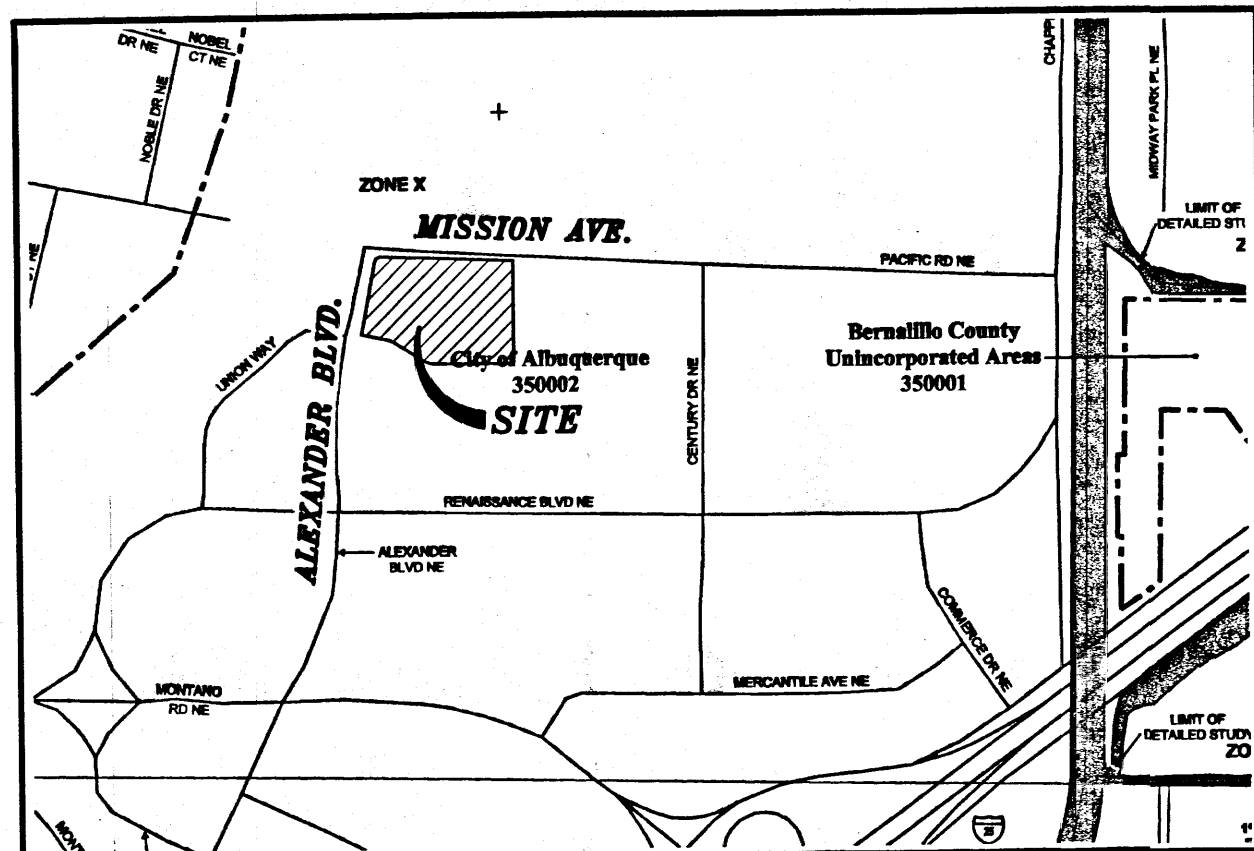




FIRM MAP: 35001C0138E

GENERAL NOTES:

1. ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.

