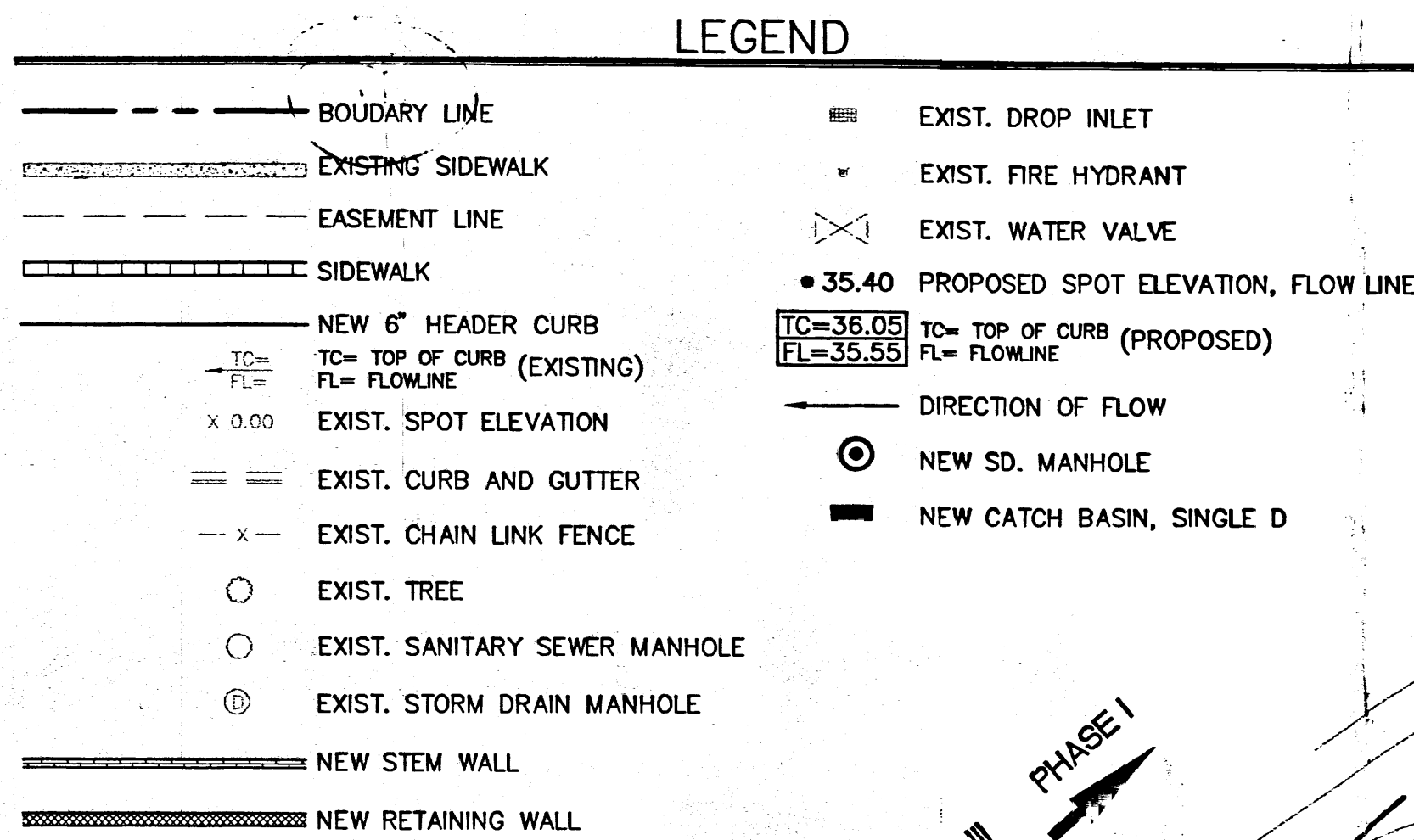




BENCHMARK
ACS MONUMENT
"2-F16"
ELEVATION= 5062.02

TEMPORARY BENCHMARK
SQUARE CUT ON THE TOP OF CURB
AT SOUTH, SOUTHWEST RETURN OF
ALEXANDER AND RENAISSANCE.
ELEVATION= 5026.97

TRACT 2A-1
RENAISSANCE CENTER
PROJECTED SECTION 34
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
WITHIN THE
ELENA GALLEGOS GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 1995

FOR MEAN SEA LEVEL ELEVATION ADD 5100 TO ALL SPOT ELEVATIONS.

