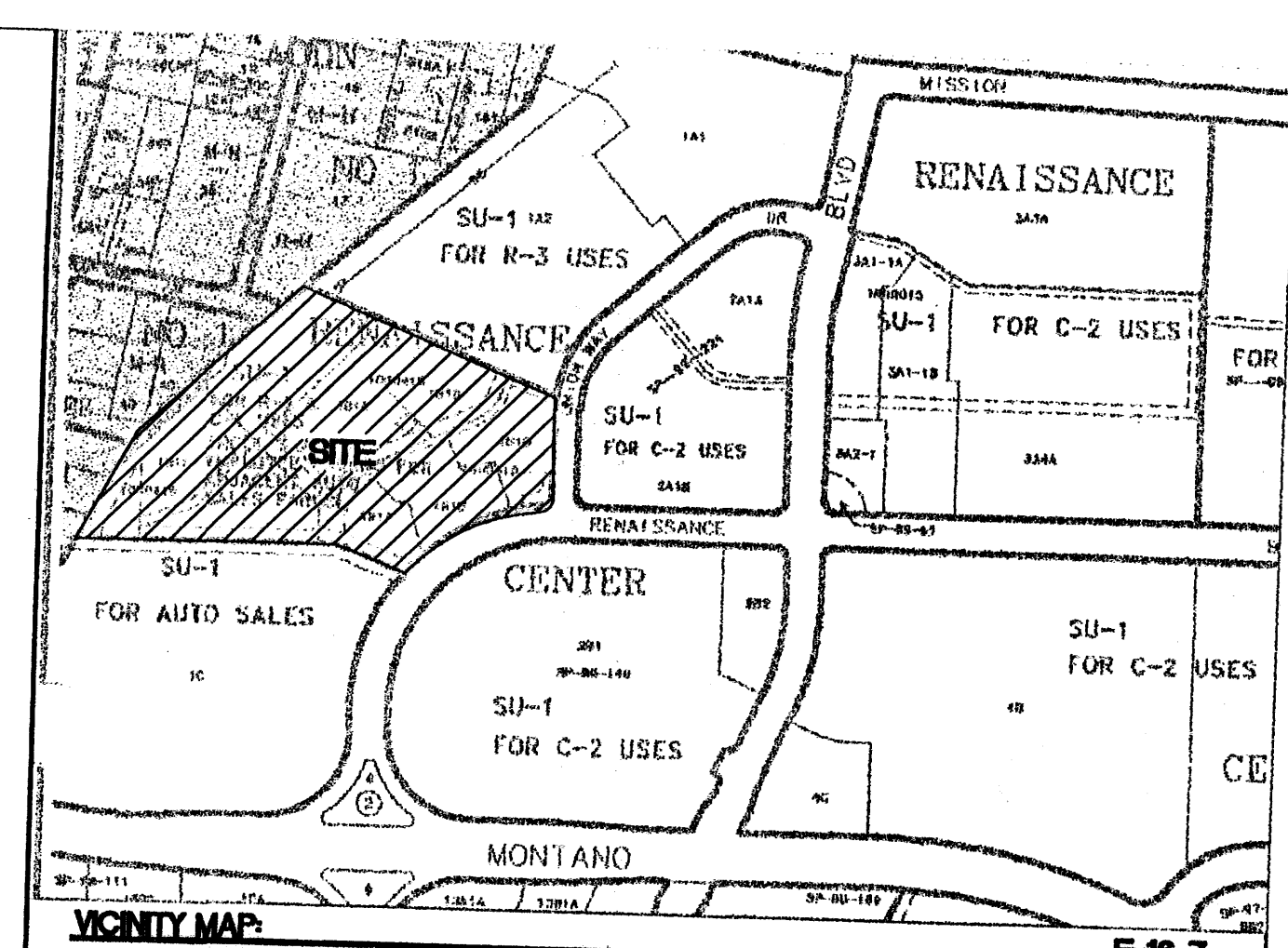
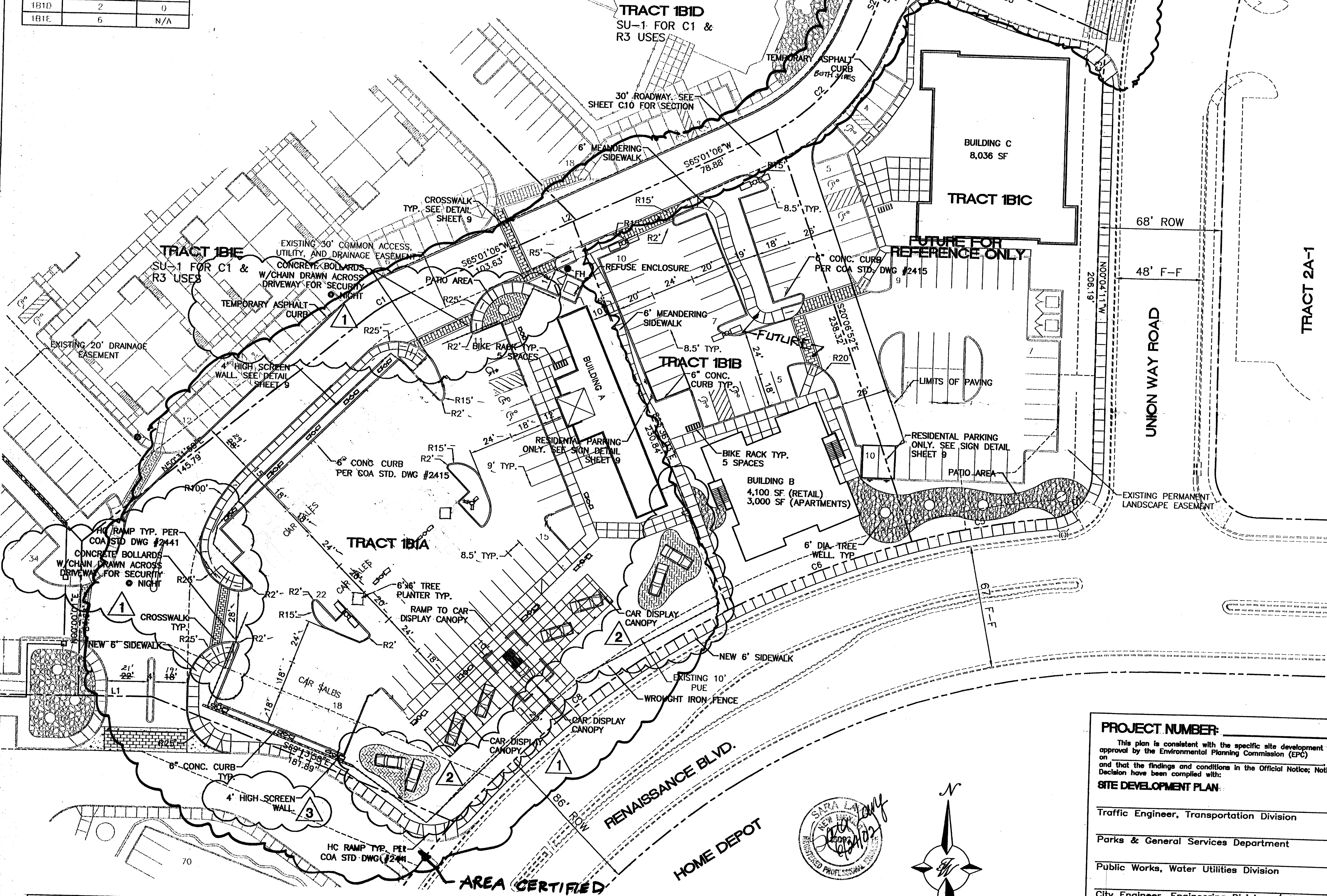