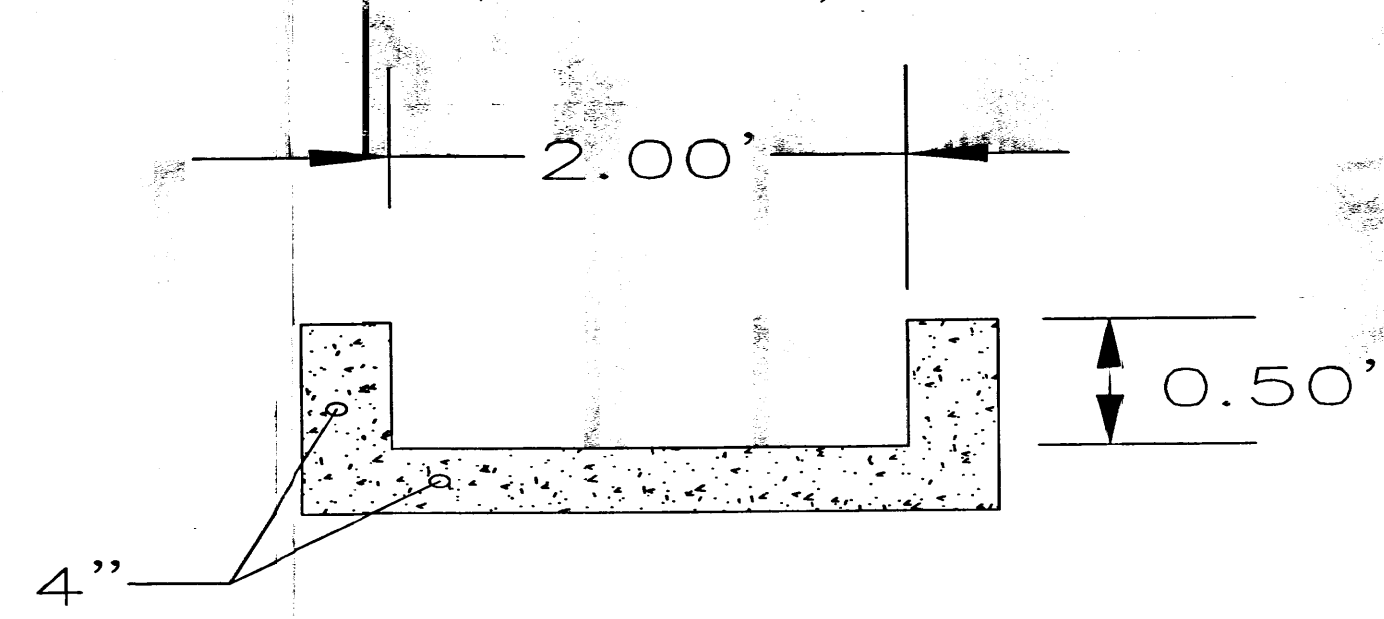
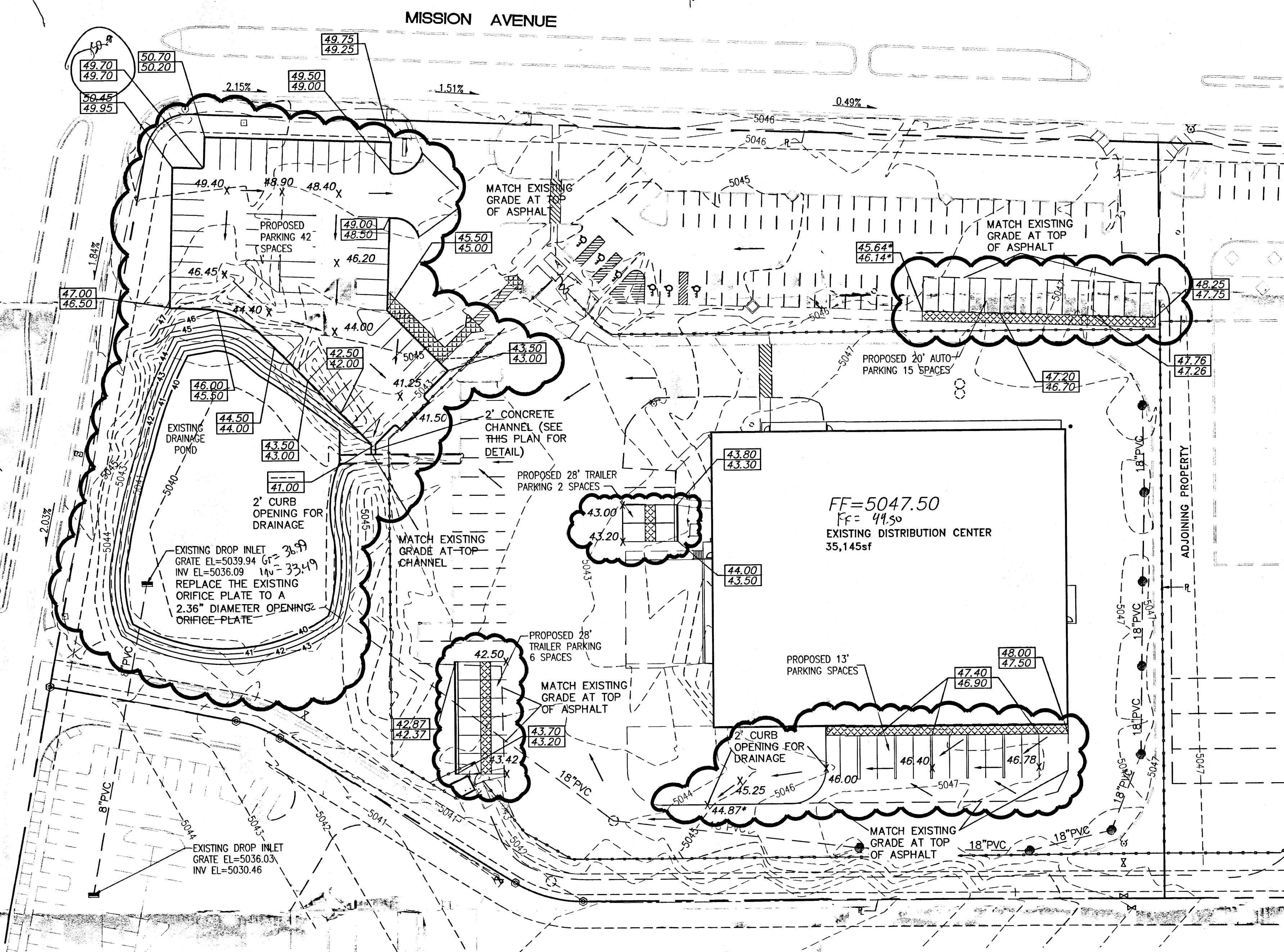
EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RIO RANCHO INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

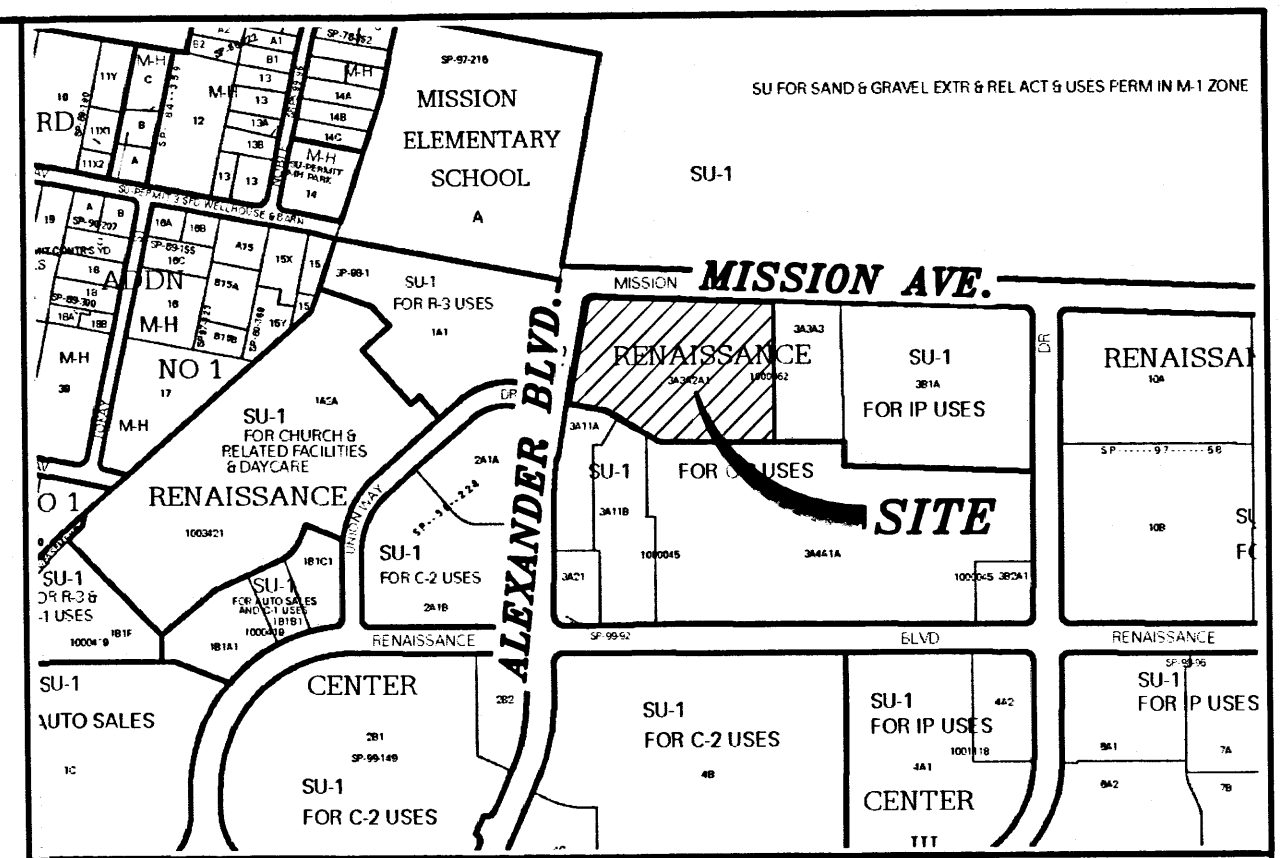
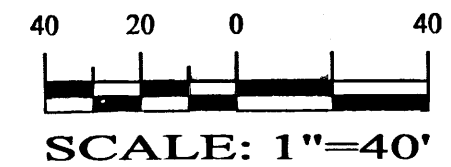
ALEXANDER BOULEVARD
(86'-0" ROW)



