

CITY OF ALBUQUERQUE



December 30, 2019

Dekker/Perich/Sabatini
Benjamin H. Gardner, R.A.
7601 Jefferson Ave NW
Albuquerque, NM 87109

Re: FFCU Office Building
4910 Union Way Dr. NE, 87107
Traffic Circulation Layout
Engineer's/Architect's Stamp 11-8-19 (F16D015A)

Dear Mr. Gardner,

The TCL submittal received 12-19-2019 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

1. Prior to release of Final CO please provide sidewalk easement.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

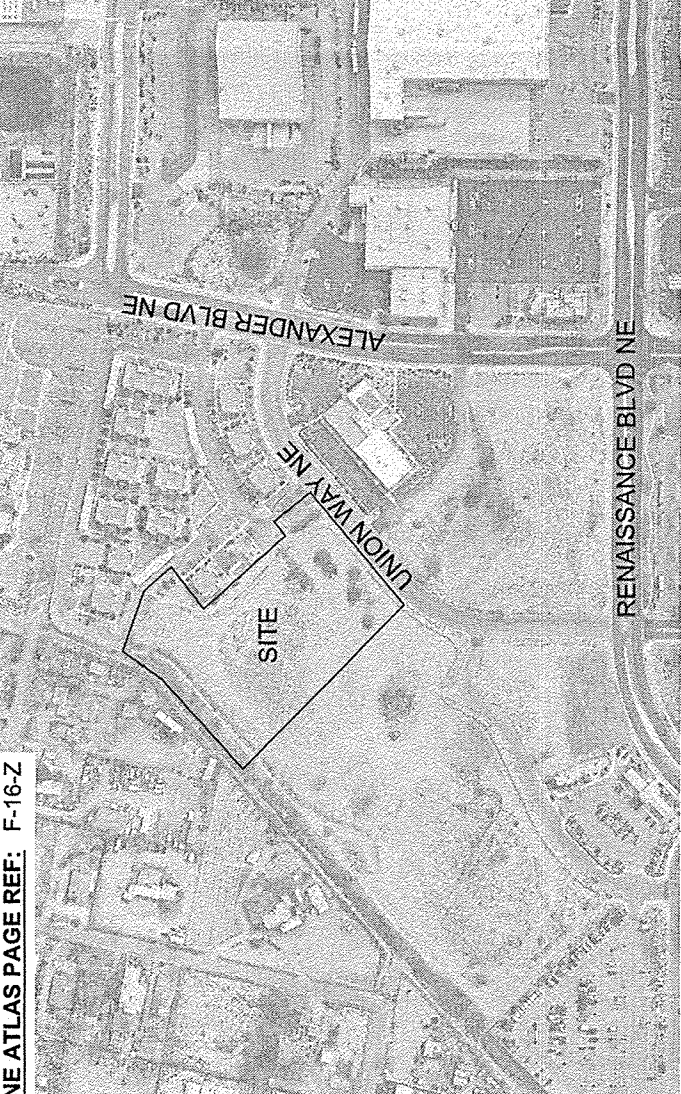
GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
B. SITE PLAN SHALL COMPLY WITH LOCAL ACCESSIBILITY STANDARDS & GUIDELINES. (ADA, 2010) AND THE CITY OF ALBUQUERQUE STANDARDS.
C. ALL PAVING SHALL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
D. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE STANDARDS.
E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
F. SLOPES SHALL NOT EXCEED 10% IN GRADE FOR ANY FIRE ACCESS ROADS.
G. SLOPES SHALL NOT EXCEED 10% IN GRADE FOR ANY FIRE ACCESS ROADS.
H. WATER IS DIVERTED AWAY FROM BUILDING WALLS AND FOUNDATIONS BY DRAINAGE SYSTEMS.
I. BUILDING HAS HIGHLY VISIBLE SIGNAGE WITH CONTRASTING COLORS LIT FROM DUSK TILL DAWN AS WELL AS DAYLIGHT HOURS.
J. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE.
K. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
L. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE.
M. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
N. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
O. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
P. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
Q. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
R. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
S. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
T. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
U. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
V. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
W. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
X. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
Y. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.
Z. SEE CIVIL AND CULP001 FOR CURB OPENING FOR WATER HARVESTING AREAS.