SITE DATA TABLE									
TRACT	USAGE	AREA	BUILDING AREA	PARKING REQ.	PKNG PROV.	HC PKNG REQ.	HC PKNG PROV.	MAX. BLDG. HEIGHT	F.A.R.
1B1A	AUTO SALES	1.605 AC	2,600 SF	13	99*	1	2	36'	0.04
1B1B	RETAIL/APT. (2 STORY)	0.617 AC	4,100 SF/4,000 SF (3 UNITS)	23**	31	2	2	36'	0.26
1B1C	RETAIL CENTER	0.962 AC	8,036 SF	40	41	3	3	36'	0.19
1B1D	DAY CARE CENTER	0.9049 AC	3,845 SF	20	26	2	2	36'	N/A
1B1E	RETIREMENT HOMES	3.8755 AC		56 (1/UNIT)	104	8	18	36'	N/A

TRACT	BIKE SPACES REQ.	SHOWERS REQ.
1B1A	1	0
1B1B	2	0
1B1C	4	0
1B1D	2	0
1B1E	6	N/A

*13 SPACE ARE FOR CUSTOMER PARKING
 **2 SPACE REQUIRED PER UNIT FOR APARTMENTS



LEGAL DESCRIPTION:
 TRACT 1B1A THRU TRACT 1B1E OF THE RENAISSANCE CENTER

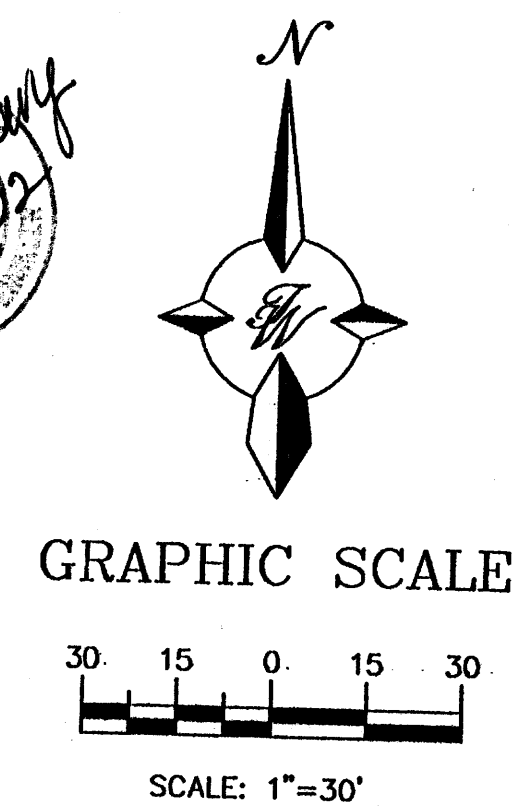
- NOTES:**
- COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS 1B1A, 1B1B, AND TRACT 1B1C IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSED WILL BE REQUIRED FOR THE PROPOSED TRACTS 1B1A, 1B1B, AND 1B1C THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
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 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
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 - SEE SHEET 9 FOR SCREEN WALL DETAILS.
 - SEE SHEET 9 FOR RAISED CONCRETE CROSSWALK DETAILS.
 - SEE SHEET 9 FOR REFUSE ENCLOSURE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - SEE SHEET 9 FOR HC RAMP DETAILS.
 - SEE SHEET 10 FOR HC PARKING DETAILS.

LEGEND	
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED WALL
	PROPOSED CROSSWALK
	PROPOSED FIRE HYDRANT
	PROPOSED BIKE RACK
	PROPOSED PATIO AREA
	PROPOSED PARKING LOT LIGHTING

LINE TABLE		
LINE	LENGTH	BEARING
L1	41.03	N89°46'36"E
L2	1.98	S65°01'06"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	21.74	86.00	10.93	14°29'08"	S57°46'32"W	21.68
C2	85.75	114.00	45.02	43°05'53"	N43°28'10"E	83.74
C3	35.36	315.32	17.71	6°25'42"	S03°10'33"W	35.36
C4	36.62	25.00	22.48	83°55'13"	N41°48'40"E	33.43
C5	78.07	499.12	39.11	8°57'43"	S79°01'06"W	77.99
C6	108.81	499.12	54.82	12°29'26"	S68°17'32"W	108.59
C8	192.36	499.12	97.39	22°04'53"	S51°00'22"W	191.17

RECORD DRAWING
 DATE: June 24, 2002
 DRAFTED BY: Rv
 TIERRA WEST DEV.
 THESE RECORD DRAWINGS HAVE BEEN PREPARED IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THE DOCUMENT AS A RESULT.



