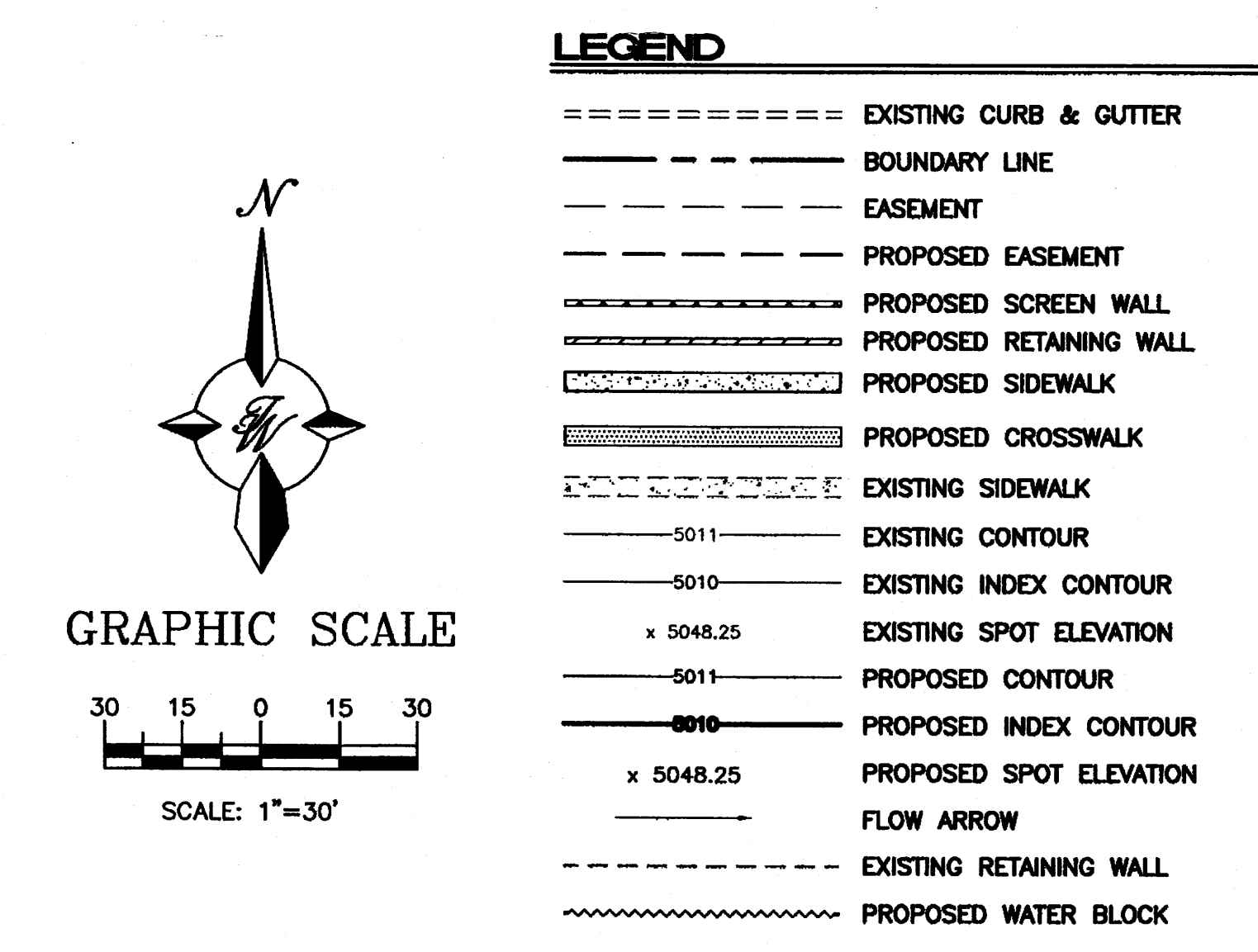
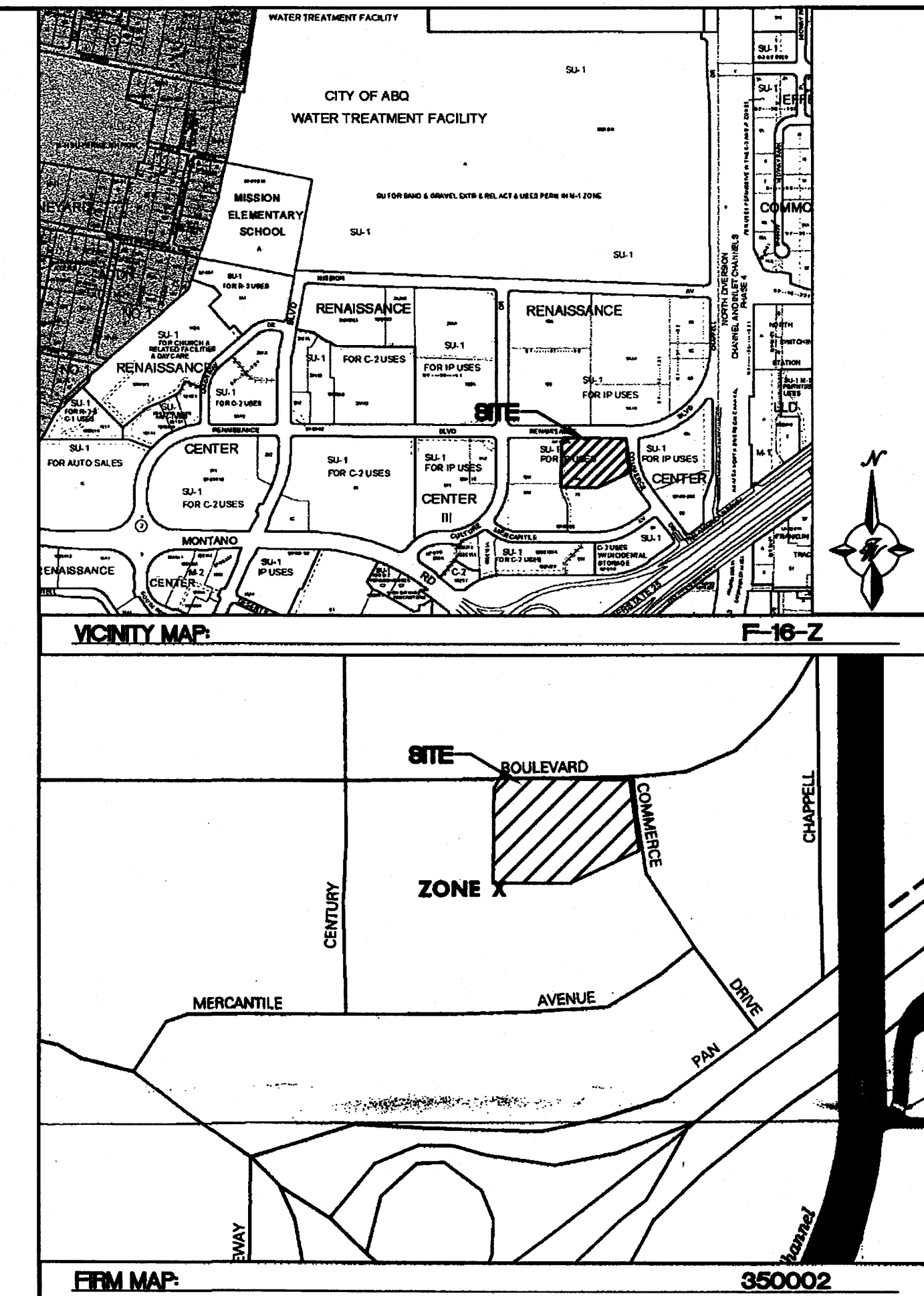
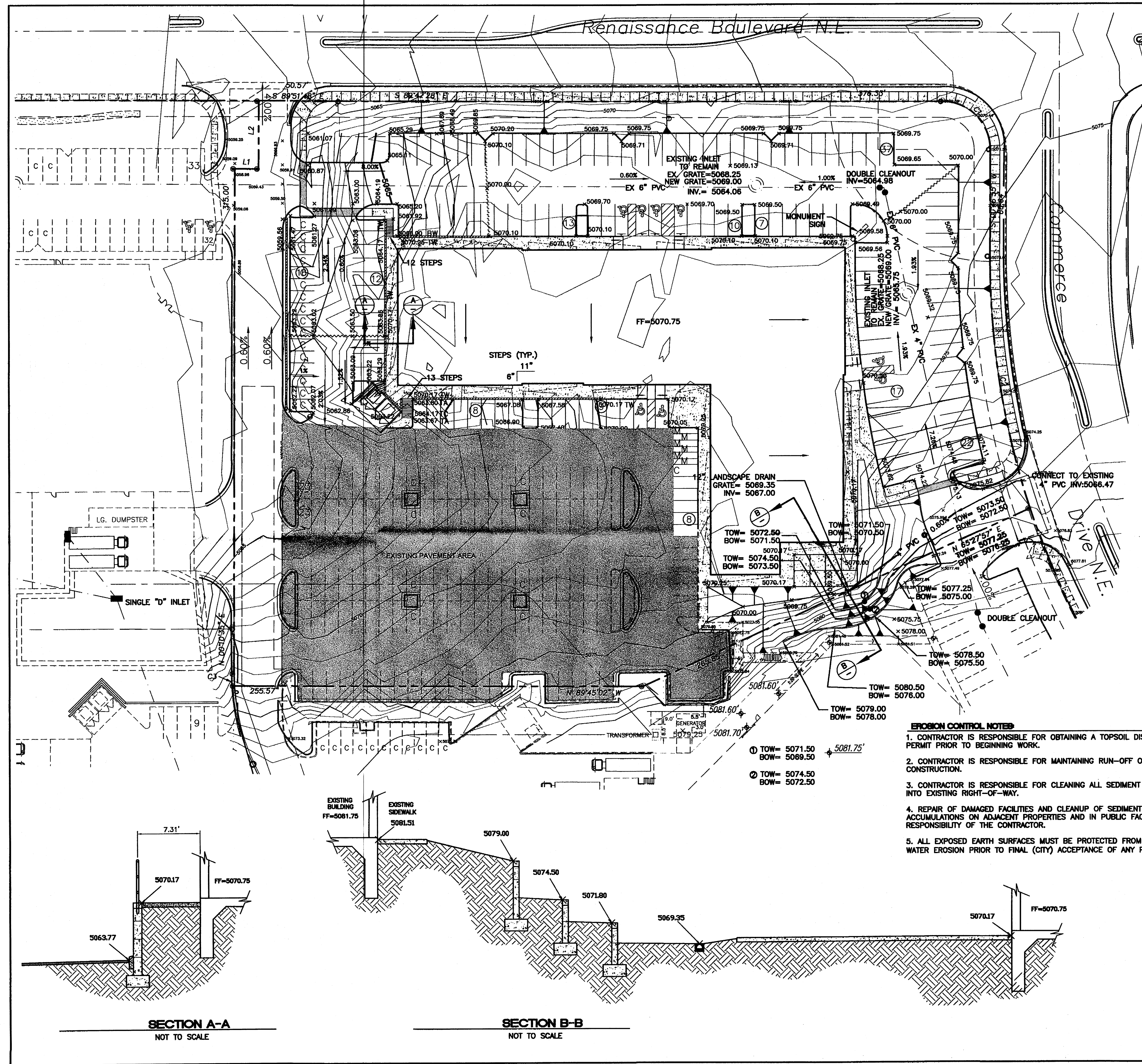


