



City of Albuquerque

Planning Department

Development & Building Services Division

RAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

94021
Drainage
Cert of Occup.

Project Title: Dream Style City Drainage #: _____
DRB#: 1001118 13-DRB 70545 EPC#: _____ Work Order#: _____
Legal Description: TR 4A2 Correction Plat of TRACTS 41A1 & 4A2
City Address: 1460 Renaissance Blvd. NE

Engineering Firm: Tierra West, LLC Contact: Ronald R. Bohannon
Address: 5571 Midway Park Place NE Albuquerque, NM 87109
Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestll.com

Owner: Union Development Corporation Contact: Jim Trump
Address: 122 Tulane Dr. Albuquerque, NM 87106
Phone#: 505-321-6493 Fax#: 505-268-0449 E-mail: jim@buildingnewmexico.org

Architect: Rick Bennett Architects (RBA) Contact: David McEachern
Address: 1104 Park Ave SW Albuquerque, NM 87102
Phone#: 505-242-1859 Fax#: 505-242-6630 E-mail: david@rba81.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

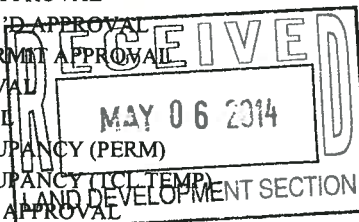
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD. APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