SHEET KEYED NOTES

1. EXISTING CURB TO REMAIN
2. EXISTING FIRE HYDRANT TO REMAIN
3. EXISTING ASPHALT PAVEMENT TO REMAIN
4. EXISTING ASPHALT DRIVE TO REMAIN UNDISTURBED DURING CONSTRUCTION
5. CLEAR SIGHT TRIANGLE
6. AUTOMATIC TELLER MACHINE, SEE ARCHITECTURAL STRUCTURE
7. ROOF DRAIN, SEE ARCHITECTURAL AND PLUMBING
8. CONCRETE SIDEWALK, SEE A2/AS01
9. CONCRETE SIDEWALK, SEE A2/AS01
10. CONCRETE SIDEWALK, SEE A2/AS01
11. CONCRETE SIDEWALK, SEE A2/AS01
12. CONCRETE SIDEWALK, SEE A2/AS01
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23. CONCRETE SIDEWALK, SEE A2/AS01
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33. CONCRETE SIDEWALK, SEE A2/AS01
34. CONCRETE SIDEWALK, SEE A2/AS01
35. CONCRETE SIDEWALK, SEE A2/AS01

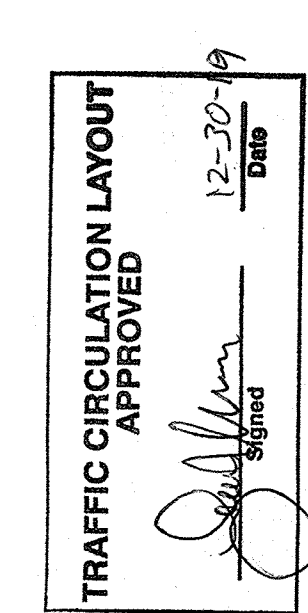
VICINITY MAP



NOT TO SCALE

BICYCLE RACK

1/2" = 1'-0"



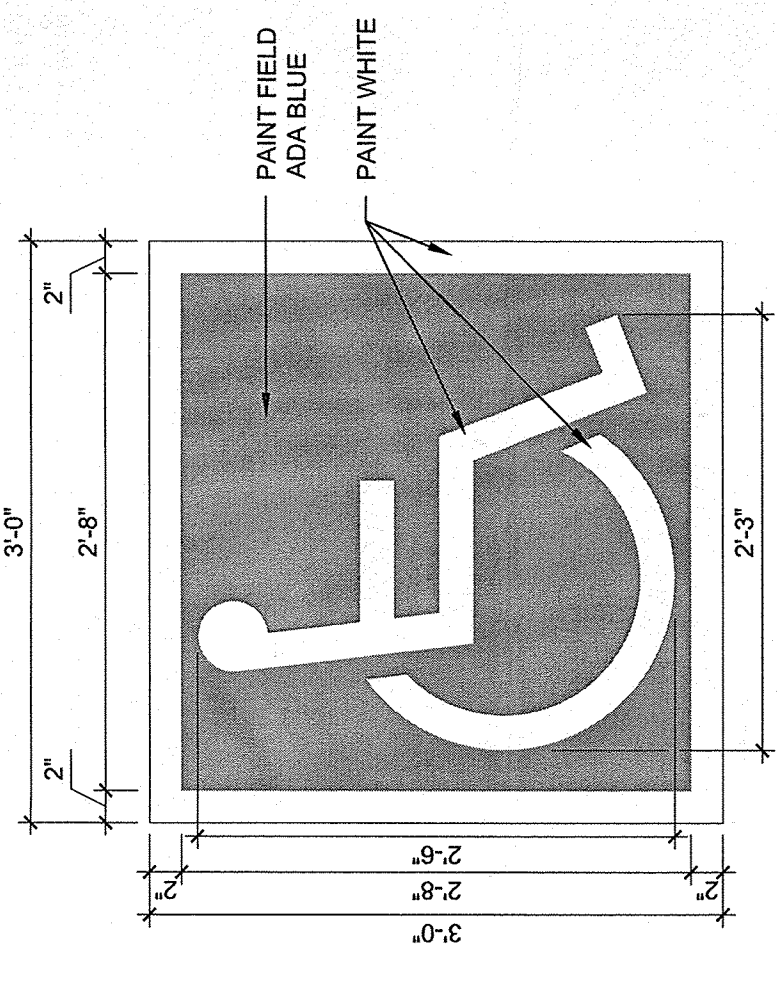
RENAISSANCE CENTER
(12/19/1997, 97C-3065)