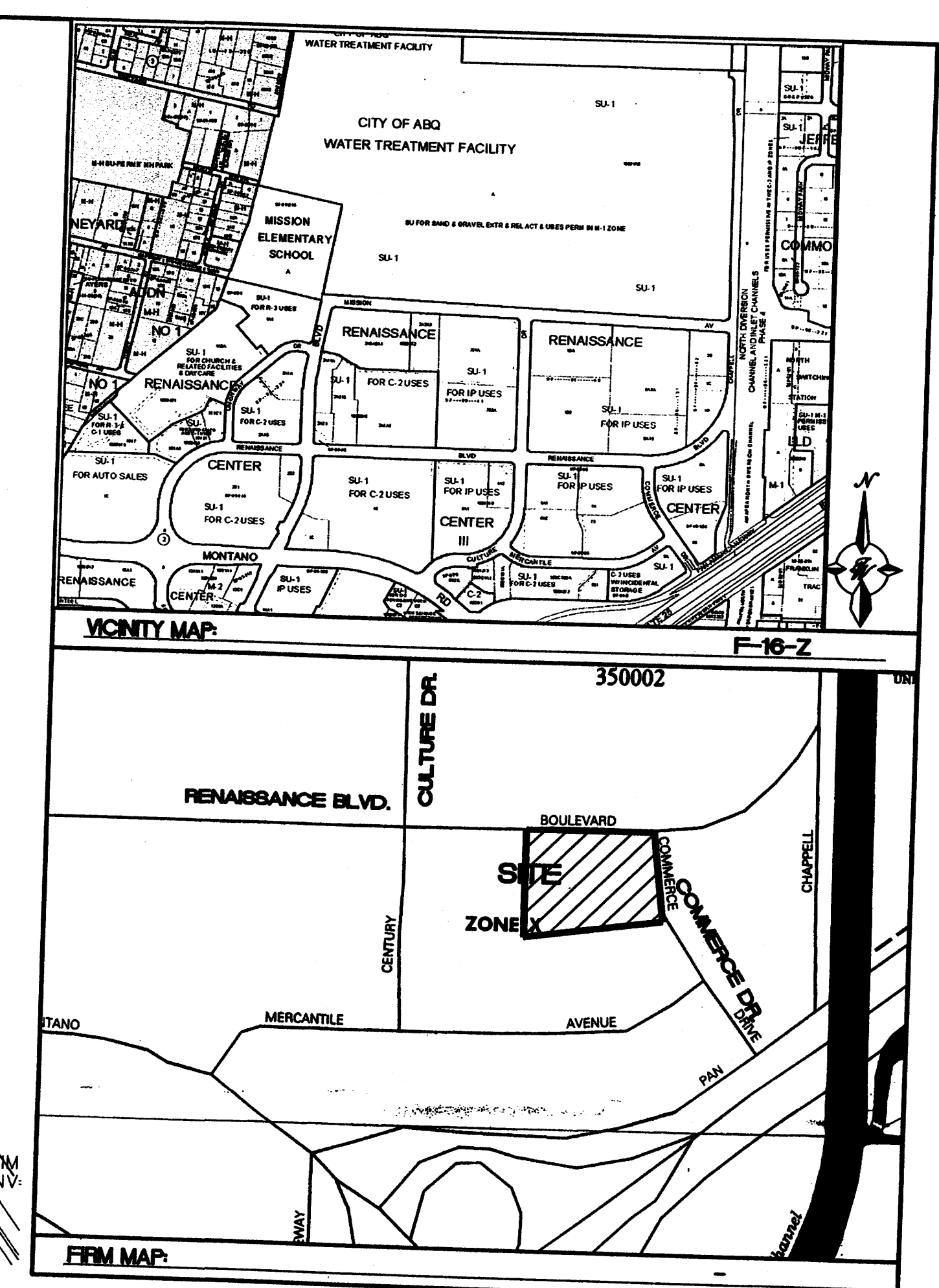
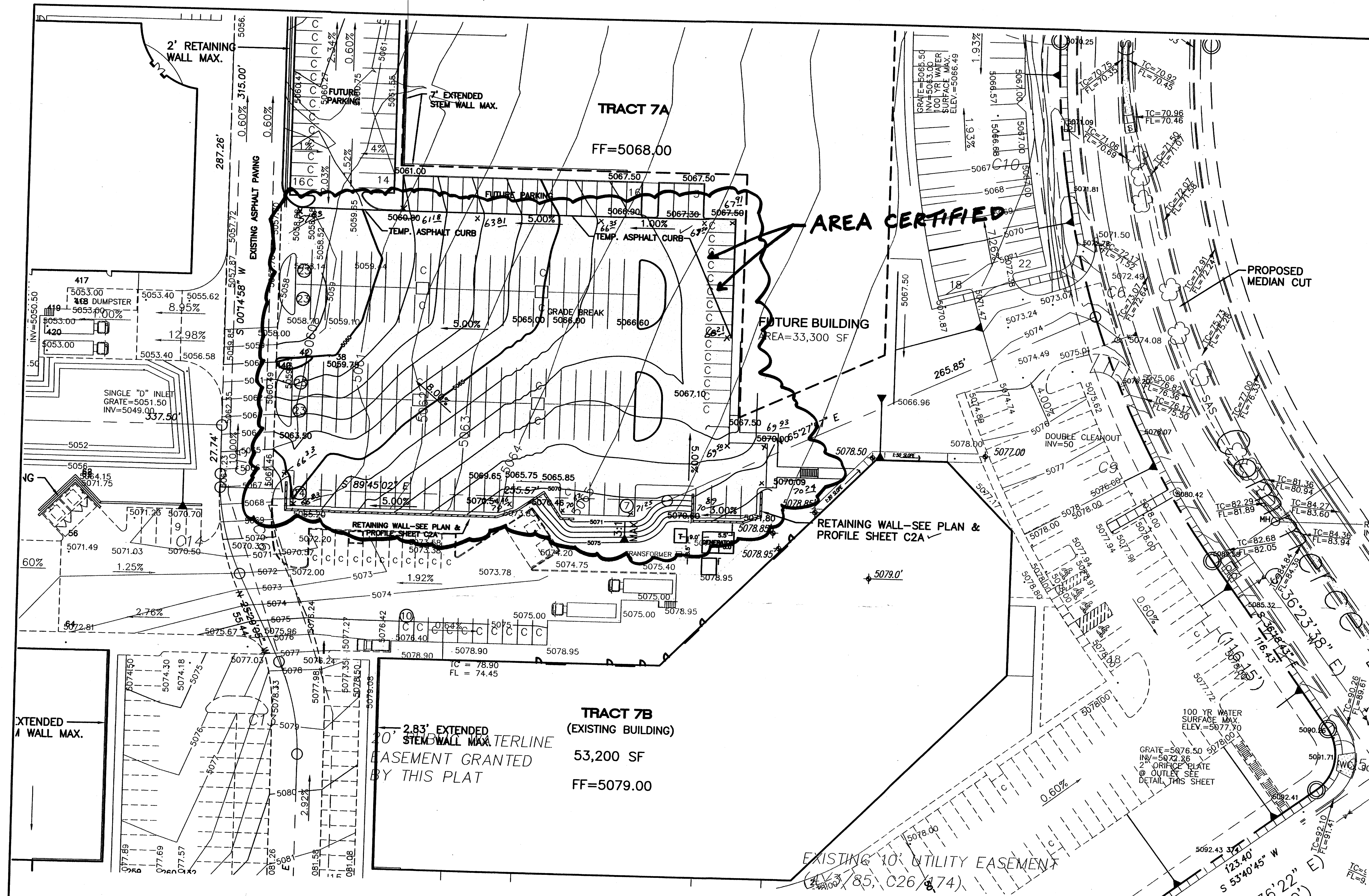


