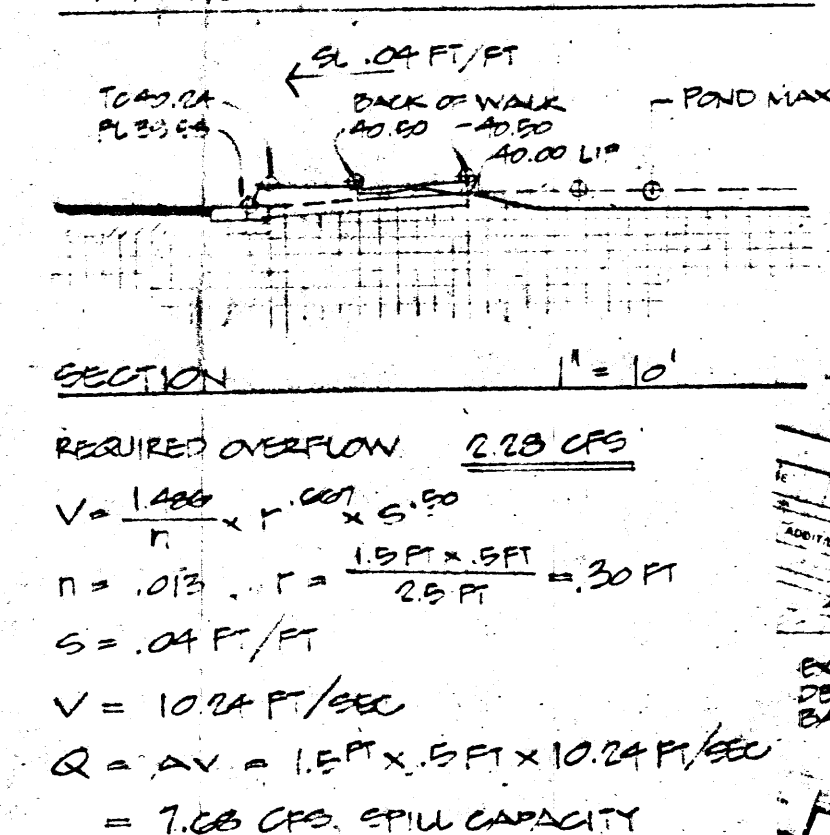
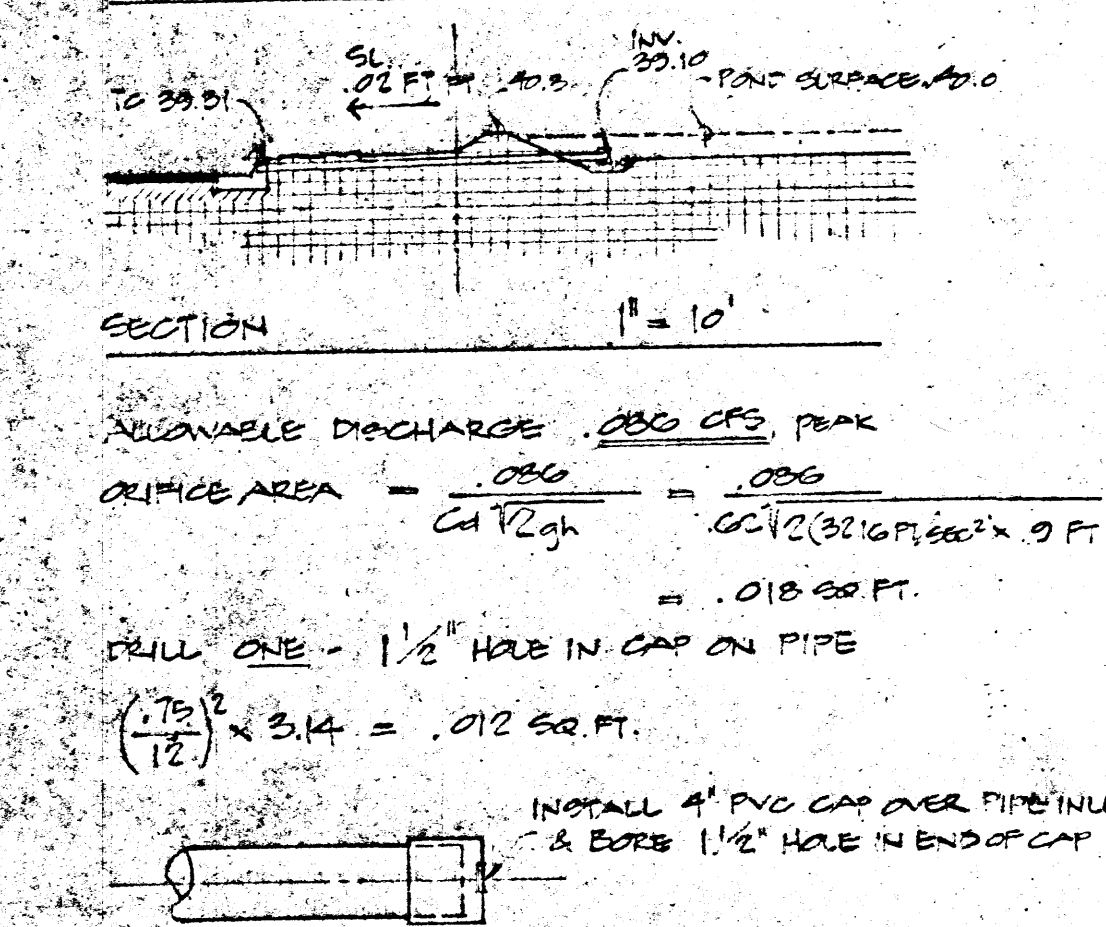
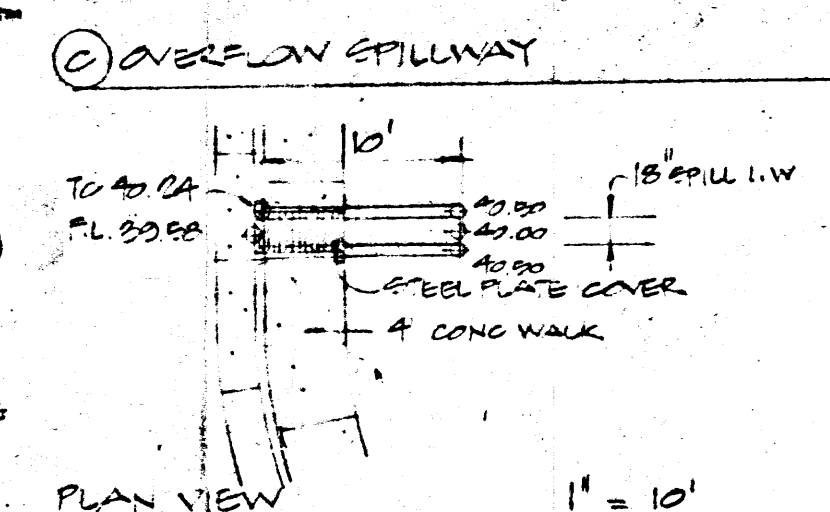