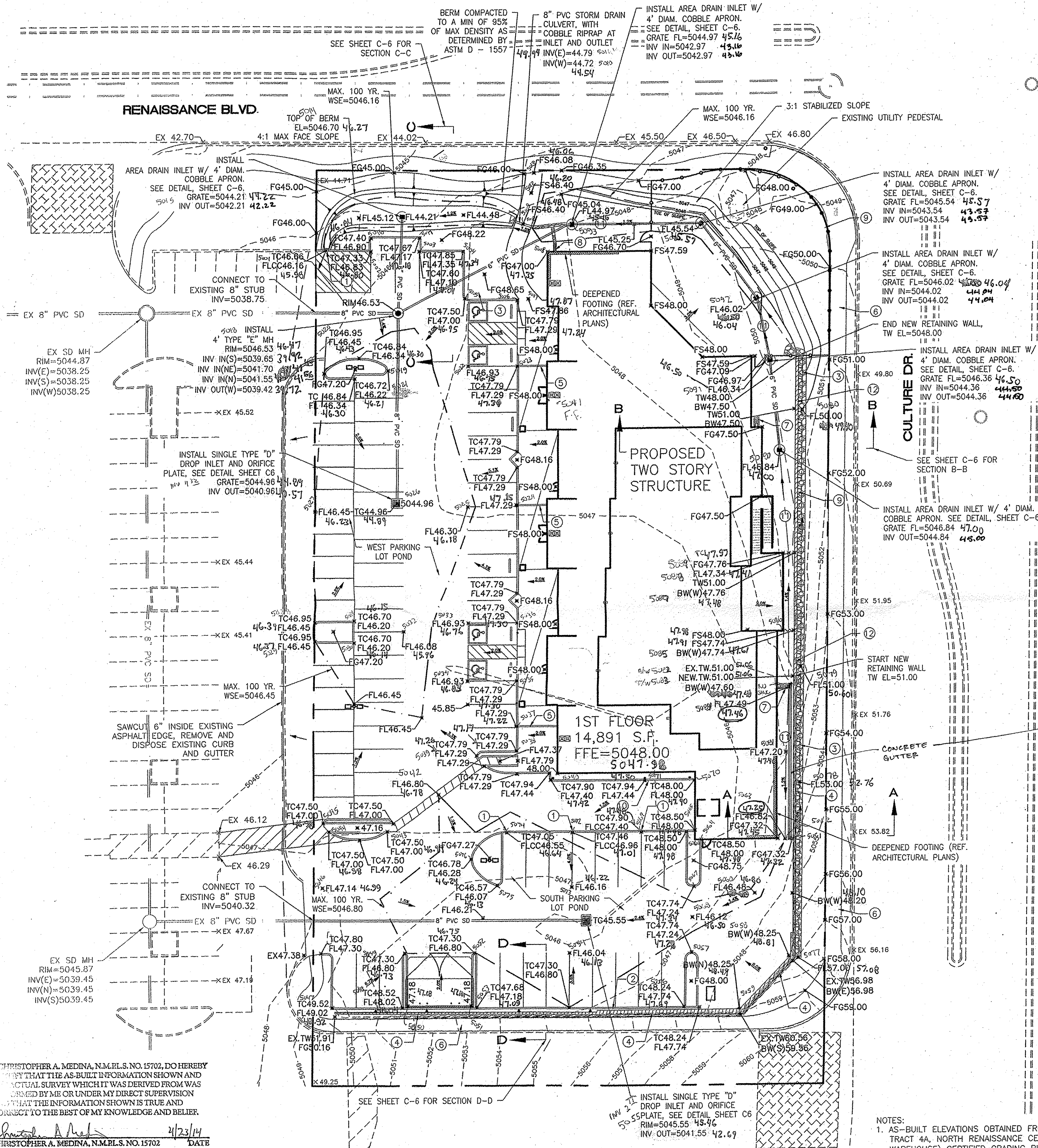


WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 04/24/2014 By: Paul Evans

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

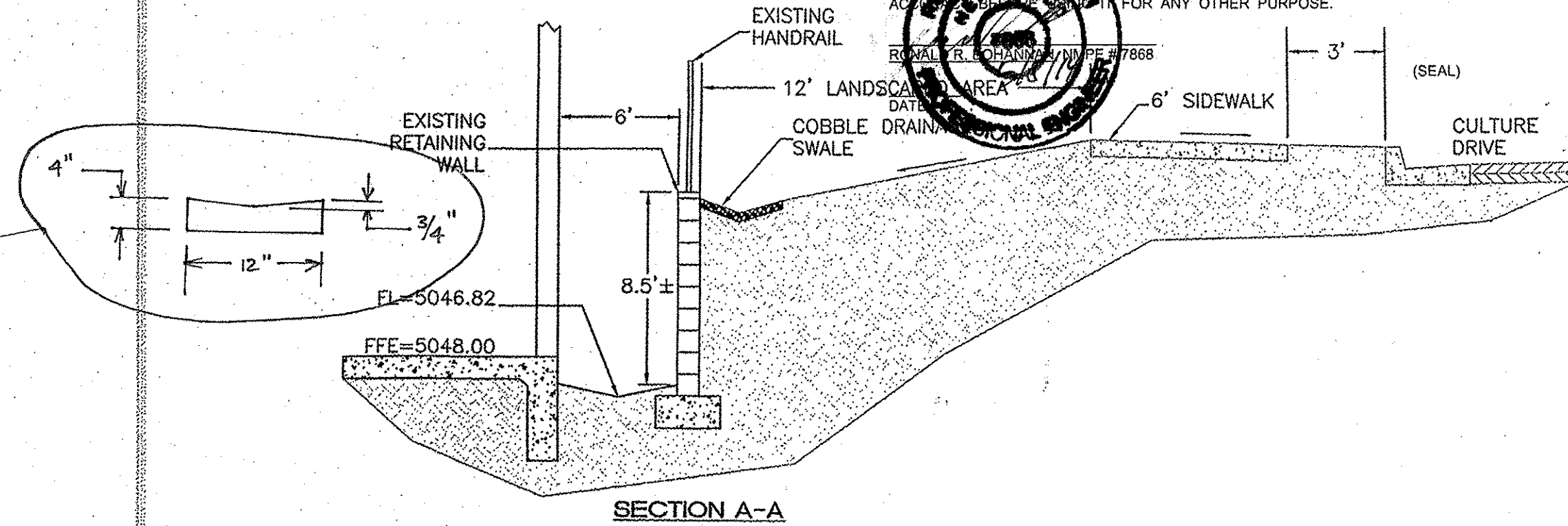
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



LEGEND

---	CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	BUILDING
---	SIDEWALK
---	SCREEN WALL
---	RETAINING WALL
5010	CONTOUR MAJOR
5011	CONTOUR MINOR
x 5048.25	SPOT ELEVATION
---	FLOW ARROW
---	EXISTING CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
x 5048.25	EXISTING SPOT ELEVATION
FL	FLOW LINE
TC	TOP OF CURB
FG/FS	FINISHED GRADE/FINISHED SURFACE
FLCC	FLOW LINE CURB CUT
BW	BOTTOM OF WALL
TW	TOP OF WALL