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL _____ DATE _____

	RENAISSANCE BUILDING 7A GRADING AND DRAINAGE PLAN	DRAWN BY DFT
		DATE 2-26-08
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-1111	RECEIVED FEB 28 2008 HYDROLOGY SECTION	27108-GRE STD DRAWING
		SHEET # C2 JOB # 27108

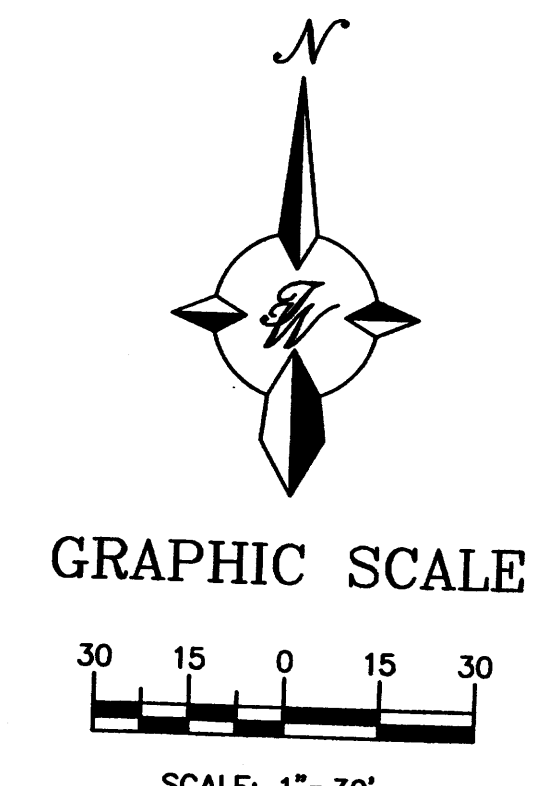


- LEGEND**
- CONSTRUCTION BOUNDARY
 - EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED EASEMENT
 - PROPOSED SCREEN WALL
 - PROPOSED RETAINING WALL
 - PROPOSED SIDEWALK
 - EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED CONTOUR
 - PROPOSED INDEX CONTOUR
 - PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - PROPOSED ASPHALT PARKING
- AS-BUILT ELEVATION

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

APPROVAL	NAME	DATE
INSPECTOR	N/A	



ROUGH GRADING APPROVAL

ENGINEER'S SEAL	TRACTS 7A, 7B RENAISSANCE CENTER GRADING, DRAINAGE AND PAVING PLAN	DRAWN BY LPS DATE 4-13-07 2709-GRB SHEET # C2 JOB # 27009
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

DRAINAGE CERTIFICATION

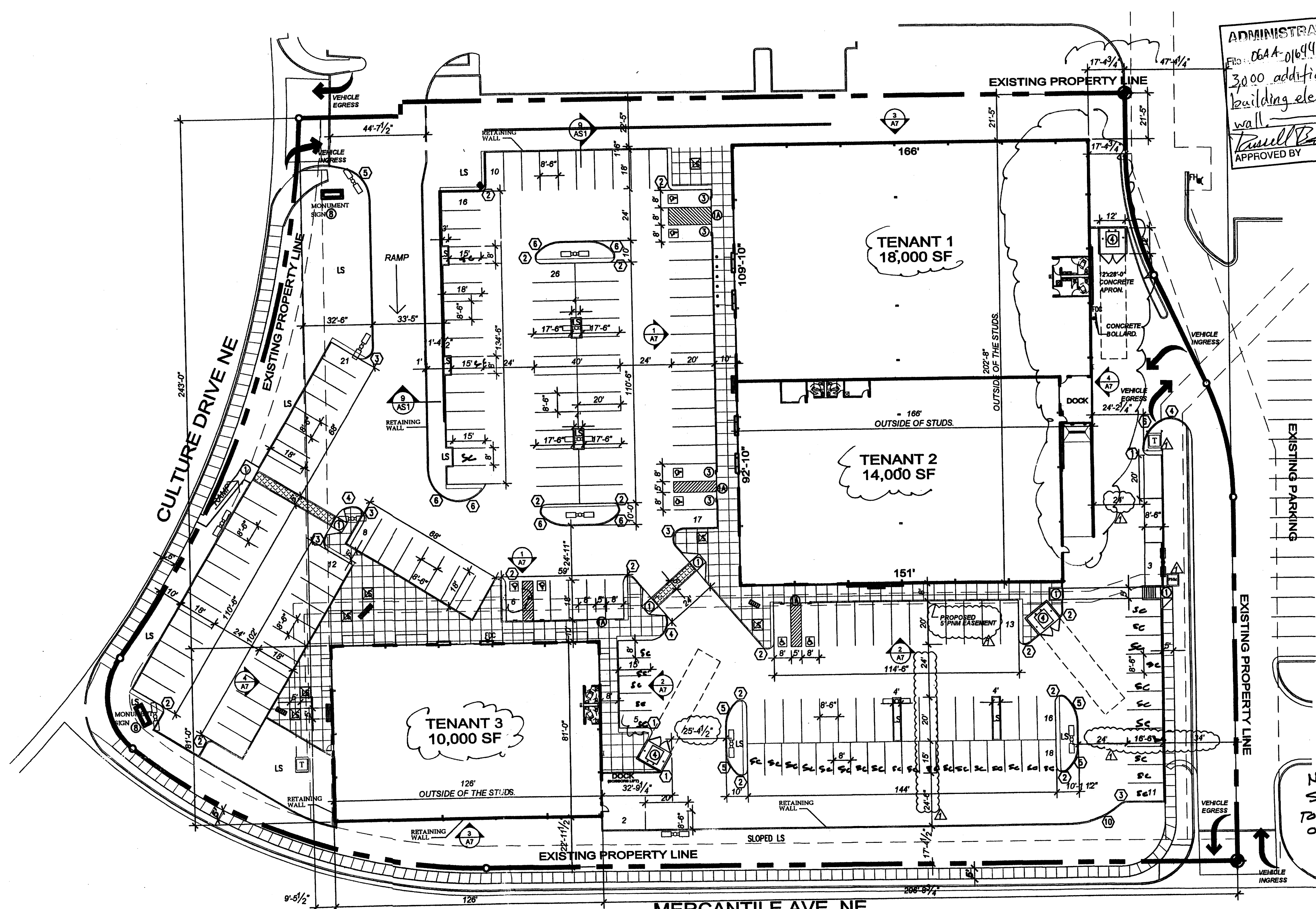
I, Ronald R. Bohannon, NMP# 7868, OF THE FIRM - Tierra West, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5-8-07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR A PERSON EMPLOYED BY ME AND I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-13-07 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

Remaining items for completion: No items remaining for completion

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS FOR ANY OTHER PURPOSES ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT.