CHANNEL SECTION
NTS

ROUGH GRADING APPROVAL DATE

GRAPHIC SCALE



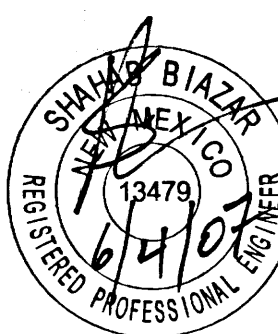
VICINITY MAP: F-16-Z

LEGAL DESCRIPTION:

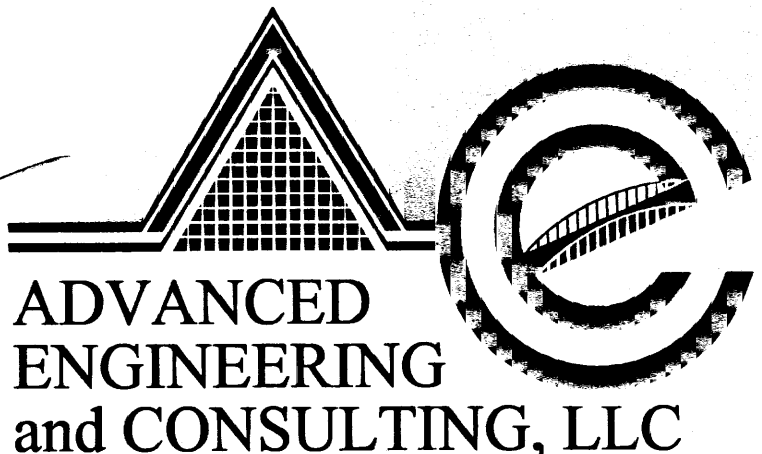
TRACT 3A-3-A-1 AND TRACT 3A-3-A-2 OF THE NORTH RENAISSANCE CENTER.

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX. 8" SAS
- EXISTING SANITARY SEWER LINE
- EX. 16" WL
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- EXISTING POND
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- 100-YEAR WSEL (FROM HEC-RAS OUTPUT)
- EXISTING FENCE
- FLOODPLAIN LIMITS FROM FEMA MAP
- EXISTING GARDEN WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- PROPOSED BUILDING ADDITION
- TRW=38.00
TF=32.00
- TOP OF RETAINING WALL
- TOP OF FOOTING
- TSW=34.00
TF=32.00
- TOP OF EXTENDED STEM WALL
- TOP OF FOOTING
- EXISTING DROP INLET
- EXISTING STREET LIGHT
- EXISTING ANCHOR
- EXISTING POWER POLE
- SINGE "A" INLET
- DOUBLE "A" INLET