PROJECT NUMBER:
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice of Decision have been complied with:

SITE DEVELOPMENT PLAN:

Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division	Date
PLNZ (10706) 4/96	

3 05/21/02 CHANGES SCREEN WALL HEIGHT FROM 3' TO 4' 2 05/20/02 ADDING NEW CONC. AREAS FOR CAR DISPLAY 1 05/20/02 ADDING WROUGHT IRON FENCE AROUND SITE NO. DATE REMARKS BY	REVISIONS ENGINEER'S SEAL BOB TURNER FORD EXPANSION SITE PLAN FOR BUILDING PERMIT (TRACT 1B1A AND 1B1B) TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY: BDG DATE: 03/01/02 2198SPB.DWG SHEET # C2 JOB # 21098
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ATTENDED

SITE DATA TABLE									
TRACT	USAGE	AREA	BUILDING AREA	PARKING REQ.	PKNG PROV.	HC PKNG REQ.	HC PKNG PROV.	MAX. BLDG. HEIGHT	F.A.R.
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TRACT	BIKE SPACES REQ.	SHOWERS REQ.
1B1A	1	0
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1B1C	4	0
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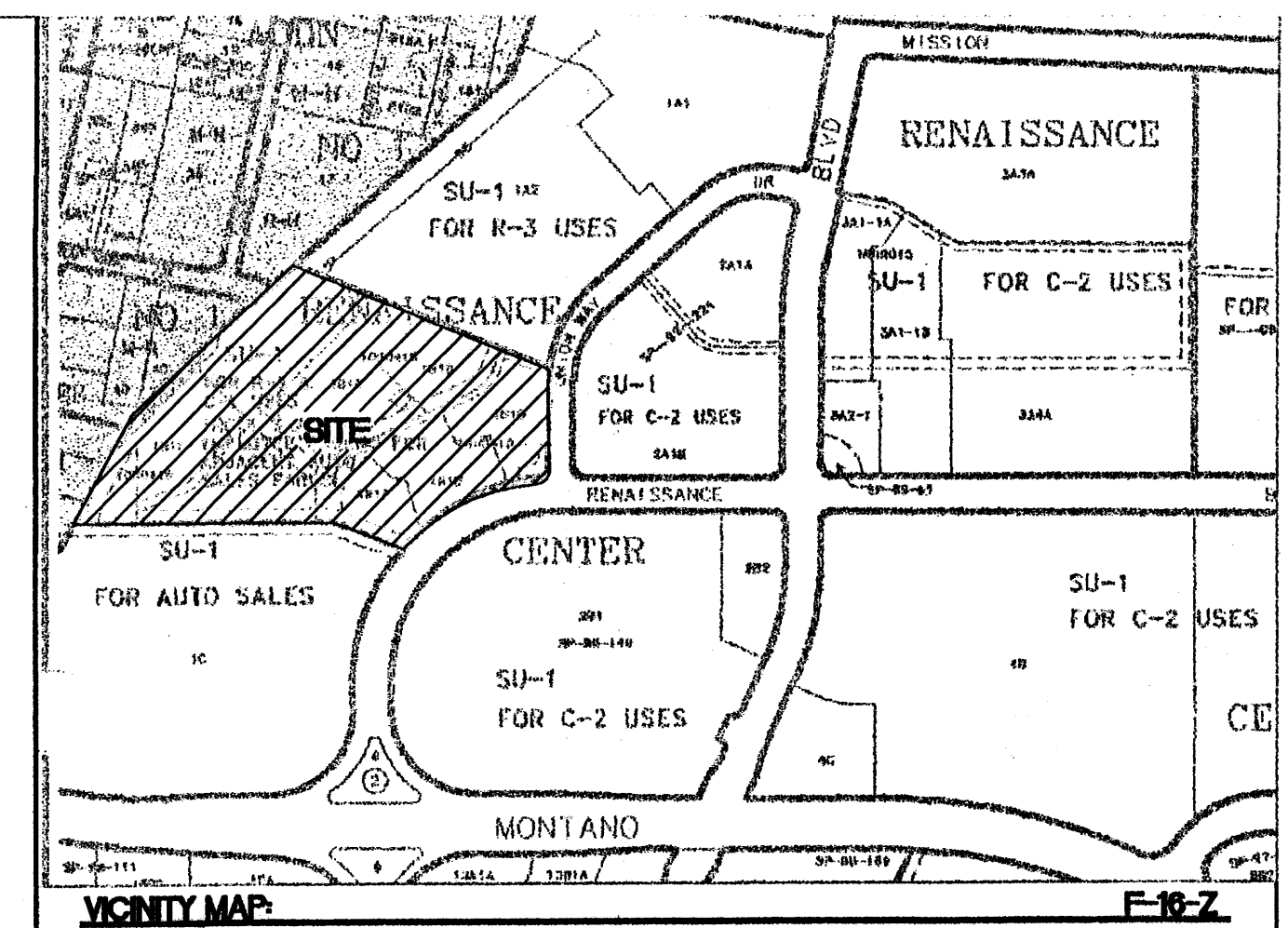
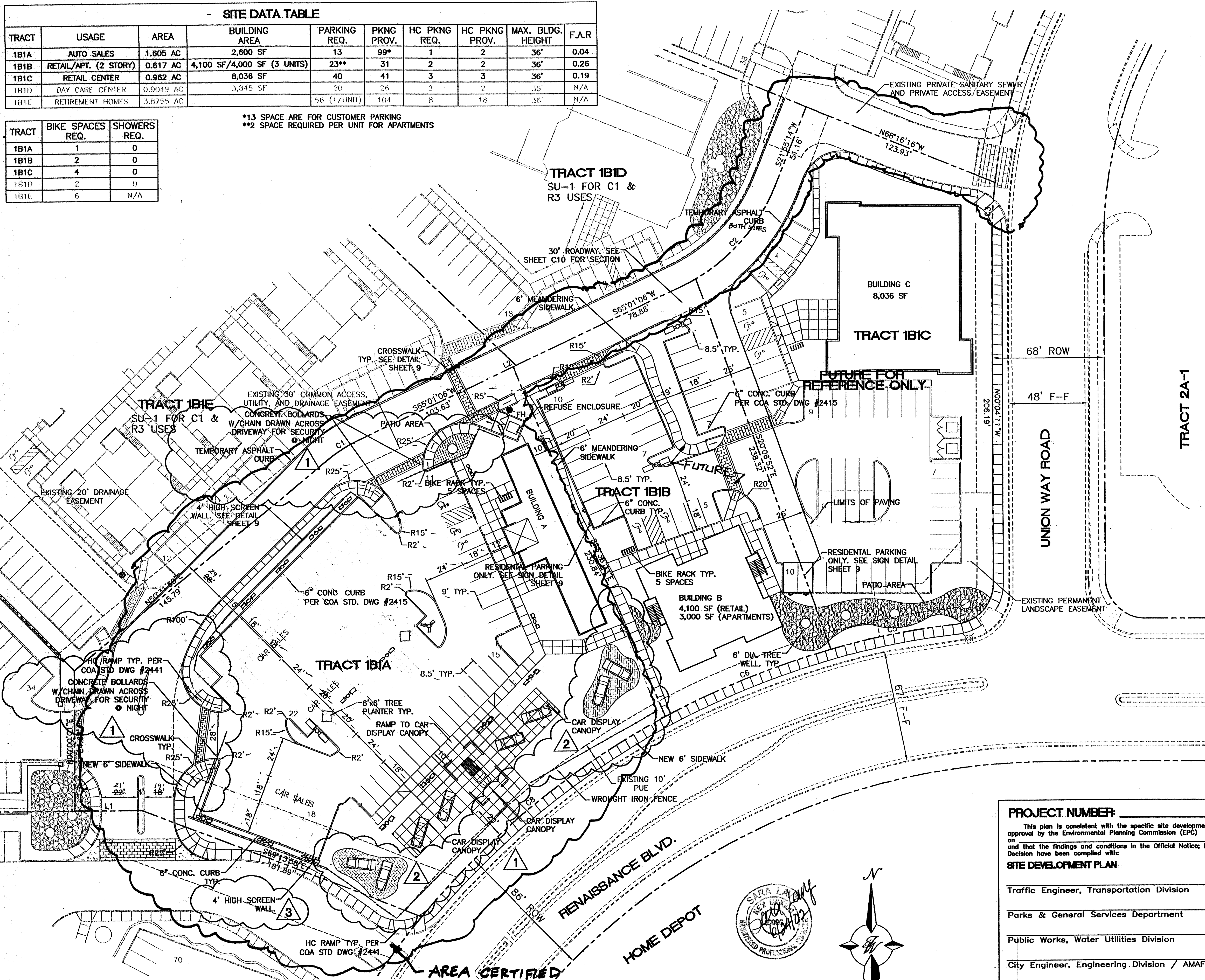
*13 SPACE ARE FOR CUSTOMER PARKING
**2 SPACE REQUIRED PER UNIT FOR APARTMENTS