RONALD R. BOHANNAN NMP# 7868

(SEAL)



ADMINISTRATIVE
 FILE: 06AA-01694 1004509
 3000 additional sq. ft.; new
 building elevations; retaining
 wall
 Approved BY: [Signature] 27 Dec '06

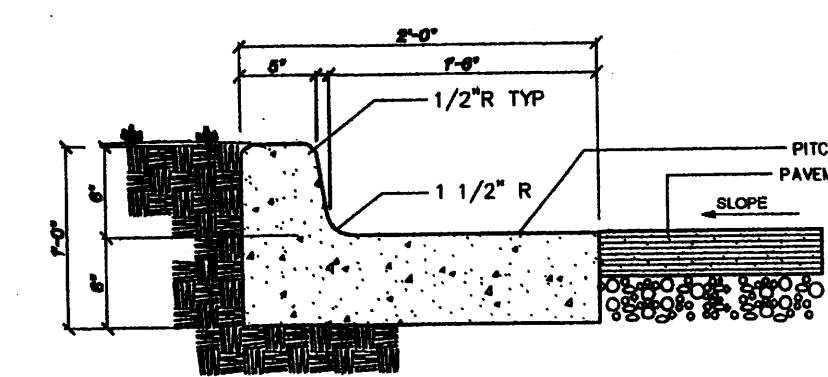
1 HANDICAP RAMP DETAIL
 NOT TO SCALE

1A SLOPE ASPHALT PARKING AS RAMP



LEGEND & BORDER-GREEN
 BACKGROUND-WHITE
 SYMBOL-WHITE ON BLUE
 BACKGROUND
 PROVIDE "H.C. VAN
 PARKING" ON SIGN
 AT VAN SPACE
 * PER ANSI REQUIREMENTS

3 ACCESSIBLE PARKING SIGN
 NOT TO SCALE



4 CURB & GUTTER
 NOT TO SCALE

NOTE:
 SMALL CARS STALLS
 TO BE MARKED (SMALL CAR)
 ON PAVEMENT
 11.30.06

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED RETAINING WALL
- PROPOSED CURB
- PROPOSED SIDEWALK
- PROPOSED CROSSWALK-RECESSED BRICK PAVERS
- PROPOSED FIRE HYDRANT
- PROPOSED BIKE RACK
- PROPOSED PARKING LOT LIGHTING
- PROPOSED OUTDOOR SEATING (EA. SEATS 4)
- PROPOSED LANDSCAPING
- FIRE DEPARTMENT CONNECTION
- PROPOSED TRANSFORMER
- VEHICLE INGRESS/EGRESS

CODE DATA

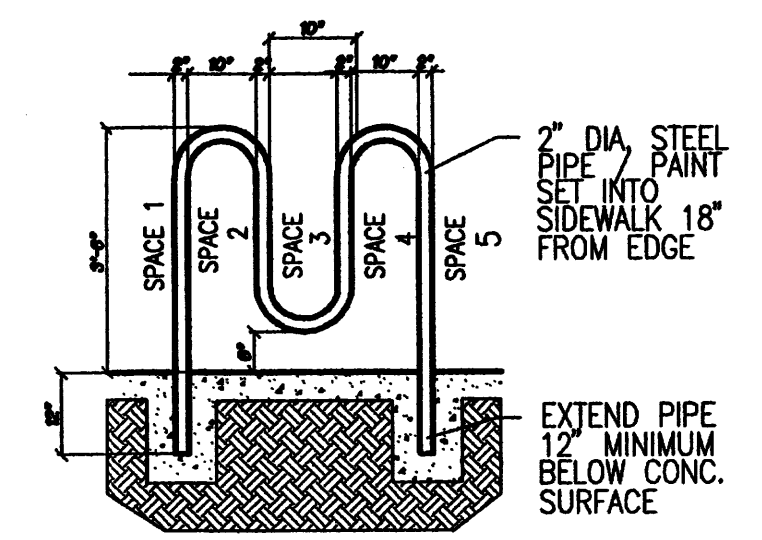
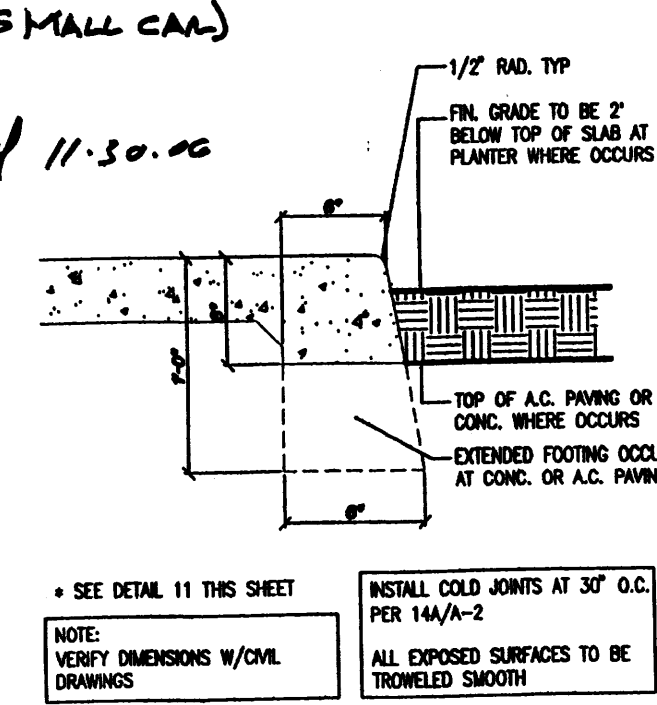
ADDRESS: NE CORNER OF
 MERCANTILE & CULTURE
 ZONING: C2
 OCCUPANCY: M
 BUILDING TYPE: TYPE IIB
 SEISMIC ZONE: 2B
 ALLOWABLE AREA: 12,500 SF
 # OF STORIES: ONE
 FIRE PROTECTION: JA1 & JA2: SPRINKLED (30,000 SF)
 SHOPS BUILDING: SPRINKLED (9,000 SF)

CODE REFERENCES

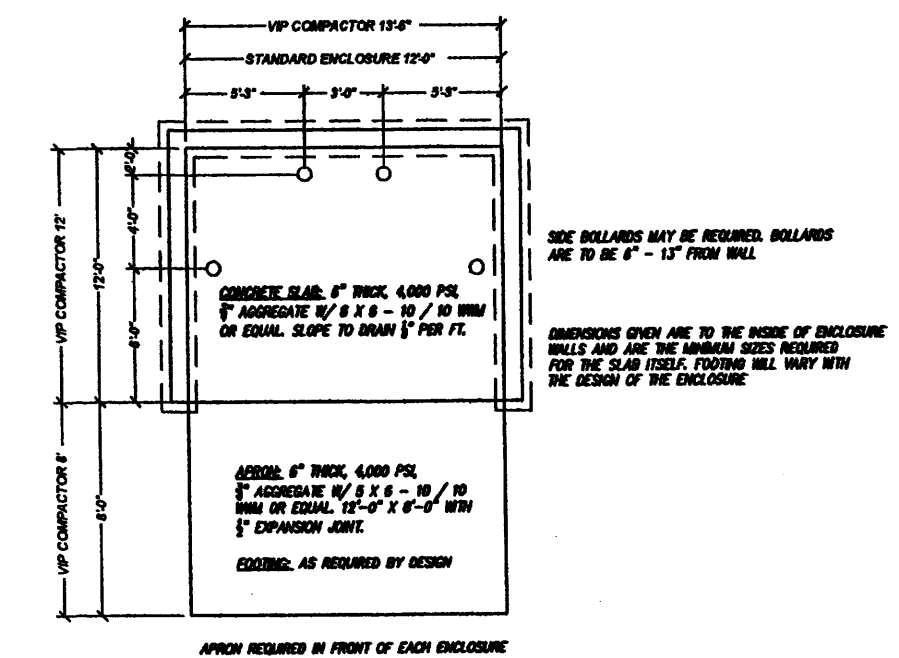
BUILDING CODE: IBC "2003"
 MECHANICAL CODE: UMC "2003"
 PLUMBING CODE: UPC "2003"
 ELECTRICAL CODE: NEC "2005"
 ACCESSIBILITY CODE: ANSI "1998"
 FIRE CODE: IFC "2003"