SHAHAB BIAZAR
P.E. #13479

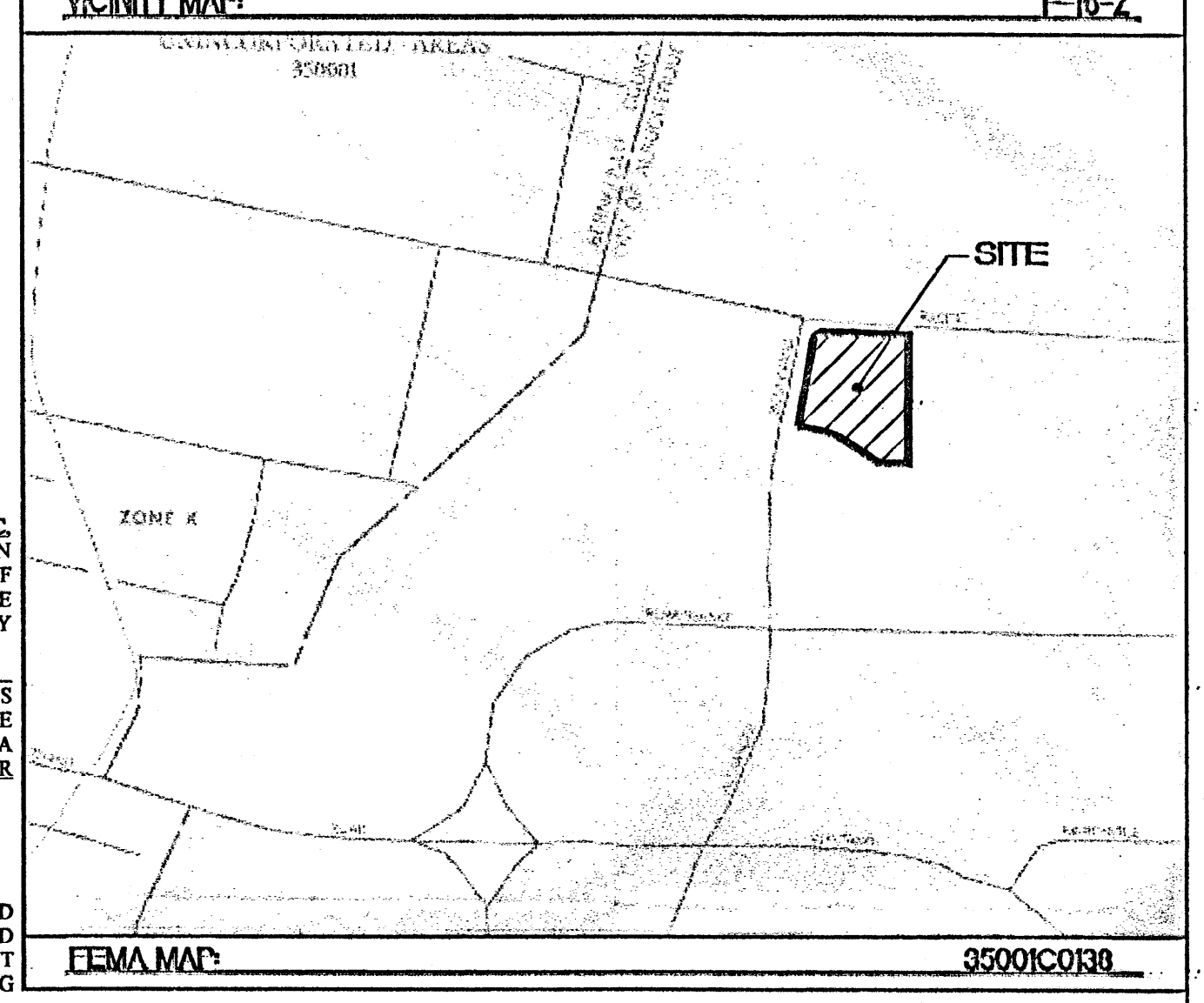
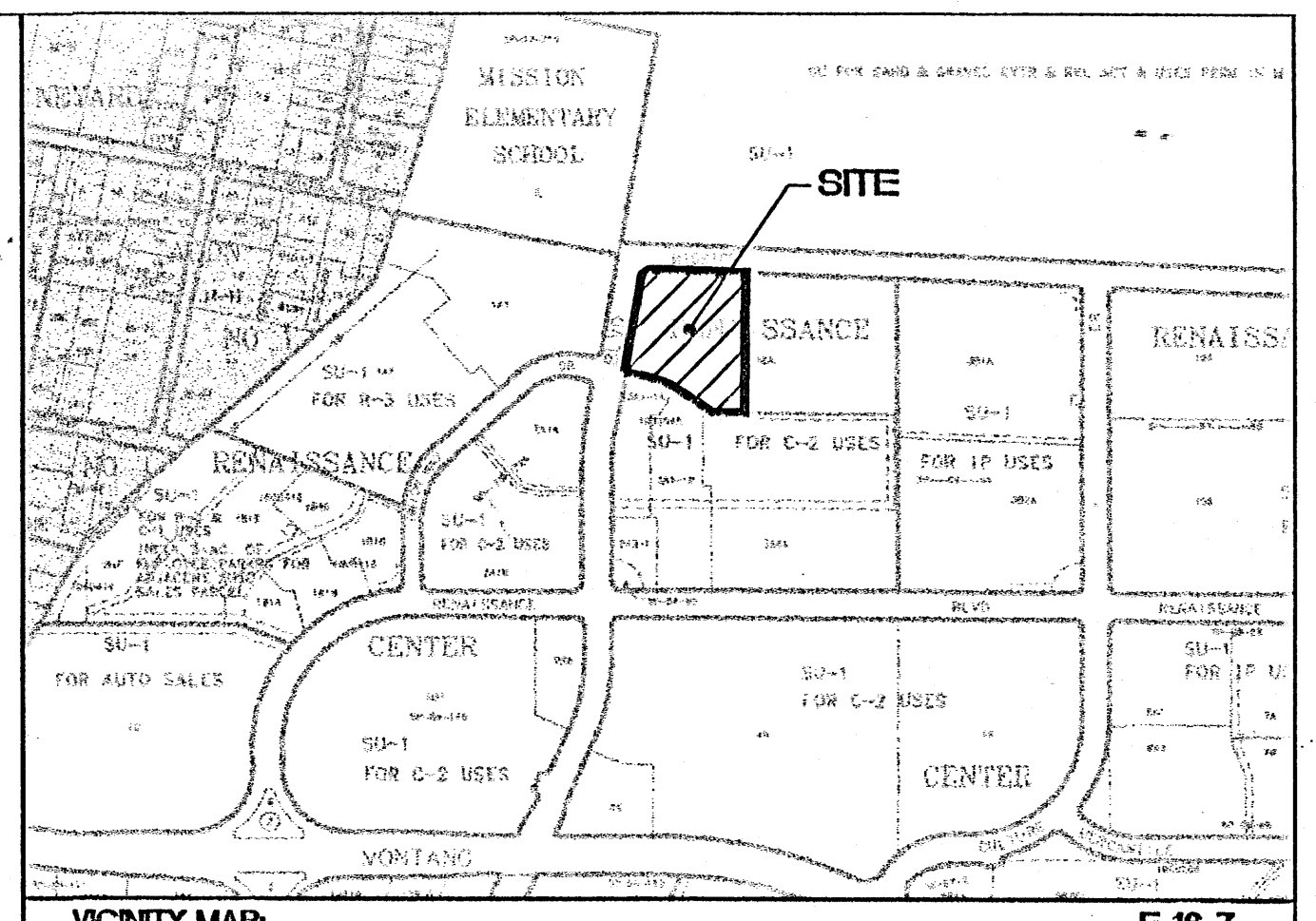
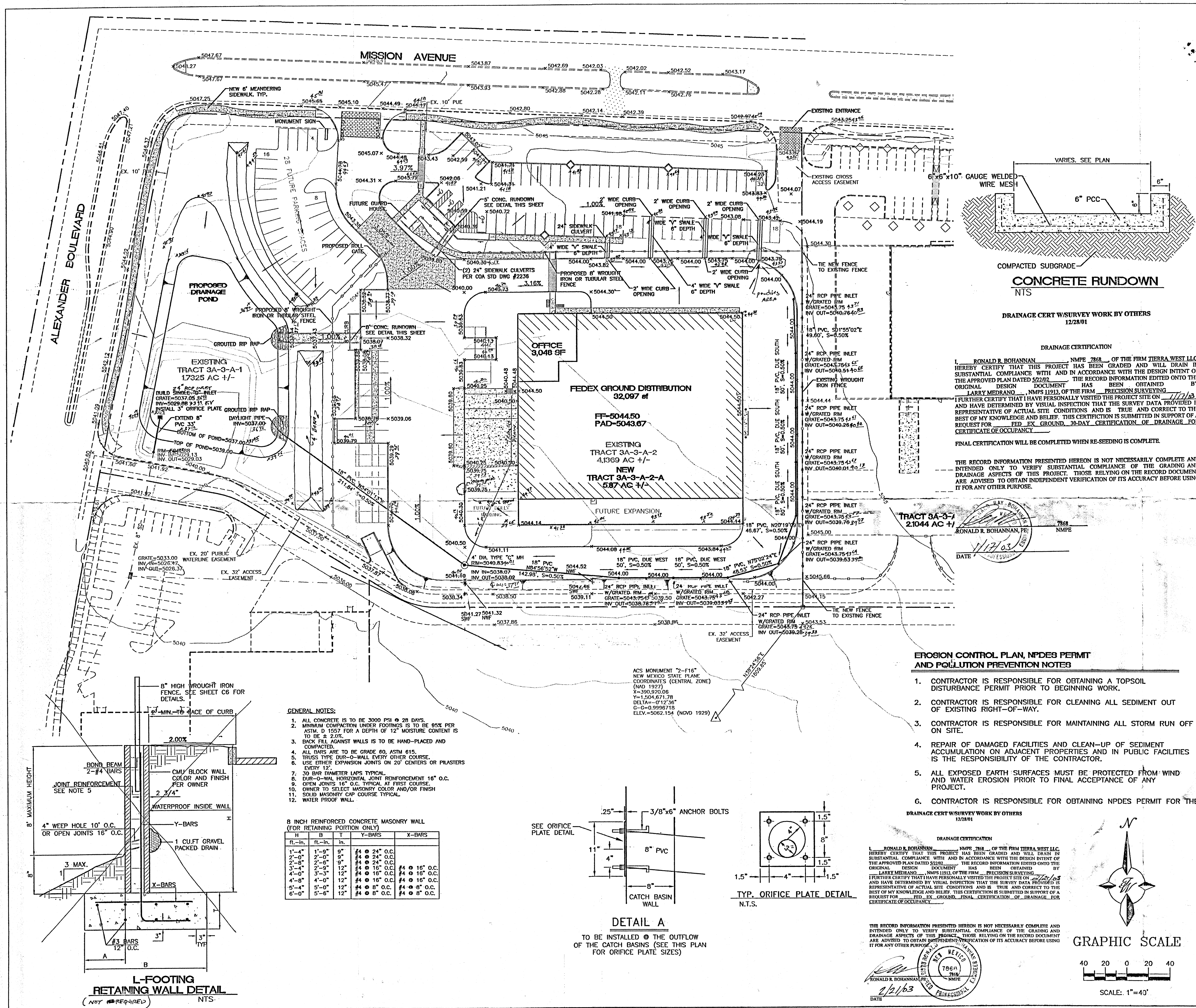


ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

RENAISSANCE FEDX GROUND GRADING AND DRAINAGE PLAN

DRAWING: 200721-G&D.DWG
DRAWN BY: ORO
DATE: 05-18-2007
SHEET #



LEGAL DESCRIPTION:
TRACT 3A-3-A-1 AND TRACT 3A-3-A-2 OF THE NORTH RENAISSANCE CENTER

LEGEND	
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED FENCE
	MAXIMUM WATER SURFACE ELEVATION
	NEW CURB
	EDGE OF NEW PAVING
	PROPOSED TEMPORARY ASPHALT CURB
	PROPOSED CONCRETE PAVING

EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

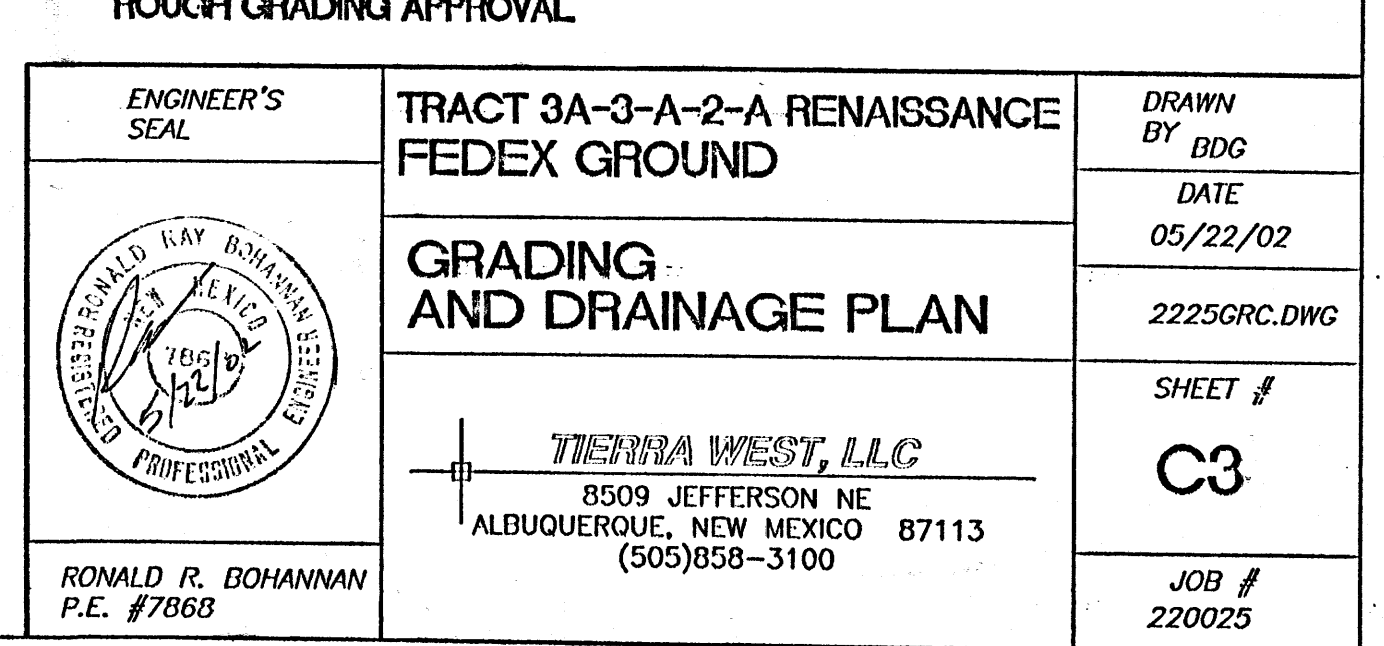
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
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- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

RECEIVED
FEB 21 2003
PWD/DESIGN REVIEW

ROUGH GRADING APPROVAL

ENGINEER'S SEAL	TRACT 3A-3-A-2-A RENAISSANCE FEDEX GROUND	DRAWN BY BDG
		DATE 05/22/02
		2225GRC.DWG
		SHEET #
		C3
		JOB # 220025