TRACT 1B1D
SU-1 FOR C1 &
R3 USES

BUILDING C
8,036 SF
TRACT 1B1C

TRACT 1B1B
6" CONC. CURB TYP.

TRACT 1B1A



LEGAL DESCRIPTION:
TRACT 1B1A THRU TRACT 1B1E OF THE RENAISSANCE CENTER

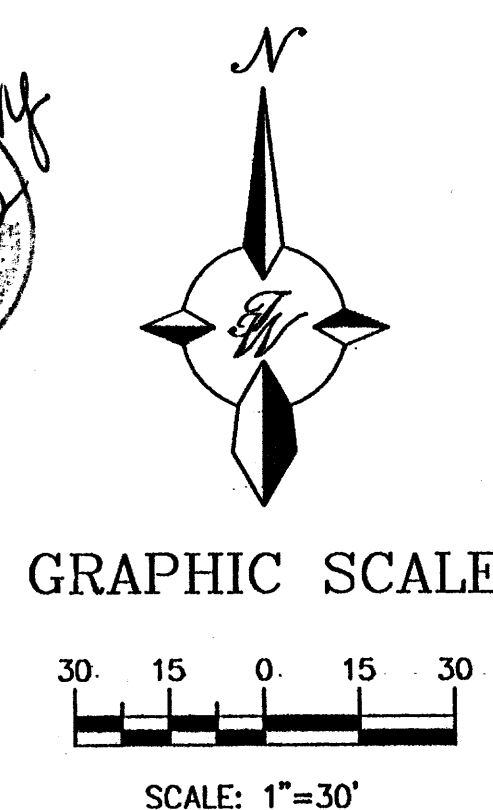
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LEGEND	
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
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	PROPOSED CROSSWALK
	PROPOSED FIRE HYDRANT
	PROPOSED BIKE RACK
	PROPOSED PATIO AREA
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LINE TABLE		
LINE	LENGTH	BEARING
L1	41.03	N89°46'36"E
L2	1.98	S65°01'06"W

CURVE TABLE							
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH	
C1	21.74	86.00	10.93	14°29'08"	S57°46'32"W	21.68	
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C6	108.81	499.12	54.62	12°29'26"	S68°17'32"W	108.59	
C8	192.36	499.12	97.39	22°04'53"	S51°00'22"W	191.17	

RECORD DRAWING
DATE: June 24, 2002
DRAFTED BY: R. W. TIERRA WEST DEV.
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PROJECT NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and that the findings and conditions in the Official Notice/Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN:

Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	Date
City Planner, Albuquerque / Bernalillo County Planning Division	Date
PLNZ (10708) 4/96	