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

DETECTABLE WARNING SURFACE

D5

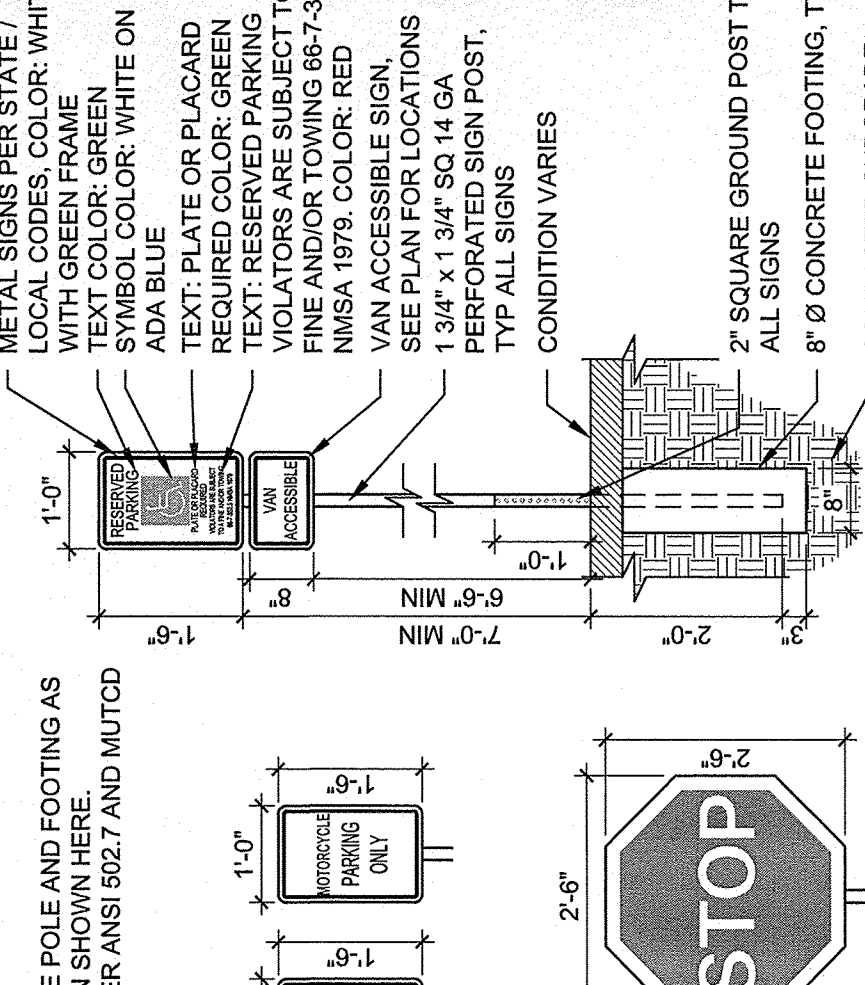
1" = 1'-0"