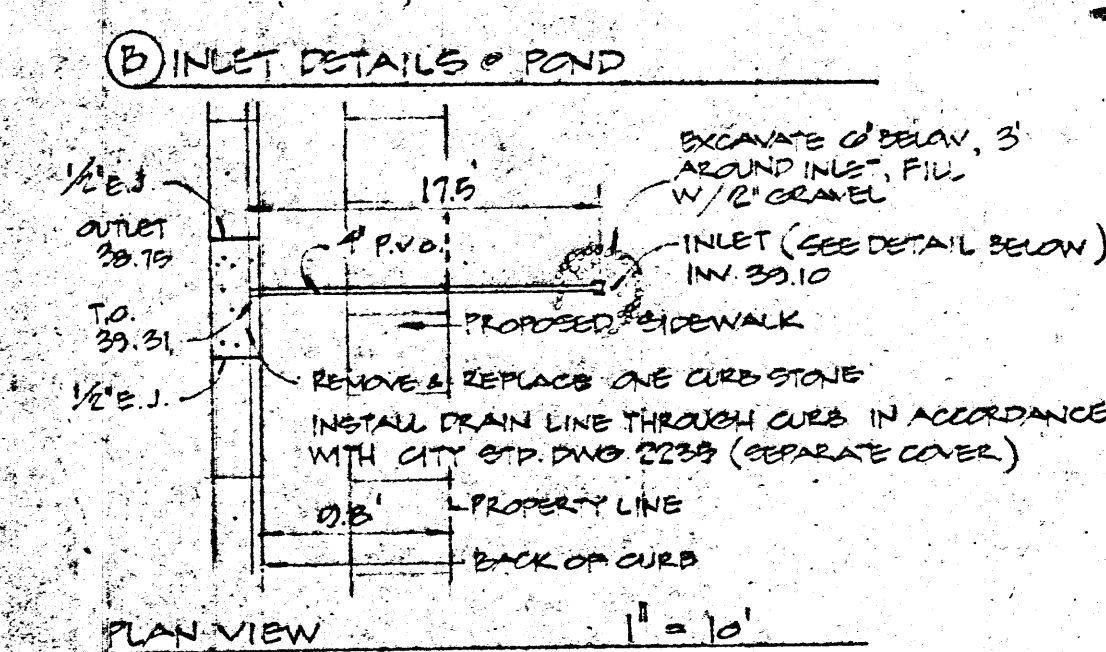
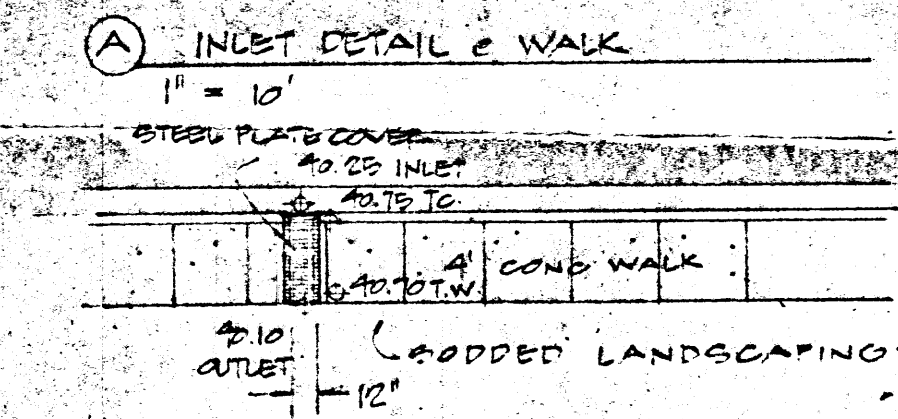
DRAINAGE & GRADING PLAN