3	05/21/02	CHANGES SCREEN WALL HEIGHT FROM 3' TO 4'	BDG
2	05/20/02	ADDING NEW CONC. AREAS FOR CAR DISPLAY	BDG
1	05/20/02	ADDING WROUGHT IRON FENCE AROUND SITE	BDG
NO.	DATE	REMARKS	BY

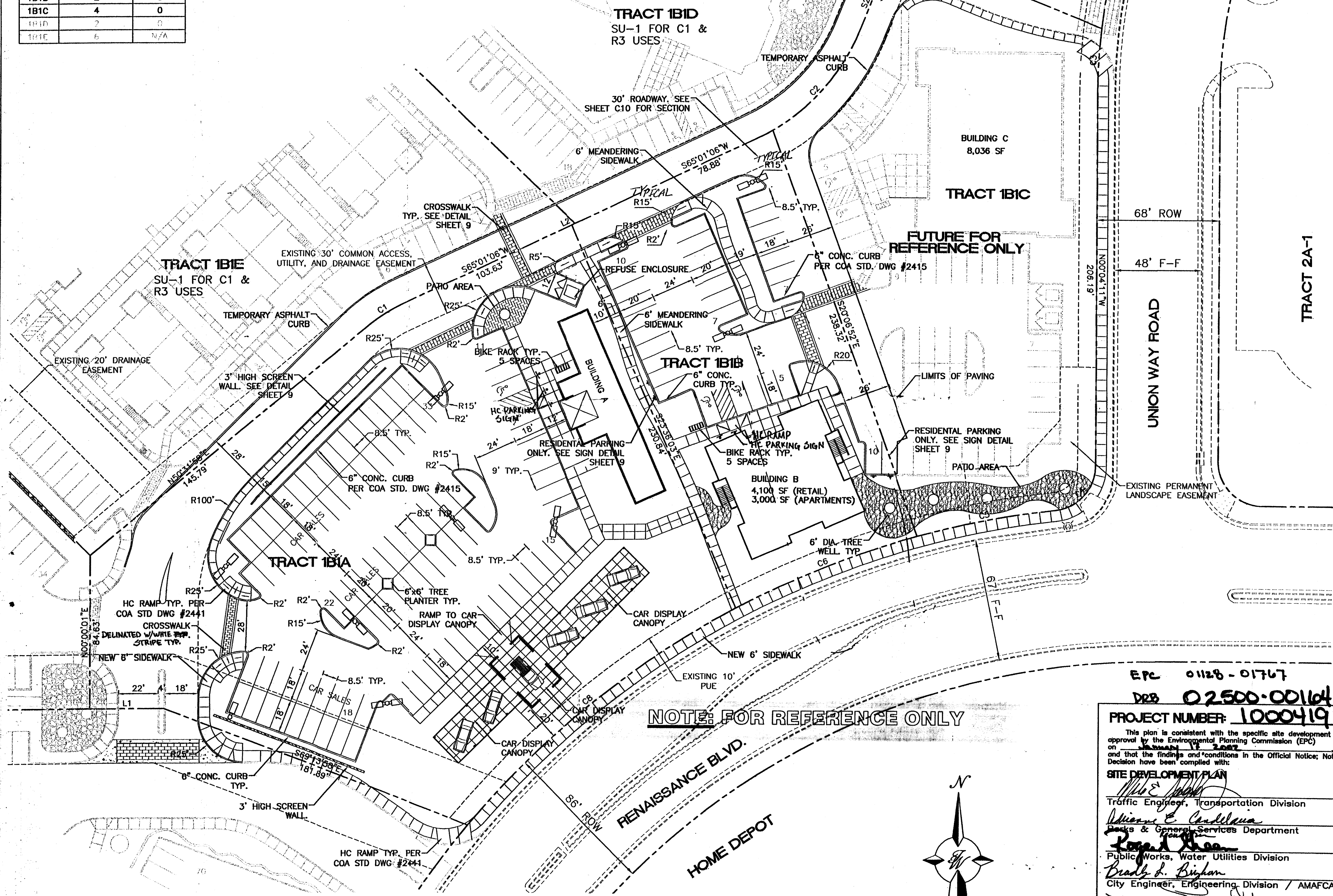
REVISIONS

ENGINEER'S SEAL	BOB TURNER FORD EXPANSION	DRAWN BY: BDG
	SITE PLAN FOR	

SITE DATA TABLE									
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TRACT	BIKE SPACES REQ.	SHOWERS REQ.
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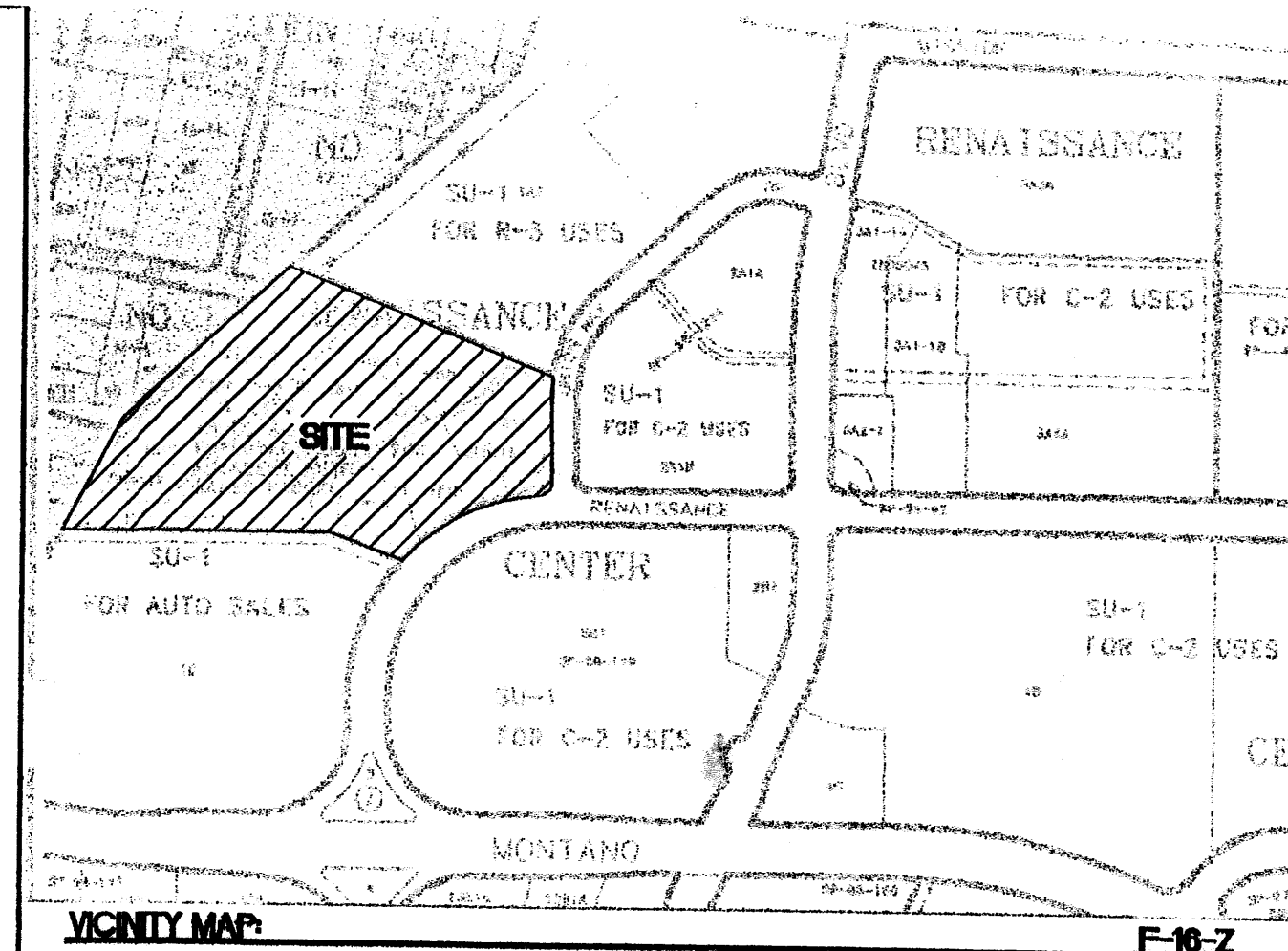
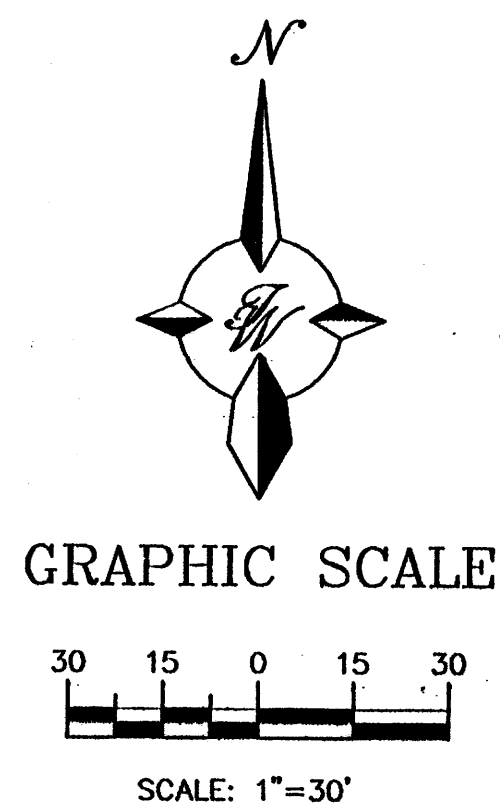
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APPROVED FOR CONSTRUCTION
DATE: 3-12-02
ENGINEER'S SEAL



LEGAL DESCRIPTION:
TRACT 1B1A THRU TRACT 1B1E OF THE RENAISSANCE CENTER

NOTES:

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LEGEND

- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED WALL
- PROPOSED CROSSWALK
- PROPOSED FIRE HYDRANT
- PROPOSED BIKE RACK
- PROPOSED PATIO AREA
- PROPOSED PARKING LOT LIGHTING

ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

BOB TURNER FORD EXPANSION
SITE PLAN FOR BUILDING PERMIT (TRACT 1B1A AND 1B1B)

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDC
DATE 03/01/02
2198SPB.DWG
SHEET # C2
JOB # 21098

EPC 01128-01767
DOB 02500-00164
PROJECT NUMBER: 1000419

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 11/13/2002 and that the findings and conditions in the Official Notice of Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division
Date: 4/15/02