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

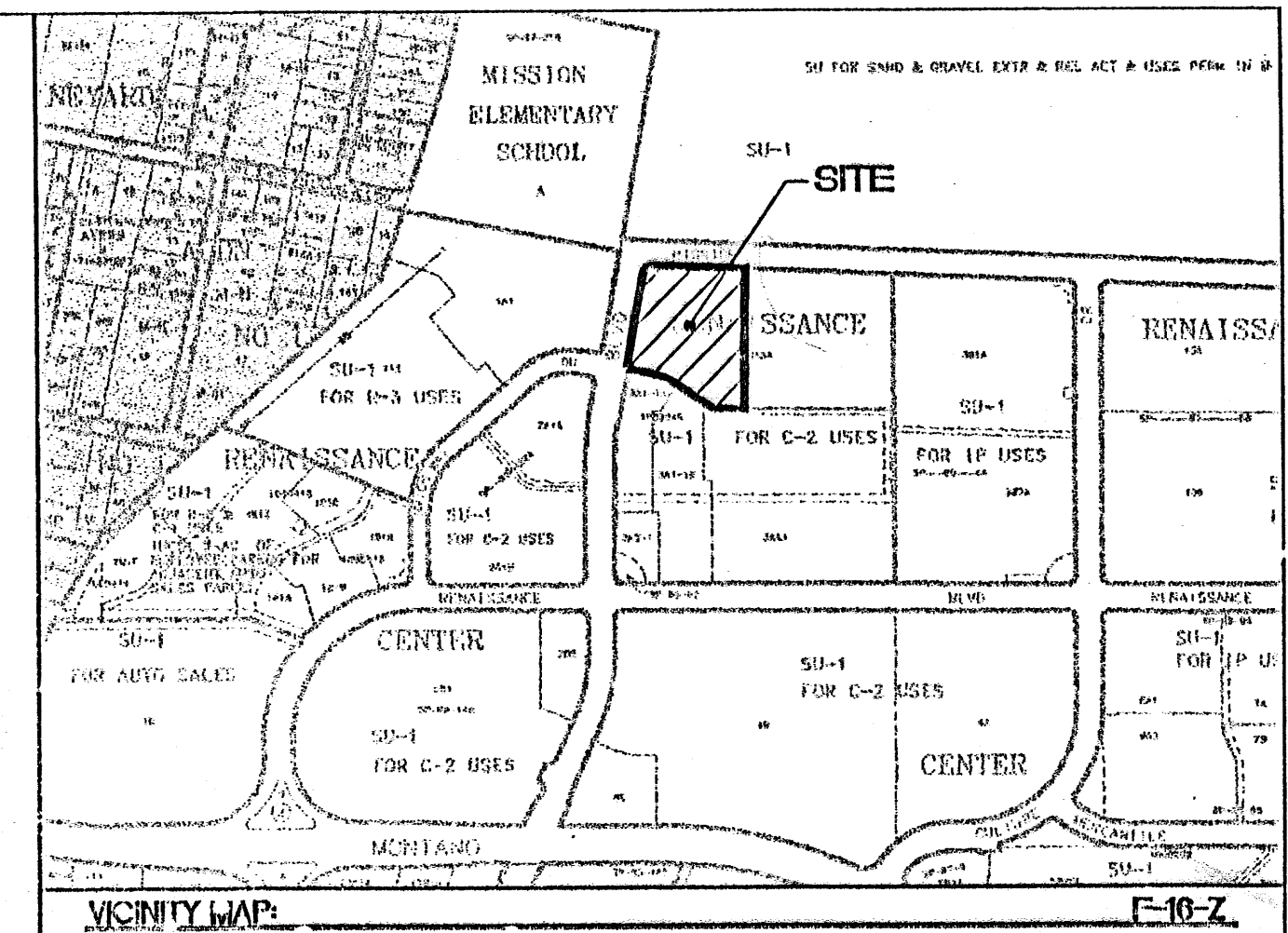


DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NMPE 7868, OF THE FIRM TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/22/02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MEDRANO, NMPS 11913, OF THE FIRM PRECISION SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/17/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FEDEX GROUND FINAL CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE 2/2/03



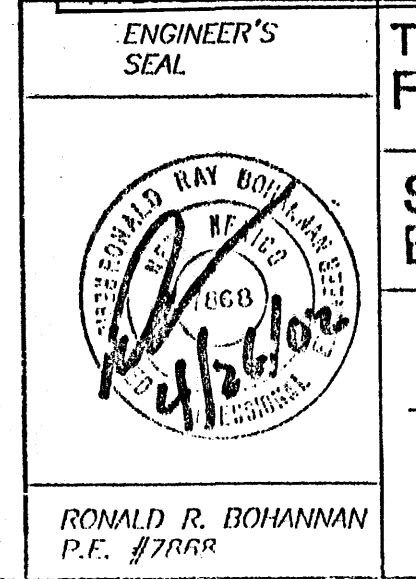
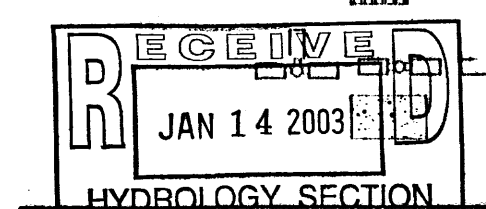
LEGAL DESCRIPTION:
TRACT 3A-3-A-1 AND TRACT 3A-3-A-2 OF THE NORTH RENAISSANCE CENTER

NOTES:

- COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACT 3A-3-A-2-A IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACT 3A-3-A-2-A THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- COMMON DRY UTILITY AND SANITARY SEWER EASEMENT FOR TRACT 3A-3-A-2-A IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE PLAT.
- MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE RENAISSANCE MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
- SEE SHEET C3 FOR RETAINING WALL DETAILS.
- SEE SHEET C5 FOR REFUSE ENCLOSURE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SEE SHEET C5 FOR HC RAMP DETAILS.
- SEE SHEET C5 FOR HC PARKING DETAILS.
- SEE SHEET C5 FOR PAVING DETAILS.

LEGEND

- BOUNDARY LINE
- EASEMENT
- PROPOSED CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED TEMPORARY ASPHALT CURB
- PROPOSED SIDEWALK
- PROPOSED WROUGHT IRON FENCE
- PROPOSED CROSSWALK
- PROPOSED FIRE HYDRANT
- PROPOSED BIKE RACK
- PROPOSED PARKING LOT LIGHTING
- PROPOSED CONCRETE PAVING



TRACT 3A-3-A-2-A RENAISSANCE
FEDEX GROUND

SITE PLAN FOR
BUILDING PERMIT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY
DDG

DATE
3/12/02

2225SPB.DWG

SHEET #
C1

JOB #
220025

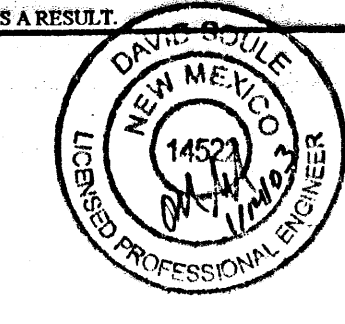
INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. LANDSCAPING PLAN
- C3. GRADING AND DRAINAGE PLAN
- C4. MASTER UTILITY PLAN
- C5. DETAILS
- C6. DETAILS
- C7. ELEVATIONS
- C8. ELEVATIONS
- C9. ELEVATIONS

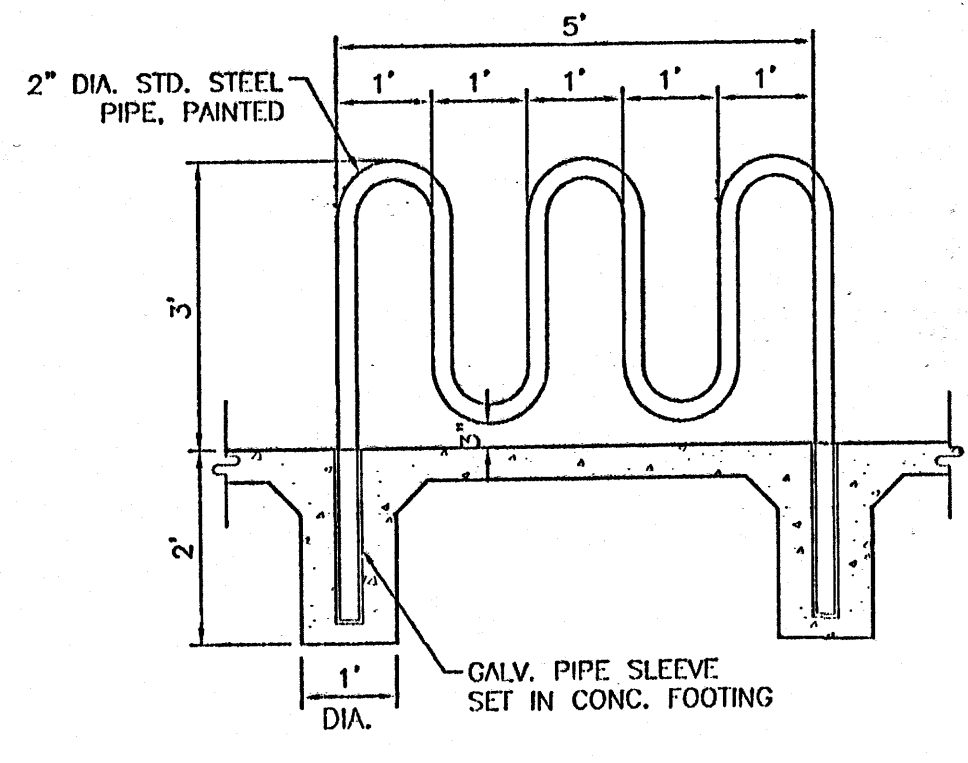
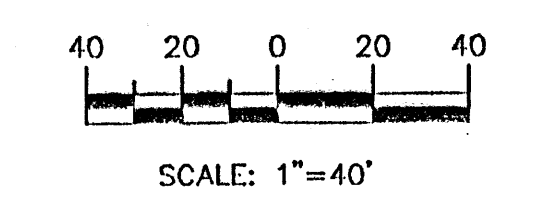
SITE DATA