ACCESSIBLE PAVEMENT MARKING

C5

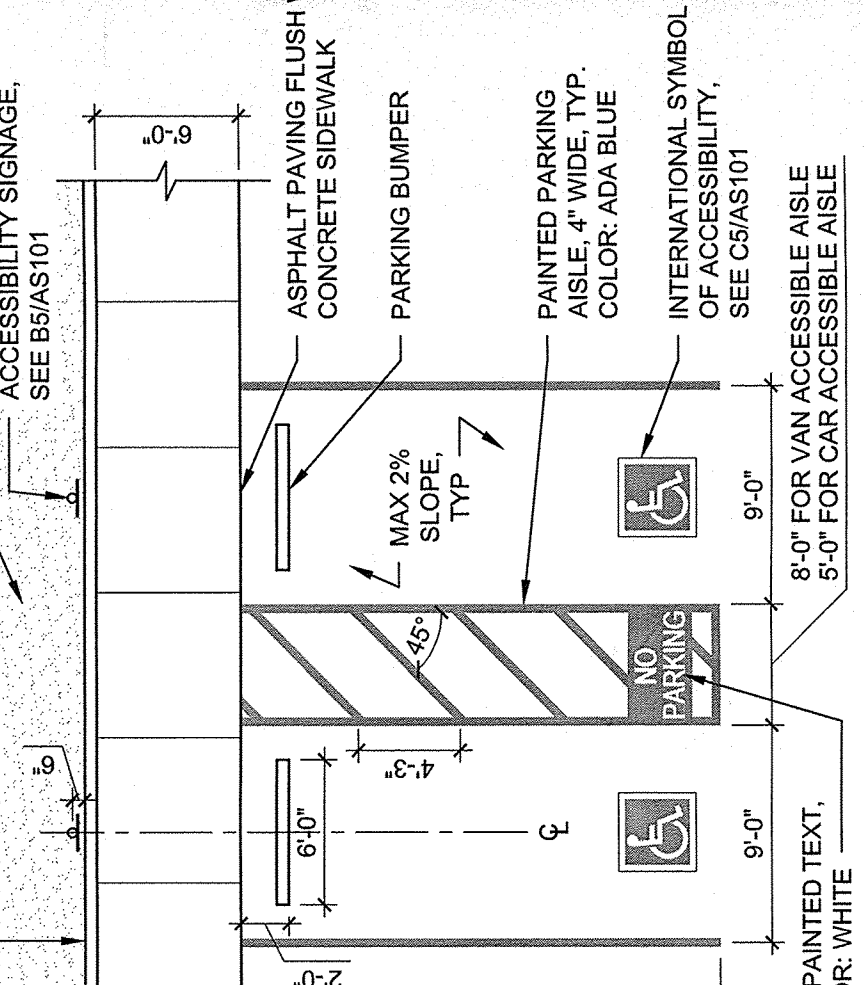
1" = 1'-0"



TRAFFIC SIGNAGE

B5

1/2" = 1'-0"



ACCESSIBLE PARKING

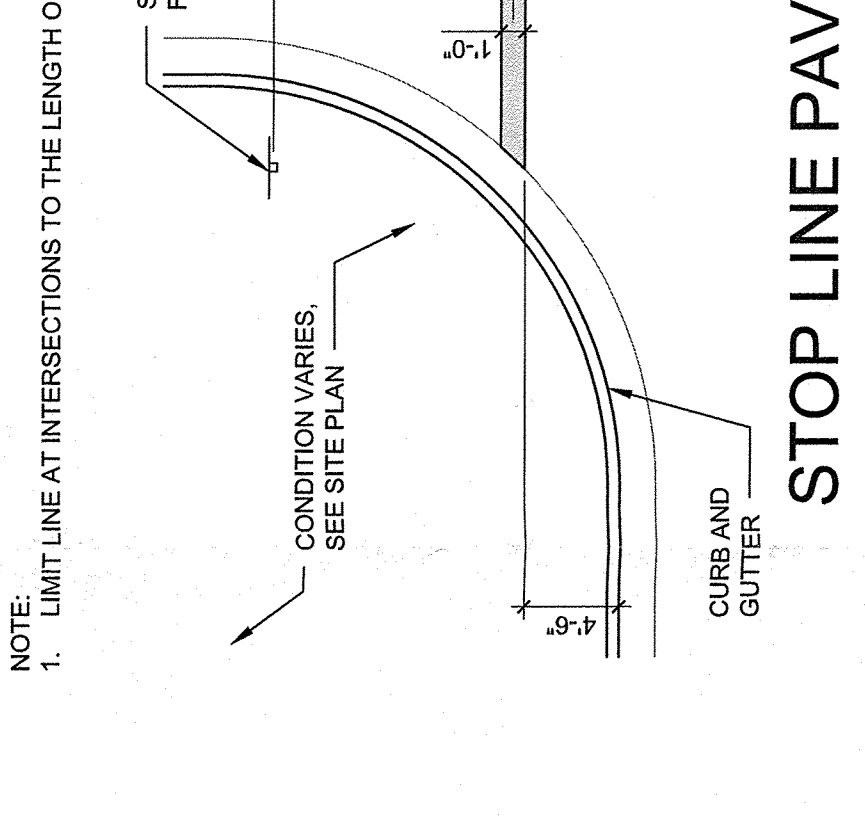
A5

1/8" = 1'-0"

DIRECTIONAL PAVEMENT ARROW

B4

3/8" = 1'-0"



STOP LINE PAVEMENT STRIPING

A4

1/8" = 1'-0"

ACCESSIBLE RAMP - C

A3

1/4" = 1'-0"