Public Works, Water Utilities Division
Date: 3/20/02

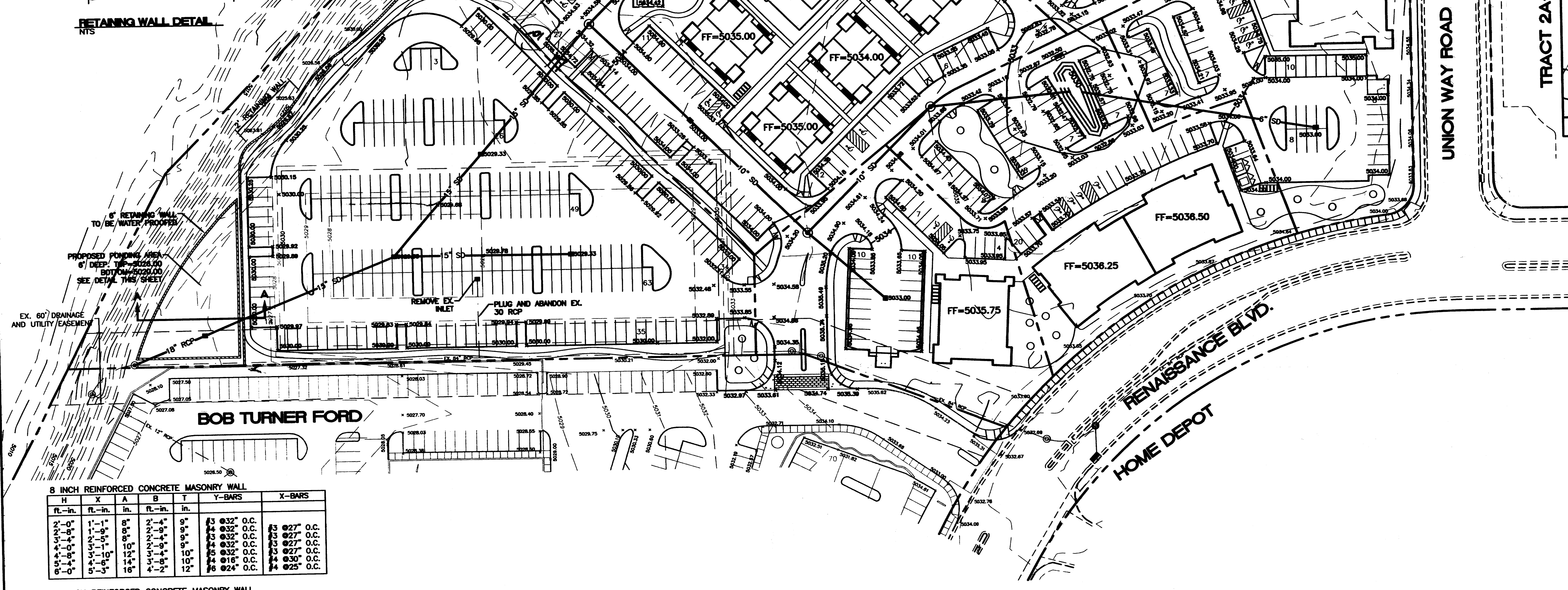
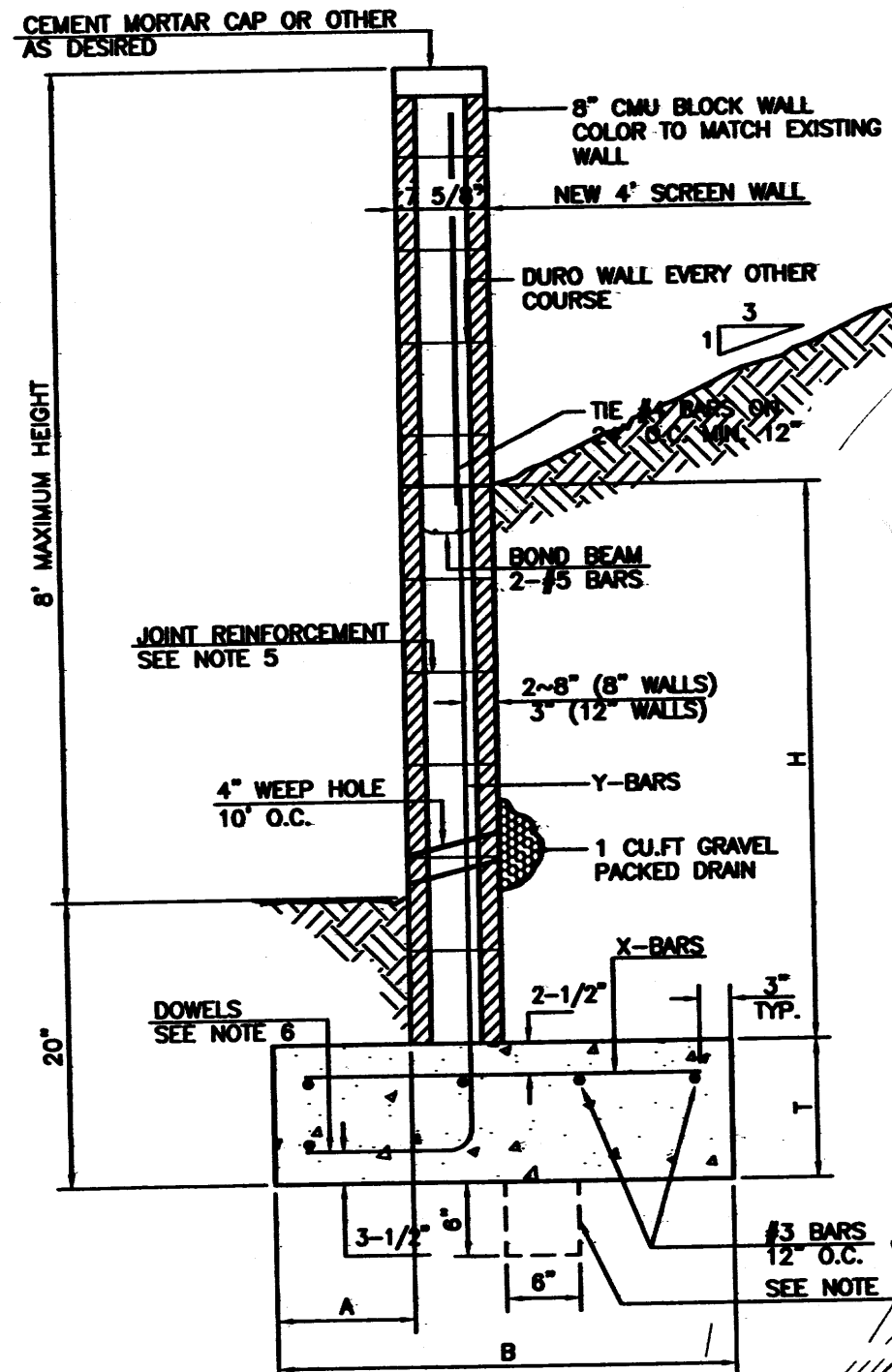
City Engineer, Engineering Division / AMAFCA
Date: 3/20/02