MONUMENT SIGN LETTERING
 MUST NOT EXCEED TWELVE (12)
 INCHES IN HEIGHT AS PER THE
 RENAISSANCE MASTER PLAN

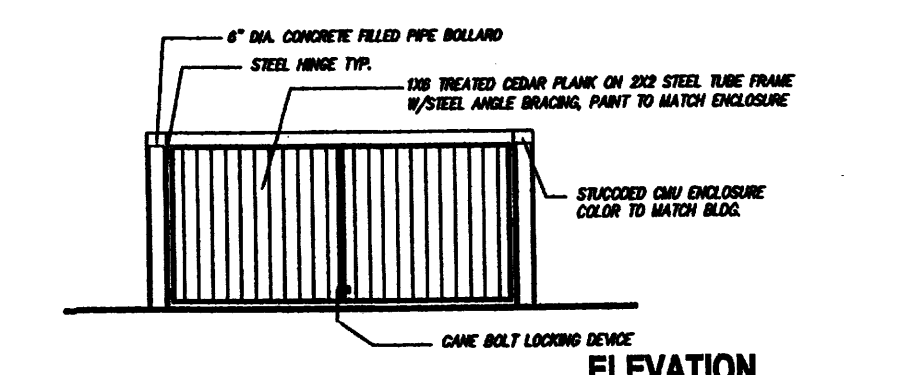
6 CURB DETAIL
 NOT TO SCALE



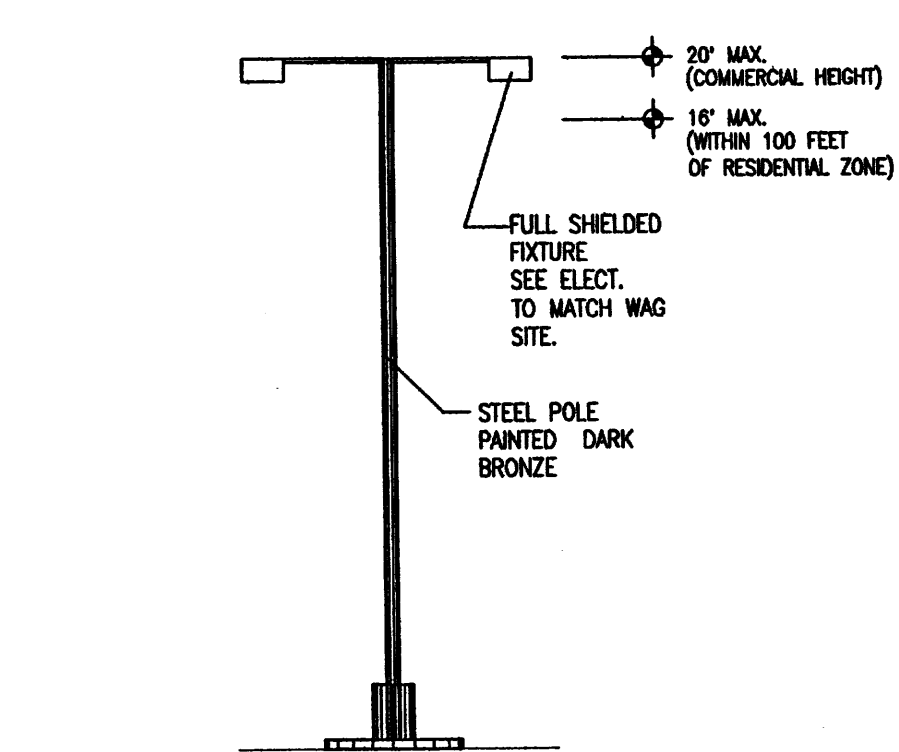
2 BIKE RACK DETAIL
 NOT TO SCALE



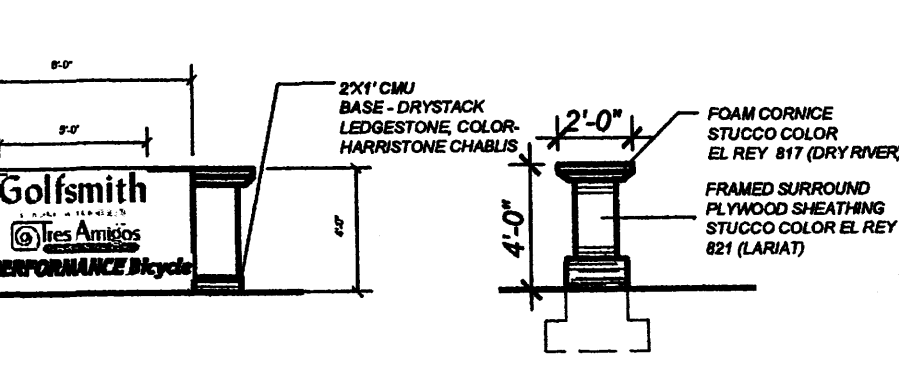
5 TRASH ENCLOSURE
 NOT TO SCALE



5 TRASH ENCLOSURE
 NOT TO SCALE

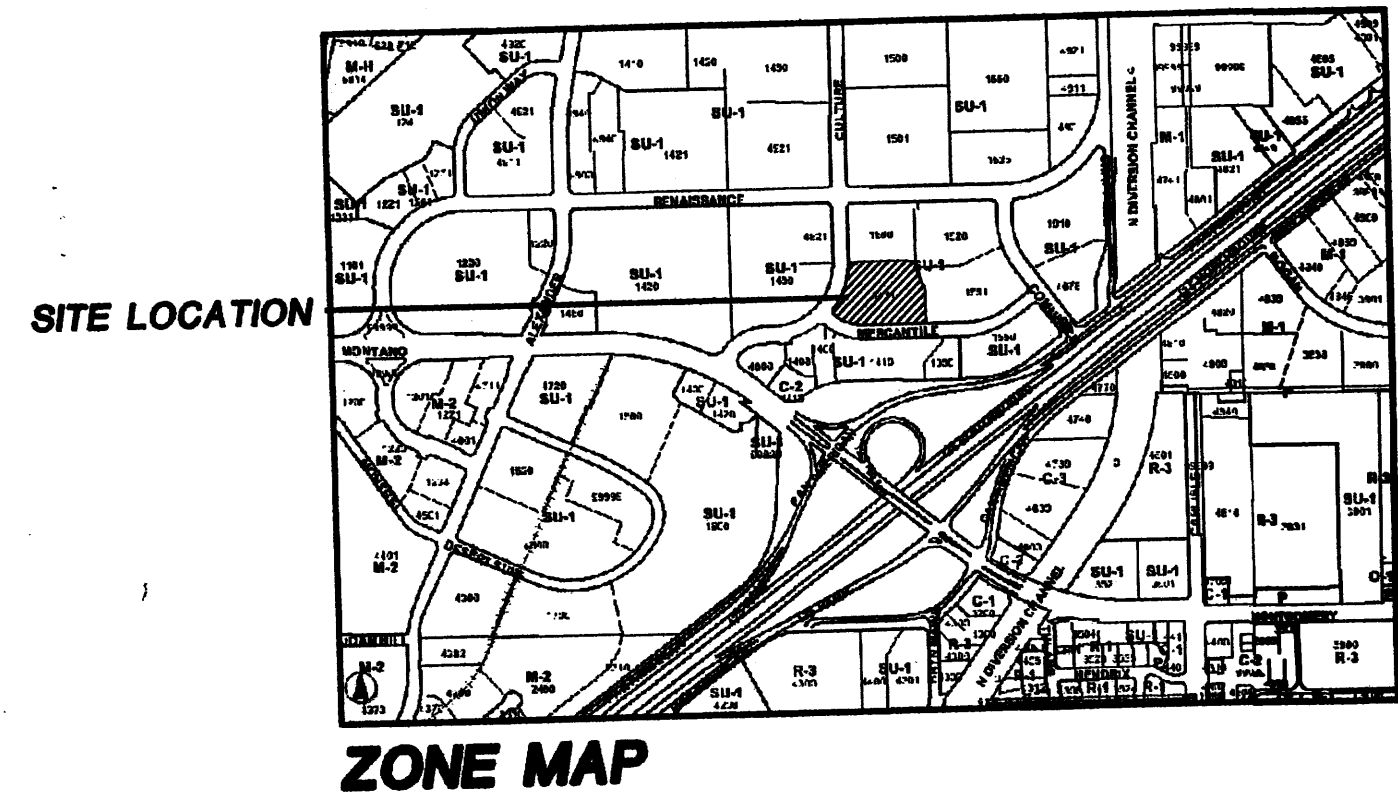


7 SITE LIGHTING DETAIL
 NOT TO SCALE



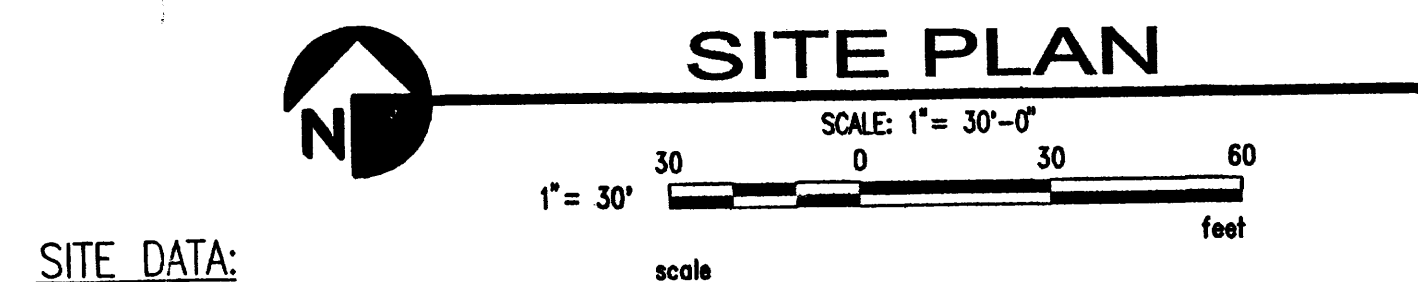
8 MONUMENT SIGN
 NOT TO SCALE

NOTE:
 MONUMENT SIGNS TO BE OPAQUE, INTERNALLY ILLUMINATED
 SIGNS LIT BY OVERHEAD BRACKET MOUNTED FLOOD LAMPS
 36 S.F. SIGN



SITE LOCATION

ZONE MAP



SITE DATA:

PROPOSED USAGE: C-2 USE
 LOT AREA: 160,469 SF (3.7 ACRES)
 LANDSCAPE REQUIRED: 6.5%
 OCCUPANT LOAD:
 TENANT 1 & 2 OCCUPANT LOAD: 32,000/30 = 1400
 TENANT 3 OCCUPANT LOAD: 10,000/30 = 333
 TOTAL ALLOWABLE AREA: 12,500 SF
 BUILDING AREA:
 TENANT 1 & 2/SHOPS BLDG. - 32,000 SF.
 TENANT 3/SHOPS BLDG. - 10,000 SF.
 TOTAL SQ. FOOTAGE - 42,000 SF.