ACCESSIBLE RAMP - B

A2

1/4" = 1'-0"

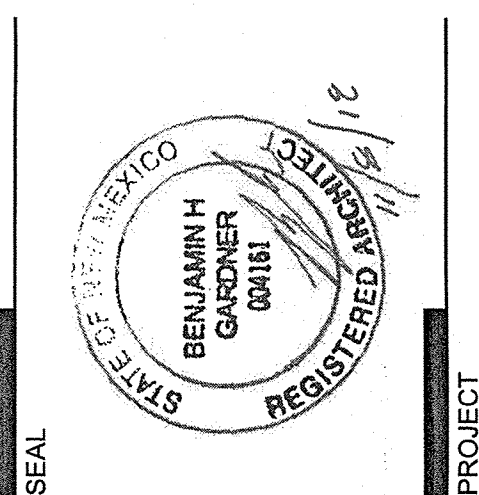
ACCESSIBLE RAMP - A

A1

1/4" = 1'-0"

FFCU OFFICE BUILDING DESIGN BUILD

UNION WAY ROAD NE
ALBUQUERQUE, NM 87107



PERMIT SET

REVISIONS

1	AS101	11.15.2019	19.0029.001
2	AS101	11.15.2019	19.0029.001
3	AS101	11.15.2019	19.0029.001
4	AS101	11.15.2019	19.0029.001
5	AS101	11.15.2019	19.0029.001
6	AS101	11.15.2019	19.0029.001
7	AS101	11.15.2019	19.0029.001
8	AS101	11.15.2019	19.0029.001
9	AS101	11.15.2019	19.0029.001
10	AS101	11.15.2019	19.0029.001
11	AS101	11.15.2019	19.0029.001
12	AS101	11.15.2019	19.0029.001
13	AS101	11.15.2019	19.0029.001
14	AS101	11.15.2019	19.0029.001
15	AS101	11.15.2019	19.0029.001
16	AS101	11.15.2019	19.0029.001
17	AS101	11.15.2019	19.0029.001
18	AS101	11.15.2019	19.0029.001
19	AS101	11.15.2019	19.0029.001
20	AS101	11.15.2019	19.0029.001
21	AS101	11.15.2019	19.0029.001
22	AS101	11.15.2019	19.0029.001
23	AS101	11.15.2019	19.0029.001
24	AS101	11.15.2019	19.0029.001
25	AS101	11.15.2019	19.0029.001
26	AS101	11.15.2019	19.0029.001
27	AS101	11.15.2019	19.0029.001
28	AS101	11.15.2019	19.0029.001
29	AS101	11.15.2019	19.0029.001
30	AS101	11.15.2019	19.0029.001
31	AS101	11.15.2019	19.0029.001
32	AS101	11.15.2019	19.0029.001
33	AS101	11.15.2019	19.0029.001
34	AS101	11.15.2019	19.0029.001
35	AS101	11.15.2019	19.0029.001

HATCH LEGEND

REINFORCED CONCRETE, SEE CIVIL	LANDSCAPE AREA, SEE LANDSCAPE SHEETS
HEAVY DUTY ASPHALT, SEE CIVIL	INTEGRAL COLORED CONCRETE, SEE CIVIL
DAVIS COLORS, SEE CIVIL	DAVIS COLORS, SEE CIVIL
HP RAP, SEE CIVIL	STAMPED TEXTURED ASPHALT, DECO COAT SYSTEMS
STABILIZED CRUSHER FINES DEFINED BY STEEL EDGE, COLOR ASHRETO BROWN, SEE CIVIL	

AS101
OF

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: First Financial Credit Union DATE OF REQUEST: 12 / 27 / 2019 ZONE ATLAS PAGE(S): F-16-Z

CURRENT:

ZONING MX-M
PARCEL SIZE (AC/SQ. FT.) 4.95 AC

LEGAL DESCRIPTION:

LOT OR TRACT # 1A-2-A-3 BLOCK # _____
SUBDIVISION NAME RENAISSANCE CENTER

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT ☒ ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION ☒
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: _____
BUILDING SIZE: 40,365 (sq. ft.)
2918sf Bank + 37,447sf Office

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature]

DATE 12/27/19

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO ☒ BORDERLINE []

THRESHOLDS MET? YES [] NO ☒ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

12-27-19
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER

DATE

Revised January 20, 2011