Solid Waste
Date: 3/20/02

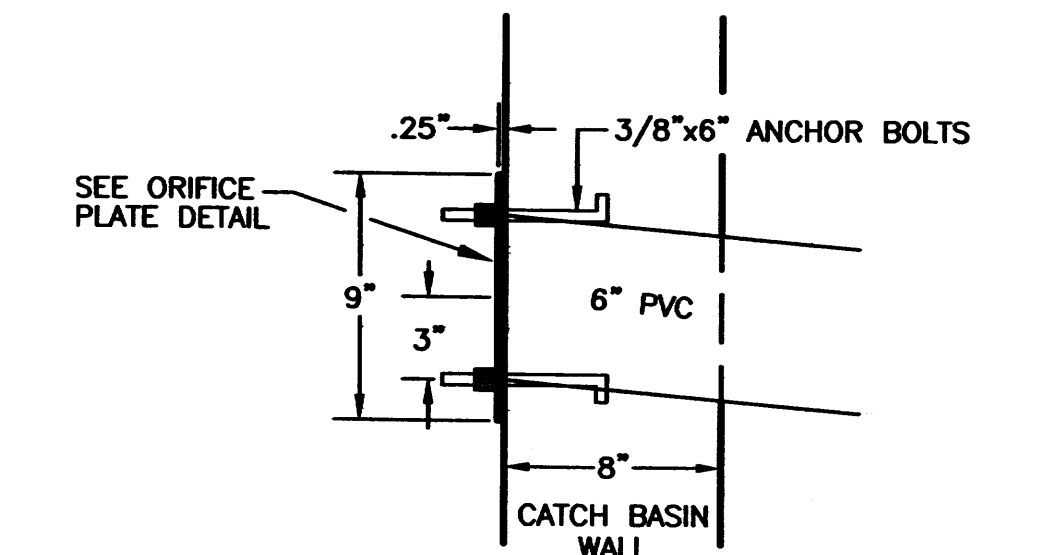
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernallie
Date: 5/1/02

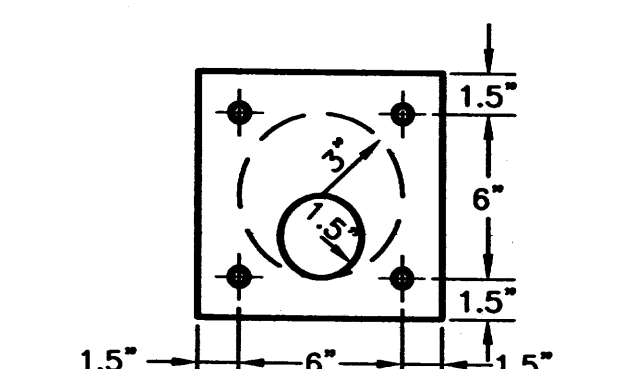
PLNZ (10706) 4/96



LINE TABLE				
LINE	LENGTH	BEARING	PIPE SIZE	SLOPE
L1	91.99	S07°05'14"E	6"	S=1.489%
L2	191.35	S44°59'18"W	6"	S=1.427%
L3	61.26	N73°10'24"W	8"	S=2.775%
L4	128.92	S44°59'18"W	10"	S=1.427%
L5	144.34	S41°08'52"W	15"	S=0.637%
L6	206.01	N80°36'17"W	6"	S=0.485%
L7	123.74	S84°49'32"W	10"	S=0.598%
L8	149.50	N44°59'12"E	10"	S=0.642%
L9	85.84	N48°44'43"W	6"	S=2.679%
L10	137.65	N45°00'42"W	10"	S=0.748%
L11	117.62	N45°00'42"W	10"	S=0.646%
L12	151.59	N90°00'00"W	10"	S=0.877%
L13	175.15	S68°31'54"W	15"	S=5.52%
L14	65.84	S68°34'15"W	15"	S=5.29%
L15	115.19	S41°08'52"W	18"	S=0.556%

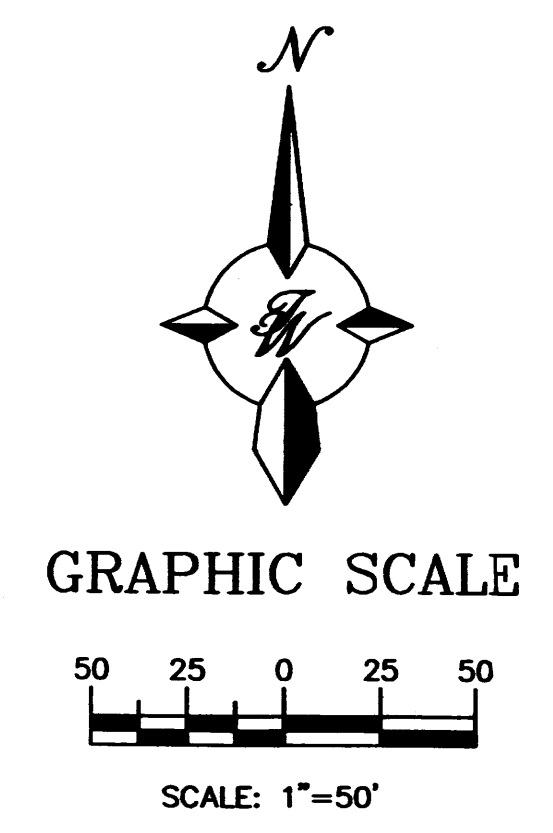


TO BE INSTALLED @ THE OUTFLOW OF ALL CATCH BASINS (SEE TABLE FOR ORIFICE PLATE SIZES)



TYP. ORIFICE PLATE DETAIL

- LEGEND**
- EXISTING SD MANHOLE
 - EXISTING SAS MANHOLE
 - EXISTING METER
 - EXISTING VALVE W/BOX
 - EXISTING FIRE HYDRANT
 - PROPOSED CLEAN OUT
 - PROPOSED DOUBLE CLEAN OUT
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - EXISTING STORM SEWER LINE
 - EXISTING CURB & GUTTER
 - PROPOSED STORM SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED WATERLINE
 - BOUNDARY LINE
 - EASEMENT



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL

**TRACT 1B
RENAISSANCE CENTER**

**MASTER STORM
SEWER PLAN**

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDG

DATE 9-14-00

9988MSP.DWG

SHEET #

5 OF 6

JOB # 990088