PARKING REQUIRED:
 0 - 15,000 - 1 CAR PER 200 = 75 CARS
 15,000 TO 42,000 - 1 CAR PER 250 = 108 CARS
 TOTAL CARS REQUIRED = 183 CARS
 TOTAL H.C. PARKING REQUIRED = 8 SPACES
 TOTAL H.C. PARKING PROVIDED = 8 SPACES
 TOTAL STANDARD PARKING PROVIDED = 146 SPACES
 TOTAL COMPACT PARKING PROVIDED = 30 SPACES
 TOTAL PARKING PROVIDED = 184 SPACES
 TOTAL PARKING REQUIRED = 183 SPACES
 BIKE SPACES REQUIRED: 9 SPACES
 BIKE SPACES PROVIDED: 10 SPACES
 SITTING SPACES REQUIRED: 17 SPACES
 SITTING SPACES PROVIDED: 20 SPACES

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on the findings and conditions in the Official Notification of Decision are satisfied
 Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL
 Traffic Engineering, Transportation Division _____ Date _____
 Water Utility Department _____ Date _____
 Parks and Recreation Department _____ Date _____
 City Engineer _____ Date _____
 Environmental Health Department _____ Date _____
 Solid Waste Management _____ Date _____
 DRB Chairperson, Planning Department _____ Date _____
 * Environmental Health, if necessary

- PARKING NOTES:
 TYPICAL STANDARD SPACES ARE: 8'-0" x 20'-0"
 TYPICAL SMALL CAR SPACES ARE: 7'-6" x 10'-0"
 TYPICAL HANDICAP SPACES ARE: 8'-0" x 20'-0"
 WITH A 6' WIDE ACCESS AISLE: 8'-0" x 20'-0"
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED
- RADIUS: ○
 1 RADIUS = 2'-0"
 2 RADIUS = 3'-0"
 3 RADIUS = 5'-0"
 4 RADIUS = 8'-0"
 5 RADIUS = 10'-0"
 6 RADIUS = 15'-0"
 7 RADIUS = 20'-0"
 8 RADIUS = 25'-0"
 9 RADIUS = 30'-0"
 10 RADIUS = 37'-0"
 11 RADIUS = 50'-0"
 12 RADIUS = 65'-0"
 13 RADIUS = 100'-0"

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

REVISION
 BY
 DATE
 REV
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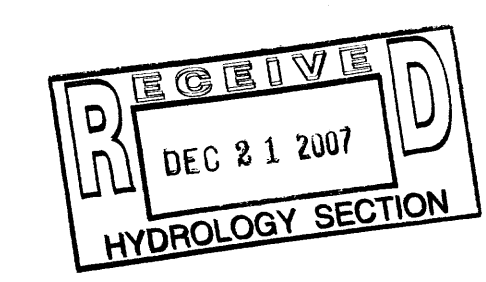
PROJECT TITLE
THE SPORTS COURT
 NEC OF MERCANTILE & CULTURE
 ALBUQUERQUE, NEW MEXICO