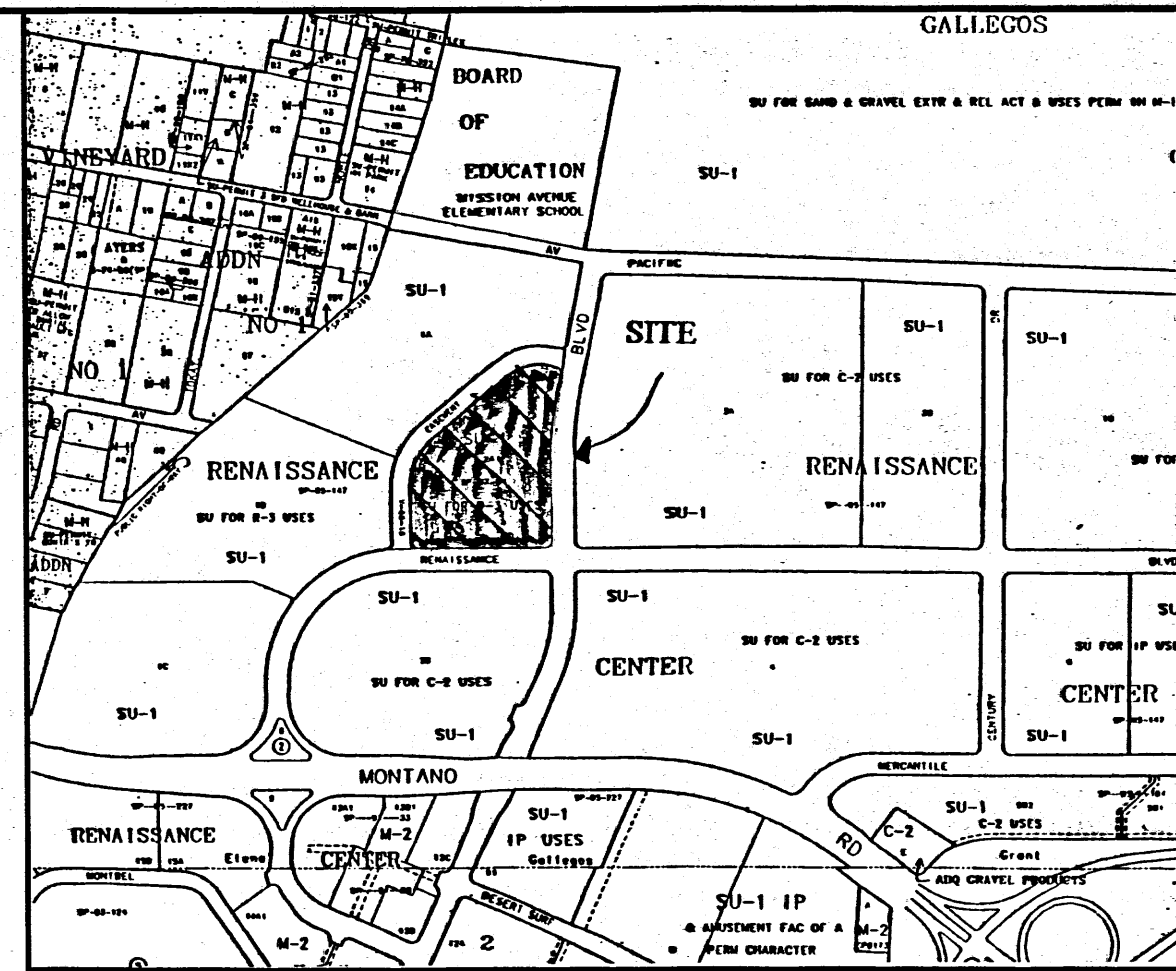
EROSION CONTROL PLAN NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE RUN-OFF ON SITE DURING CONSTRUCTION.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