- 1' CURB CUT OPENING, SEE DETAIL, SHEET C-6.
- STABILIZED SLOPE, 25:1 MIN., 3:1 MAX.
- COBBLE DRAINAGE SWALE, SEE DETAIL, SHEET C-6.
- EXISTING RETAINING WALL WITH HANDRAIL (TO REMAIN).
- ROOF DRAIN DISCHARGE LINE SEE ARCHITECTURAL PLANS.
- EXISTING 6" SIDEWALK (TO REMAIN).
- 2'X4' CONCRETE SPLASH PAD FOR ROOF CANALE
- ROOF DRAIN DOWNSPOUT CONCRETE SPLASH PAD (TYP)
- NEW RETAINING WALL, REF. RETAINING WALL PLANS
- 6" CURB TO ZERO CURB TRANSITION (TYP)
- CONTINUOUS LANDSCAPE DRAINAGE SWALE AROUND EAST AND NORTH BUILDING AREA, MIN 18" WIDE, 2'-4" COBBLE
- NEW HANDRAIL OR FENCING ON TOP OF NEW RETAINING WALL, REF. ARCHITECTURAL PLANS



EXISTING CONDITIONS

The 1.4 acre site is roughly graded, vacant, and undeveloped, with little vegetation and bare ground. There is an existing retaining wall adjacent to a portion of the east property line and adjacent to the existing access drive at the south end of the site. The existing retaining wall has heights ranging from approximately 2 ft to 10 ft. A portion of the north end of the site drains directly to Renaissance Blvd with a majority of the site draining to the existing shallow pond at the southeast corner of the lot. Finally, a portion of the site which makes up half of the access drive off of Culture Drive drains into the main parking area of Sportsman's Warehouse which is then conveyed to parking lot graded inlets with orifice plates and ultimately to the existing 54" storm drain in Renaissance Boulevard which conveys storm water to the Renaissance Detention Pond (west of Bob Turner Ford).