SHEET C-1 OF 1



TO	FL
1 39.02	39.10
2 39.00	39.74
3 39.07	39.31

TO	FL
1 39.53	39.87
2 39.77	39.11
3 39.01	39.35



BEAR MARK
 S. 1616 ACS BRASS TABLET STAMPED "S. 1616", SET IN CONCRETE POST IN MEDIAN STRIP OF MONTBELL ROAD, NE, 0.7 MILE WEST OF I-25 INTERCHANGE
 ELEV. 5002.86
TEM
 17 OF CURB, NNW RETURN, INTERSECTION OF MONTBELL LOT & ALEXANDER BOULEVARD.
 ELEV. 5004.87

LEGEND
 CONTOUR INTERVAL ONE FEET (1.0')
 (A) --- EXISTING CONTOUR
 --- PROPOSED CONTOUR
 +2.00 EXISTING SPOT ELEVATION
 +4.00 PROPOSED SPOT ELEVATION
 PROPOSED SPOT ELEVATIONS AND CONTOURS AS SHOWN ARE TO FINISHED SURFACES. CONTRACTOR SHALL DETERMINE APPROPRIATE SUBGRADES.

APPROVALS	NAME	DATE
HYDROLOGY/DESIGN	J. M. Monaghan	8/3/88
INSPECTOR/DESIGN		
CONST/ACPT		

- NOTICE TO CONTRACTOR**
- An excavation/construction permit will be required before beginning any work within city right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
 - All work detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1984".
 - Two working days prior to any excavation, contractor must contact the Engineering Service, 765-1214, for location of any existing utilities.
 - Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum of delay.
 - Backfill and compaction shall be according to RESIDENTIAL street use.
 - Maintenance of this facility shall be the responsibility of the owner served.