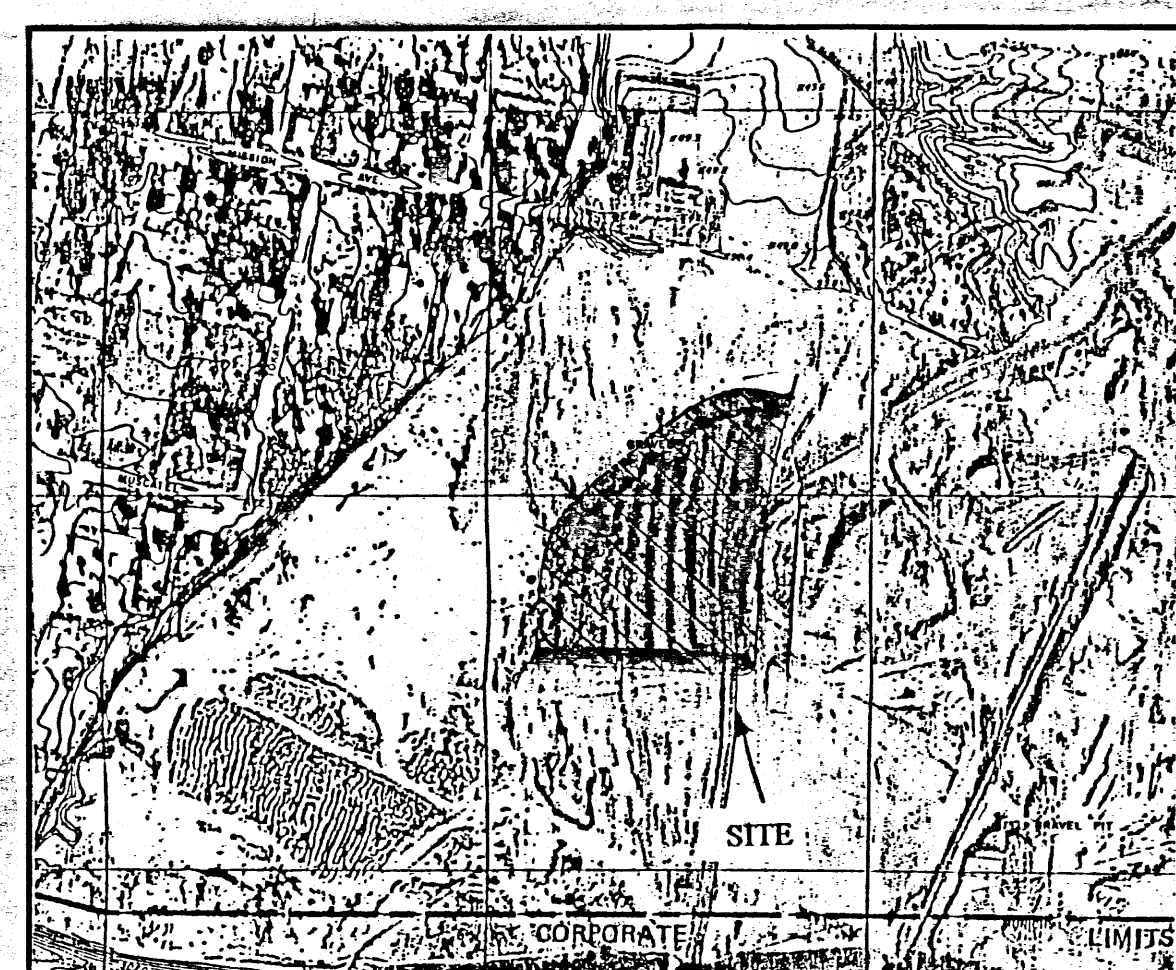
GENERAL NOTES:

THE FOLLOWING LIST DESCRIBES THE EXISTING EASEMENTS:

- 1 68' PUBLIC UTILITY EASEMENT, PRIVATE DRAINAGE EASEMENT AND PRIVATE ACCESS EASEMENT
- 2 10' P.N.M. AND MOUNTAIN BELL EASEMENT
- 3 RADIAL SIGNAGE SETBACK
- 4 20' LANDSCAPE SETBACK
- 5 30' LANDSCAPE EASEMENT



VICINITY MAP ZONE ATLAS PAGE NO. F-16-Z



FEMA MAP PANEL NO. 350002 0016 C

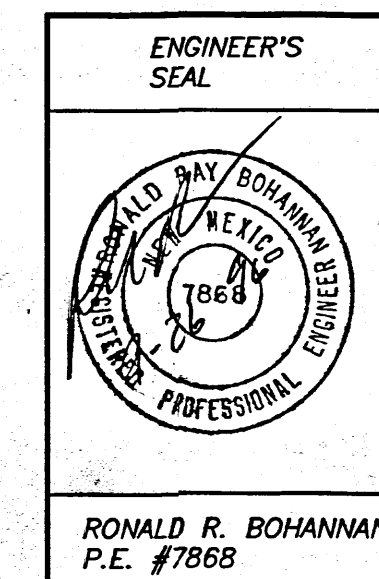
ROUGH GRADING APPROVAL

DATE

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 280-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS	NAME	DATE
HYDROLOGY	<i>[Signature]</i>	1-6-97
INSPECTOR		
A.C.E./FIELD		



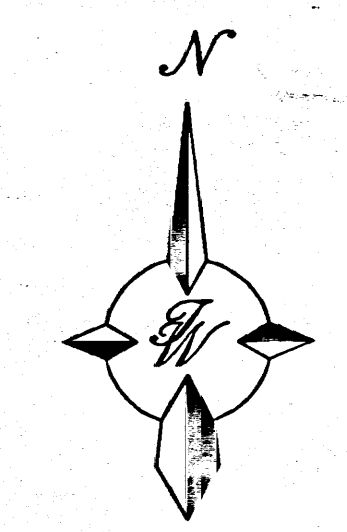
IBEW OFFICE BUILD.
& RETAIL SPACE
GRADING AND
DRAINAGE PLAN