PROPOSED USAGE:	WAREHOUSE / OFFICE
TRACT	3A-3-A-2-A
LOT AREA:	5.87 AC
MAXIMUM FAR	0.25
MAX. BUILDING HEIGHT	36'
BUILDING AREA:	
WAREHOUSE	32,097 SF
OFFICE	3,048 SF
FUTURE EXPANSION	4,952 SF
TOTAL	40,097 SF
PARKING PROVIDED:	50 SPACES
FUTURE PARKING PROV:	46 SPACES
TOTAL	96 SPACES
PARKING REQUIRED W/EXP.	31 SPACES
HC PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	1 SPACES VAN ACCESSIBLE
BIKE SPACES REQUIRED:	10 SPACES
BIKE SPACES PROVIDED:	10 SPACES

30-DAY TEMPORARY
RECORD DRAWING
DATE: JANUARY 14, 2003
DRAFTED BY: R.W. TIERRA WEST LLC.
THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THE DOCUMENT AS A RESULT.



GRAPHIC SCALE



EKE RACK DETAIL
SCALE: 1/2"=1'

PROJECT NUMBER: 10006402

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice of Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN

Robert J. Davis
Traffic Engineer, Transportation Division
Date: 5-22-02

William E. Cardenas
Parks & General Services Department
Date: 5/22/02

Manuel Duran
Public Works, Water Utilities Division