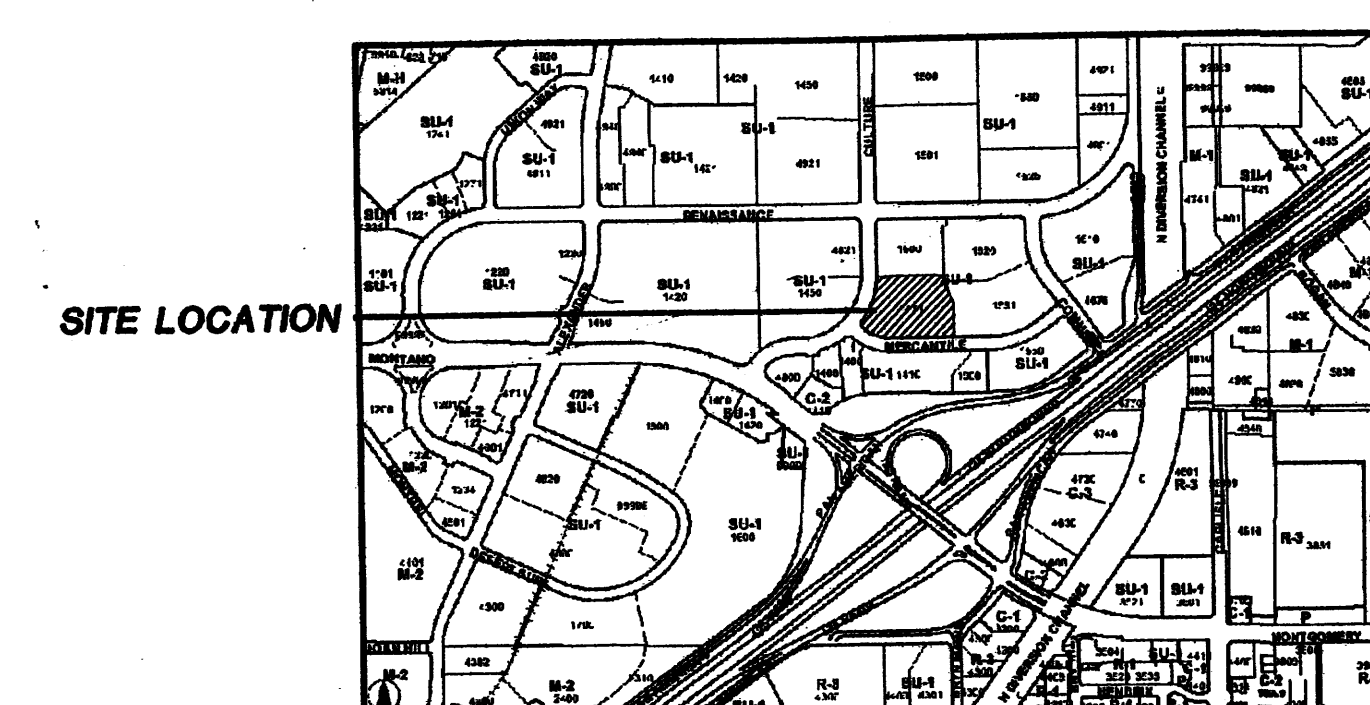
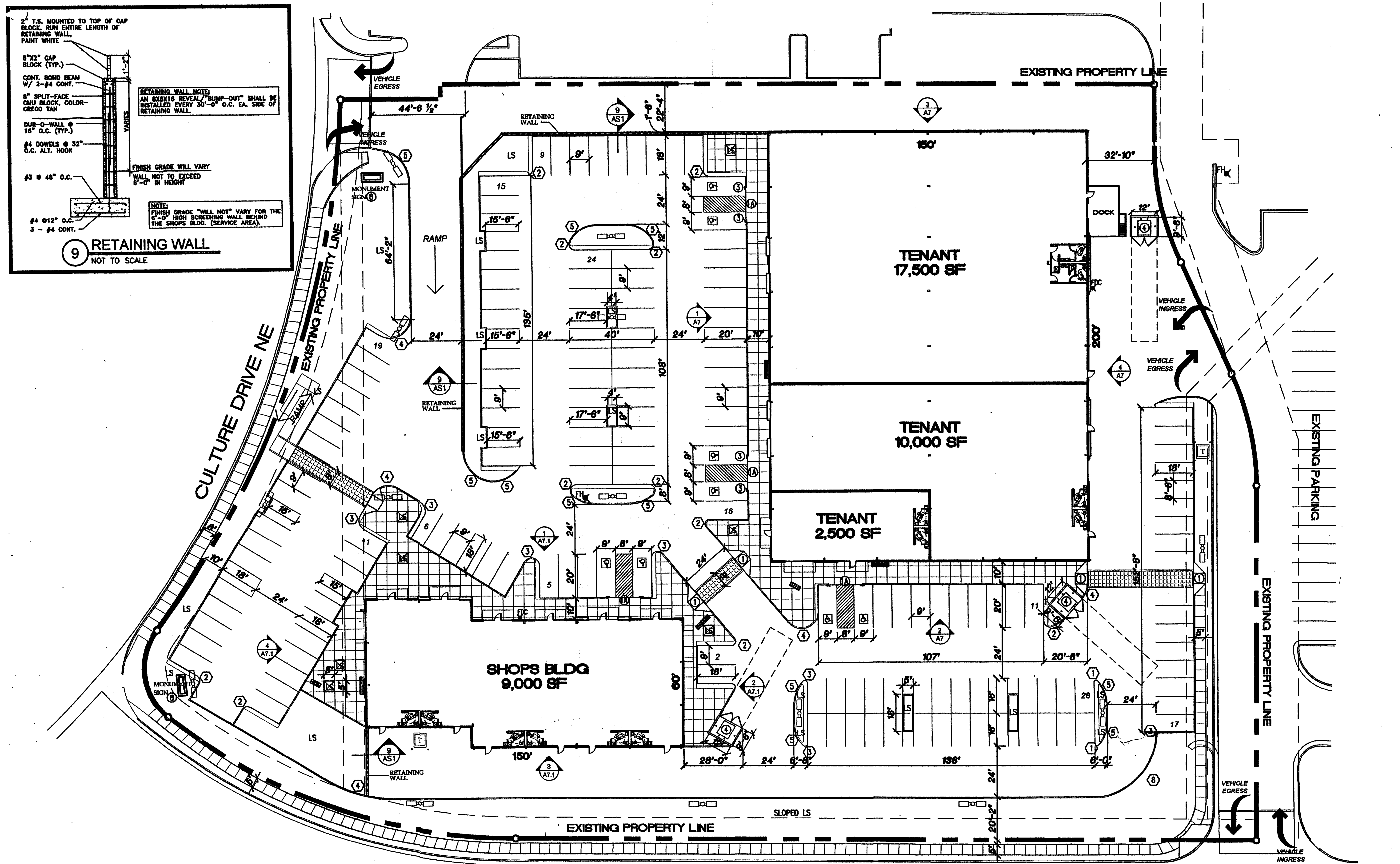
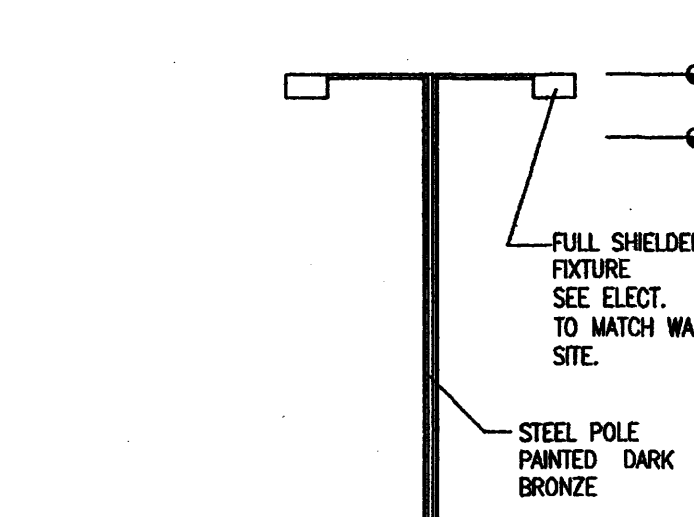
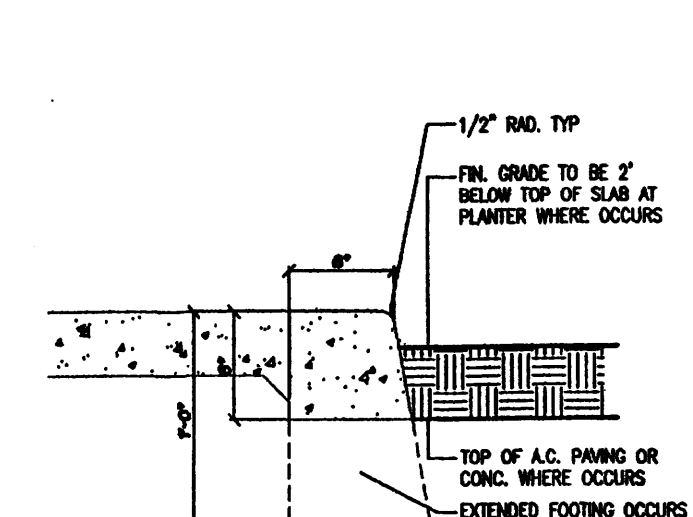
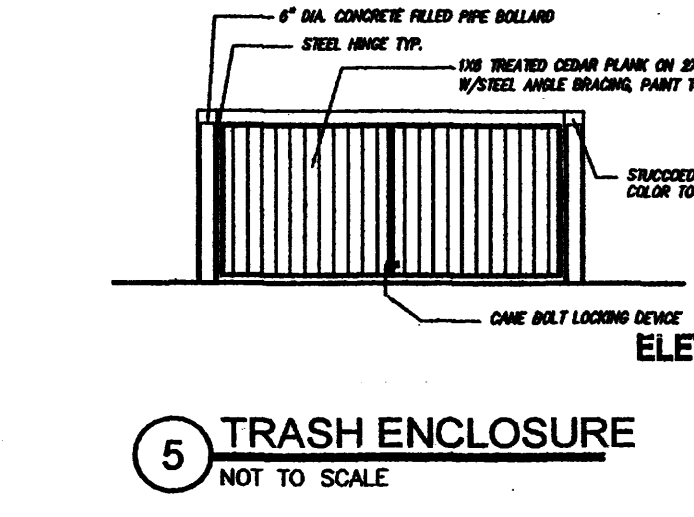
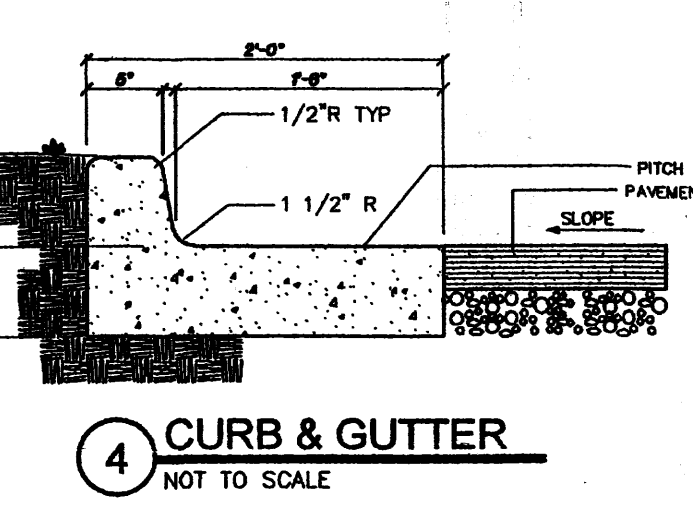
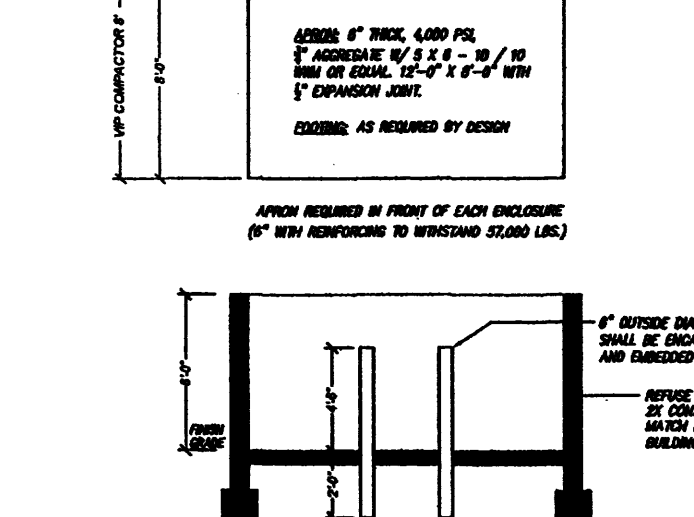
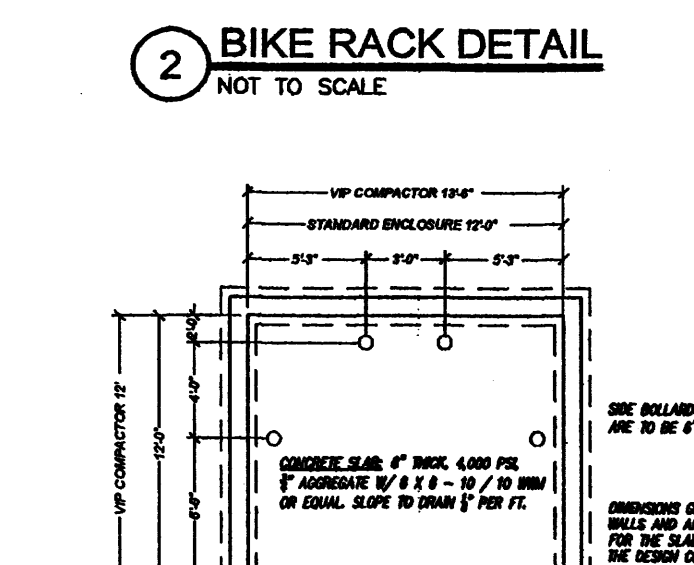
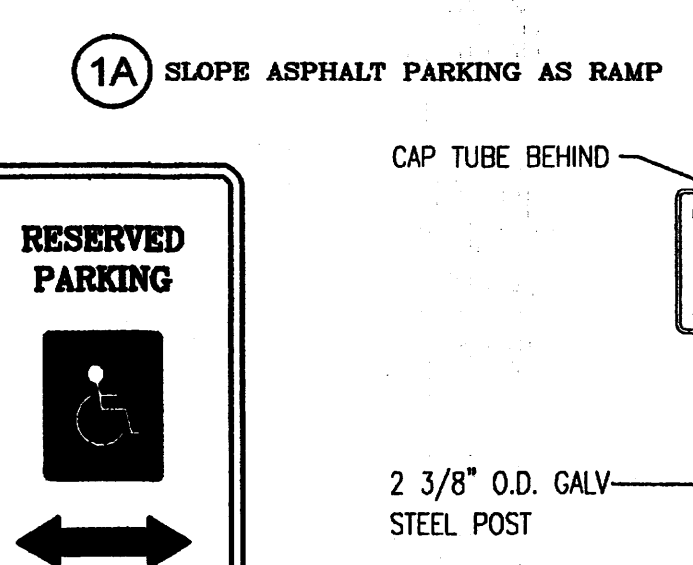
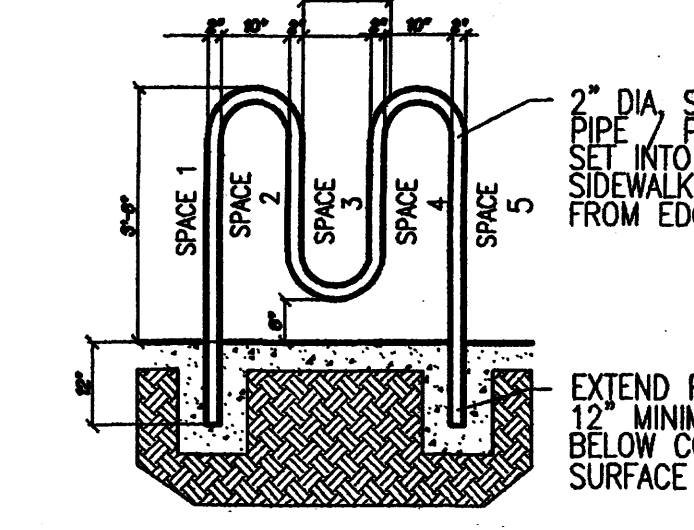
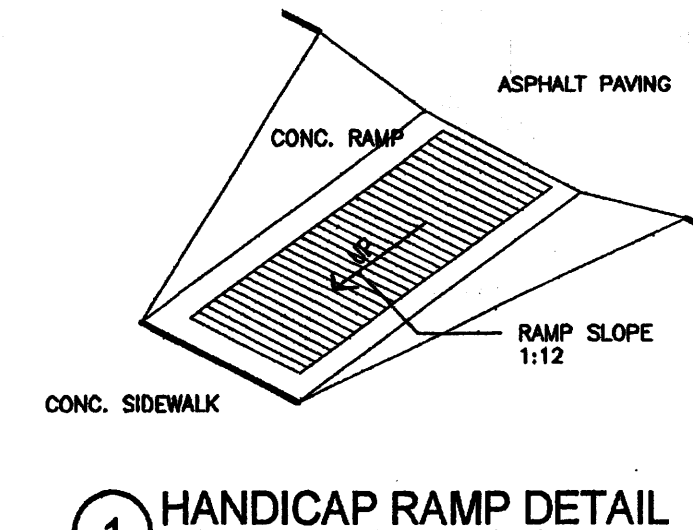
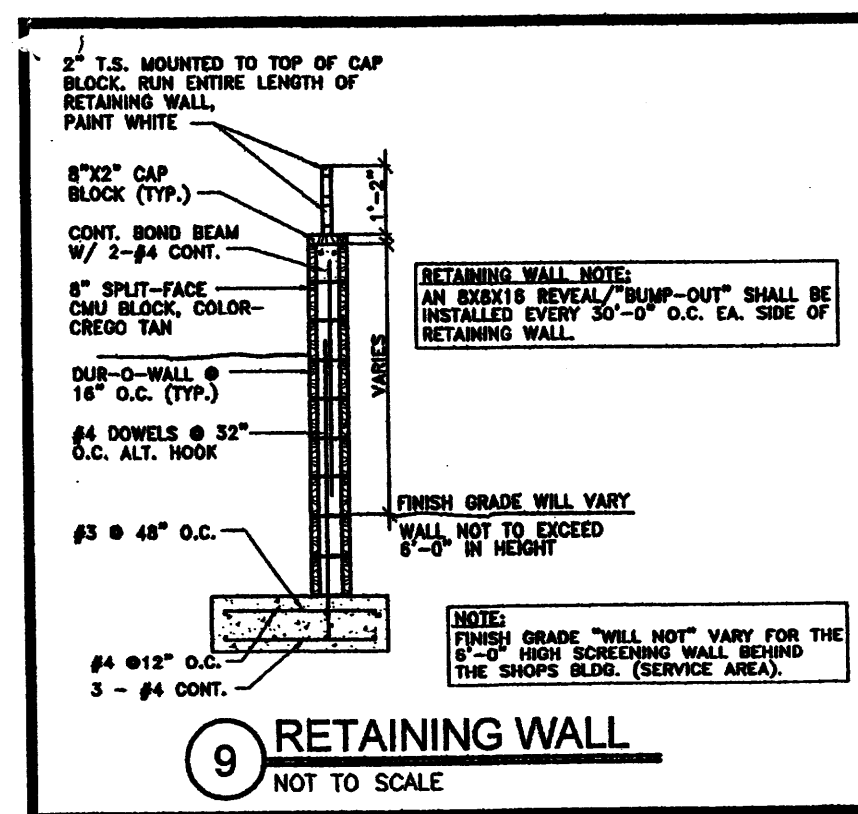
SHEET TITLE
SITE PLAN FOR BLDG. PERMIT