TIERRA WEST DEVELOPMENT
MANAGEMENT SERVICES
4421 McLEOD ROAD, N.E., SUITE D
ALBUQUERQUE, NEW MEXICO 87109
(505)883-7592

DRAWN BY PVG
DATE 05-24-96
9623GR.DWG
SHEET #
JOB # 960023

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	56.31'	06°27'50"	499.13'	28.18'	S86°57'04"W	56.28'
C2	36.45'	83°32'10"	25.00'	22.33'	N41°57'04"E	33.31'
C3	266.14'	48°33'49"	314.00'	141.66'	N24°27'54"E	258.25'
C4	212.46'	52°01'16"	234.00'	114.18'	N74°45'26"E	205.24'
C5	39.27'	90°00'00"	25.00'	25.00'	N55°46'04"E	35.36'
C6	229.63'	10°35'05"	1243.00'	115.14'	S05°28'32"W	229.30'
C7	47.12'	90°00'00"	30.00'	30.00'	S45°10'59"W	42.43'

LINE	DIRECTION	DISTANCE
L1	S79°13'56"E	32.00'



GRAPHIC SCALE

SCALE: 1"=40'

A Minor revisions to ramp slopes

40/960023/9623GR.DWG/SCM/12-06-96

LEGEND

- BOUNDARY LINE
- EXISTING SIDEWALK
- EASEMENT LINE
- SIDEWALK
- NEW 6" HEADER CURB
- TC= TOP OF CURB (EXISTING)
- FL= FLOWLINE
- X 0.00 EXIST. SPOT ELEVATION
- EXIST. CURB AND GUTTER
- EXIST. CHAIN LINK FENCE
- EXIST. TREE
- EXIST. SANITARY SEWER MANHOLE
- EXIST. STORM DRAIN MANHOLE
- NEW STEM WALL
- NEW RETAINING WALL
- EXIST. DROP INLET
- EXIST. FIRE HYDRANT
- EXIST. WATER VALVE
- 35.40 PROPOSED SPOT ELEVATION, FLOW LINE
- TC= TOP OF CURB (PROPOSED)
- FL= FLOWLINE
- DIRECTION OF FLOW
- NEW SD. MANHOLE
- NEW CATCH BASIN, SINGLE D

BENCHMARK
ACS MONUMENT
"2-F15"
ELEVATION= 5062.02

TEMPORARY BENCHMARK
SQUARE CUT ON THE TOP OF CURB
AT SOUTH, SOUTHWEST RETURN OF
ALEXANDER AND RENAISSANCE.
ELEVATION= 5028.97

TRACT 2A-1 RENAISSANCE CENTER PROJECTED SECTION 34 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM WITHIN THE ELENA GALLEGOS GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JANUARY, 1995

FOR MEAN SEA LEVEL ELEVATION ADD 5000 TO ALL SPOT ELEVATIONS.

EROSION CONTROL PLAN NOTES

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VICINITY MAP

ZONE ATLAS PAGE NO. F-16-Z



FEMA MAP

PANEL NO. 350002 0016 C

ROUGH GRADING APPROVAL

DATE

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APPROVALS	NAME	DATE
HYDROLOGY		
INSPECTOR		
A.C.E./FIELD		

ENGINEER'S SEAL	IBEW OFFICE BUILD. & RETAIL SPACE	DRAWN BY MAJ
	GRADING AND DRAINAGE PLAN	DATE 3-13-97
	TERRA WEST DEVELOPMENT MANAGEMENT SERVICES	9623GR.DWG
	4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	SHEET #
RONALD R. BOHANNAN P.E. #7868		JOB # 960023

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	56.31'	06°27'50"	499.13'	28.18'	S86°57'04"W	56.28'
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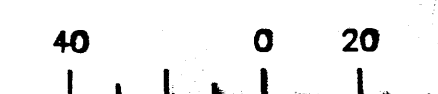
SPILLWAY DETAIL

NTS

STOP SIGN
I certify that the grades shown on the plans have been built in accordance with approved grading and drainage plan dated 3/13/97. Survey information was supplied by CH2M HILL, P.C. in accordance with normal surveying practices.

Ronald R. Bohannan, P.E. #7868 3/13/97

GRAPHIC SCALE



SCALE: 1"=40'

40/960023/9623GR.DWG/MAJ/3-14-97