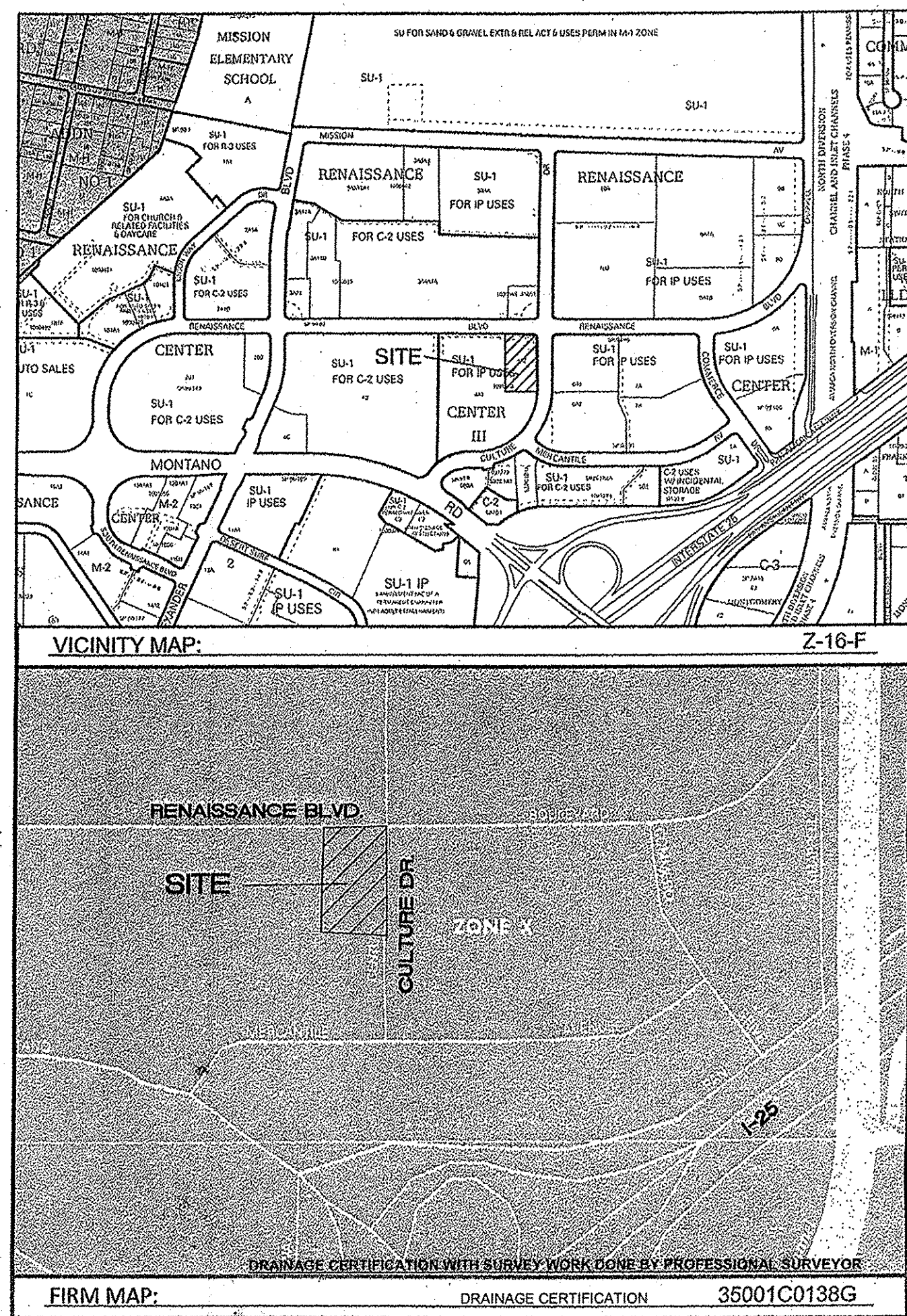
PROPOSED CONDITIONS

A two-story building with associated parking is proposed for this tract. Proposed grading will adhere to the overall design for the site within the original drainage report for Sportsman's Warehouse and direct surface flows to onsite graded inlets with restricted discharge via orifice plates. New landscaping will be installed in the parking lot islands and around the building. A hydrology map and calculations for the proposed condition is included in Appendix A of the complete report. The existing retaining wall will remain with an extension to the north end of the site per the plans.

The buildings' finish floor elevation was set at 5048.0 (NAVD 88) which exceeds the height of the adjacent 100-year water elevation of the proposed parking lot ponds for the West Parking Lot Pond (Emergency Overflow = 5046.45) and South Parking Lot Pond (Emergency Overflow = 5046.80) and is also above the maximum water surface elevation for any of the onsite ponds for Sportsman's Warehouse (Pond 5 WSE = 5046.17). (Note: Elevations for the 2003 drainage report have been adjusted for the datum difference of +2.67 ft.)

An additional private area drain system to collect drainage around the building foundations and to collect nuisance drainage from landscape areas around the building is incorporated into the plans. Grading design will allow for positive overflow around the building such that the building would not be flooded in the event all area inlets were clogged.

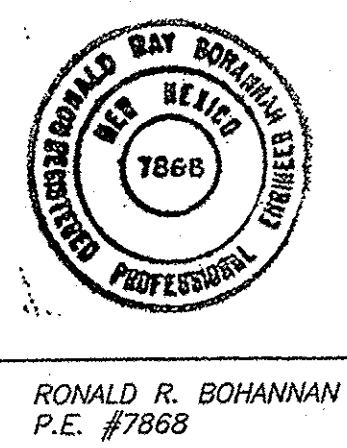
The allowable discharge for the subject site is 0.144 cfs based on the discharge allowance of 0.1 cfs/ac in the Master Drainage Plan for the Renaissance Center. As designed, this drainage management plan will restrict the 100 yr, 6 hr flow to 0.143 cfs by implementing orifice plates at the graded inlet outlet pipes. (For further details regarding the drainage management plan, refer to the Revised Drainage Management Plan for Sportsman's Warehouse, June 2013, as well as the full drainage report for Dreamstyle by Tierra West, LLC).



I, RONALD R. BOHANNAN, N.M.P.S. # 7868, OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/26/13. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A. MEDINA, N.M.P.S. # 15702, OF THE FIRM. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/17/14 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR "DRAINAGE CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY".

EXCEPTIONS: NONE TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFICATION OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY FOR ANY OTHER PURPOSE.



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www.tierrawestllc.com

dreamstyle
Exceptional Home Products & Expert Installation

DreamStyle
GRADING PLAN
ALBUQUERQUE, NM
PROJECT #1817

REVISION DATE

10-25-2013

DATE

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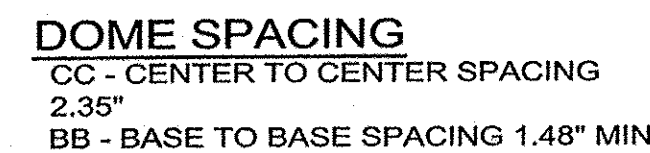
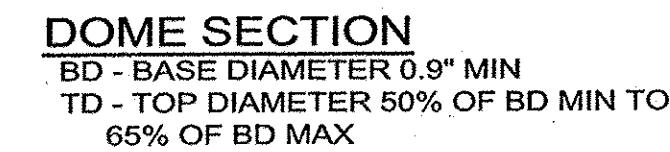
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DATE

10-25-2013



(SEAL



TYP. ORIFICE PLATE DETAIL
NTS

MOTORCYCLE PARKING SIGN
NTS