DATE: 060106
 SCALE: 1"=30'

SHEET NO. 0551
 JOB NO. A7Z, WRS
 DRAWN BY: ANTON DATTILO

of **A1.1**





PARKING NOTES:

TYPICAL STANDARD SPACES ARE: 9'-0" x 20'-0"

TYPICAL SMALL CAR SPACES ARE: 7'-6" x 15'-0"

TYPICAL HANDICAP SPACES ARE: 9'-0" x 20'-0"

* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

RADIUS:

① RADIUS = 2'-0"	⑥ RADIUS = 20'-0"
② RADIUS = 3'-0"	⑦ RADIUS = 25'-0"
③ RADIUS = 5'-0"	⑧ RADIUS = 30'-0"
④ RADIUS = 10'-0"	⑨ RADIUS = 50'-0"
⑤ RADIUS = 15'-0"	⑩ RADIUS = 65'-0"
⑪ RADIUS = 100'-0"	

SITE DATA:

PROPOSED USAGE: C-2 USE

LOT AREA: 160,469 SF (3.7 ACRES)

LANDSCAPE REQUIRED: 6.5%

LANDSCAPE PROVIDED:

BUILDING AREA:

JAI & JAZ/SHOPS BLDG. 39,000 SF. BUILDING

3000 SF / 250 SPACES REQUIRED = 156 SPACES

SPACES PROVIDED = 164 SPACES

JAI & JAZ OCCUPANT LOAD: 30,000/30 = 1000

SHOPS BUILDING OCCUPANT LOAD: 9,000/30 = 300

TOTAL ALLOWABLE AREA: 12,500SF

TOTAL STANDARD PARKING SPACES PROVIDED: 118 SPACES

TOTAL 15 PARKING SPACES PROVIDED: 8 SPACES

TOTAL ON-SITE PARKING SPACES PROVIDED: 38 SPACES

TOTAL PROVIDED: 164 SPACES

ONE SPACE REQUIRED: 8 SPACES

ONE SPACE PROVIDED: 10 SPACES

SITING SPACES REQUIRED: 17 SPACES

SITING SPACES PROVIDED: 20 SPACES

PROJECT NUMBER: 1004509

APPLICATION NUMBER: OS-DRB-01631

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [] and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES (X) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

11/22/05	Date
10/26/05	Date
10/26/05	Date
10/26/05	Date
11/29/05	Date
11/29/05	Date
11/29/05	Date
11/29/05	Date

* Environmental Health, if necessary

LEGEND

EXISTING PROPERTY LINE	PROPOSED CROSSWALK-RECESSED BRICK PAVERS
PROPOSED RETAINING WALL	PROPOSED FIRE HYDRANT
PROPOSED CURB	PROPOSED BIKE RACK
PROPOSED SIDEWALK	PROPOSED PARKING LOT LIGHTING
PROPOSED OUTDOOR SEATING (EA. SEATS 4)	PROPOSED LANDSCAPING
PROPOSED TRANSFORMER	FIRE DEPARTMENT CONNECTION
VEHICLE INGRESS/EGRESS	

CODE DATA

ADDRESS: NE CORNER OF MERCANTILE & CULTURE

ZONING: C2

OCCUPANCY: M

BUILDING TYPE: TYPE IIB

SEISMIC ZONE: 2B

ALLOWABLE AREA: 12,500 SF

OF STORIES: ONE

FIRE PROTECTION: JAI & JAZ: SPRINKLED (30,000 SF)
SHOPS BUILDING: SPRINKLED (9,000 SF)

CODE REFERENCES

BUILDING CODE: IBC "2003"

MECHANICAL CODE: UMC "2003"

PLUMBING CODE: UPC "2003"

ELECTRICAL CODE: NEC "2005"

ACCESSIBILITY CODE: ANSI "1998"

FIRE CODE: IFC "2003"

PRELIMINARY NOT FOR CONSTRUCTION

THE SPORTS COURT

NEC OF MERCANTILE & CULTURE

ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: ANTON DATILLO

DRAWN BY: WRS

JOB NO.: 0551

SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

DATE: 11.18.2005

SCALE: 1"=30'

AS1

HYDROLOGY SECTION