Date: 5/22/02

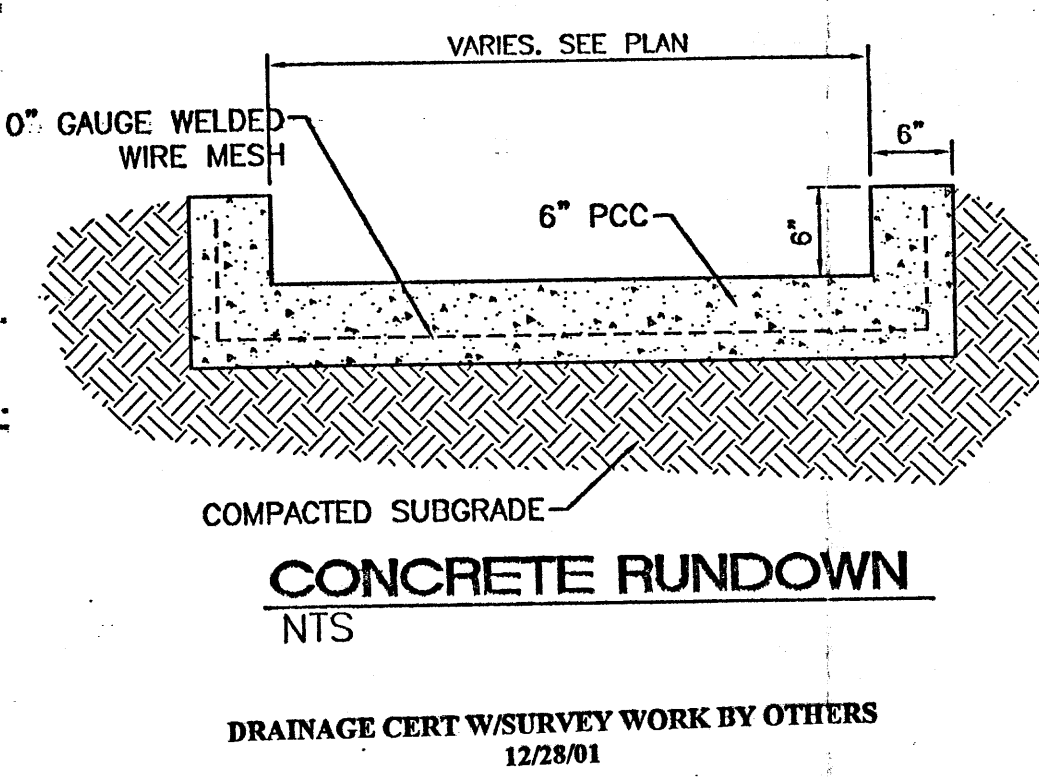
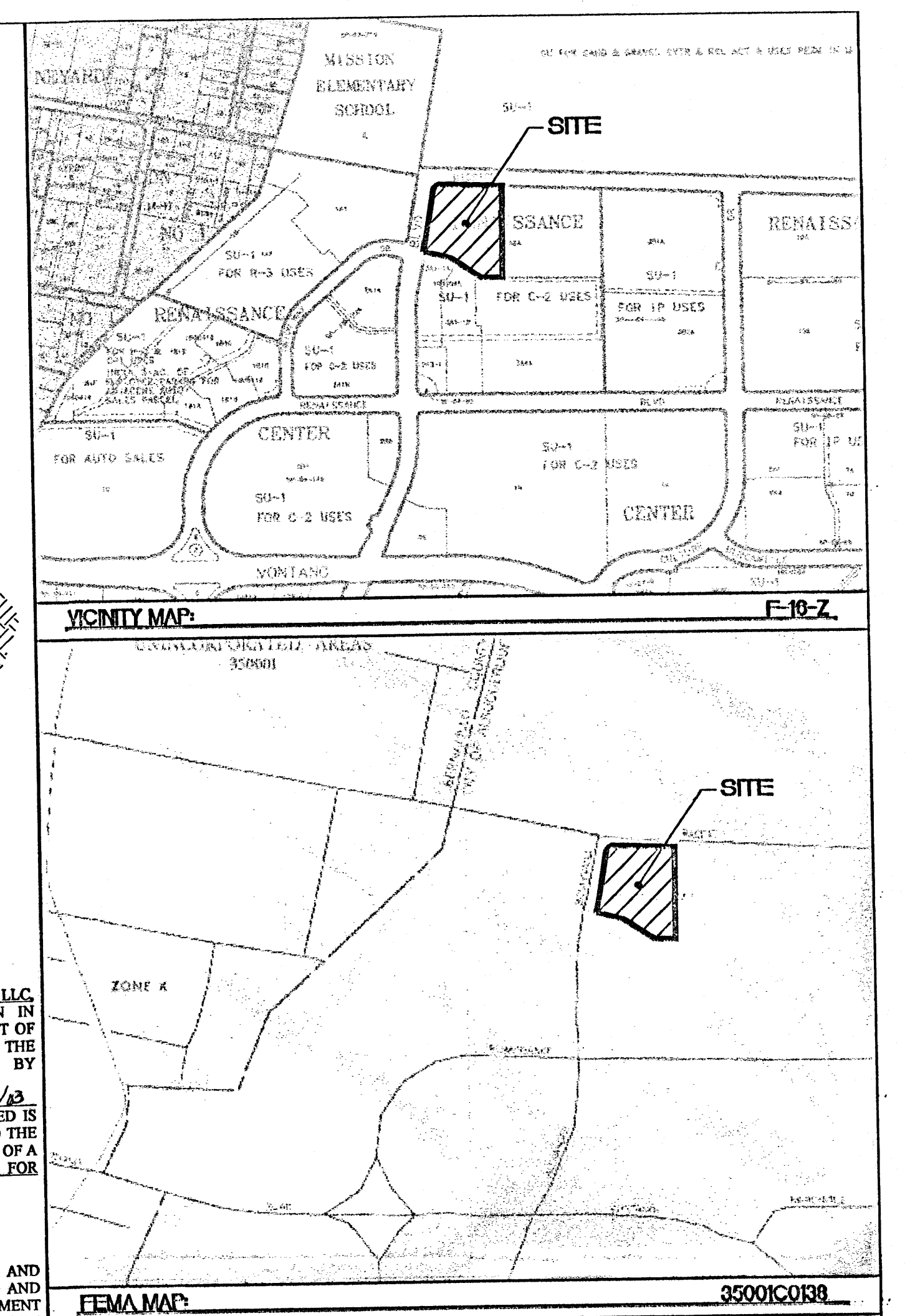
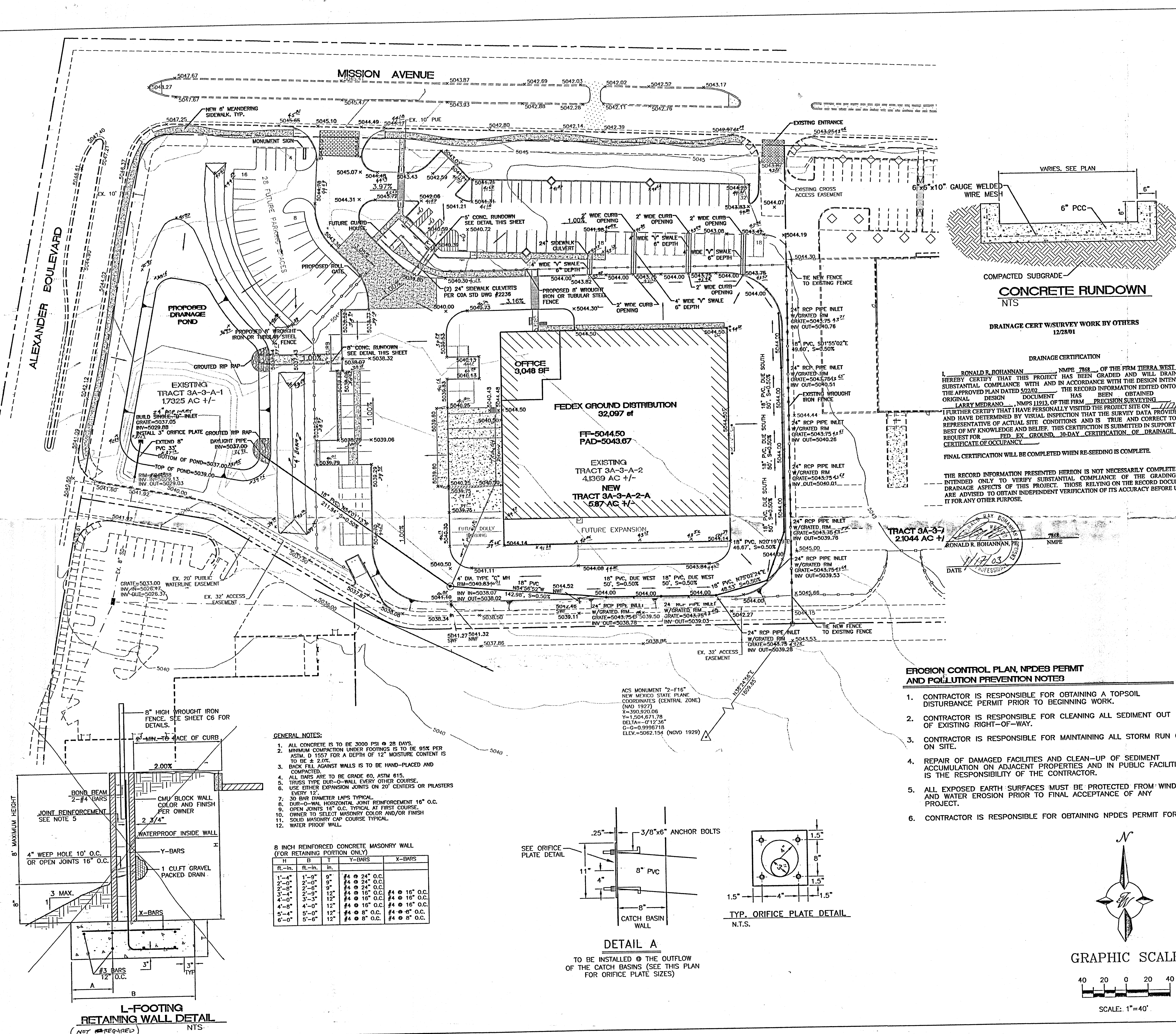
Bradley L. Bismar
City Engineer, Engineering Division / AMAFCA
Date: 7/19/02

David A. Schuler
Solid Waste
Date: 5-22-02

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

David A. Schuler
City Planner, Albuquerque / Bernatillo
City Planning Division
Date: _____

PLNZ (10706) 4/96



DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NMP# 7868, OF THE FIRM TIERRA WEST LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/22/02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ORIGINAL DESIGN DOCUMENT.

LARRY MEDRANO, NMP# 11913, OF THE FIRM PRECISION SURVEYING, I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/7/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS AND IS TRUE AND CORRECT TO THE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FEDEX GROUND 30-DAY CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

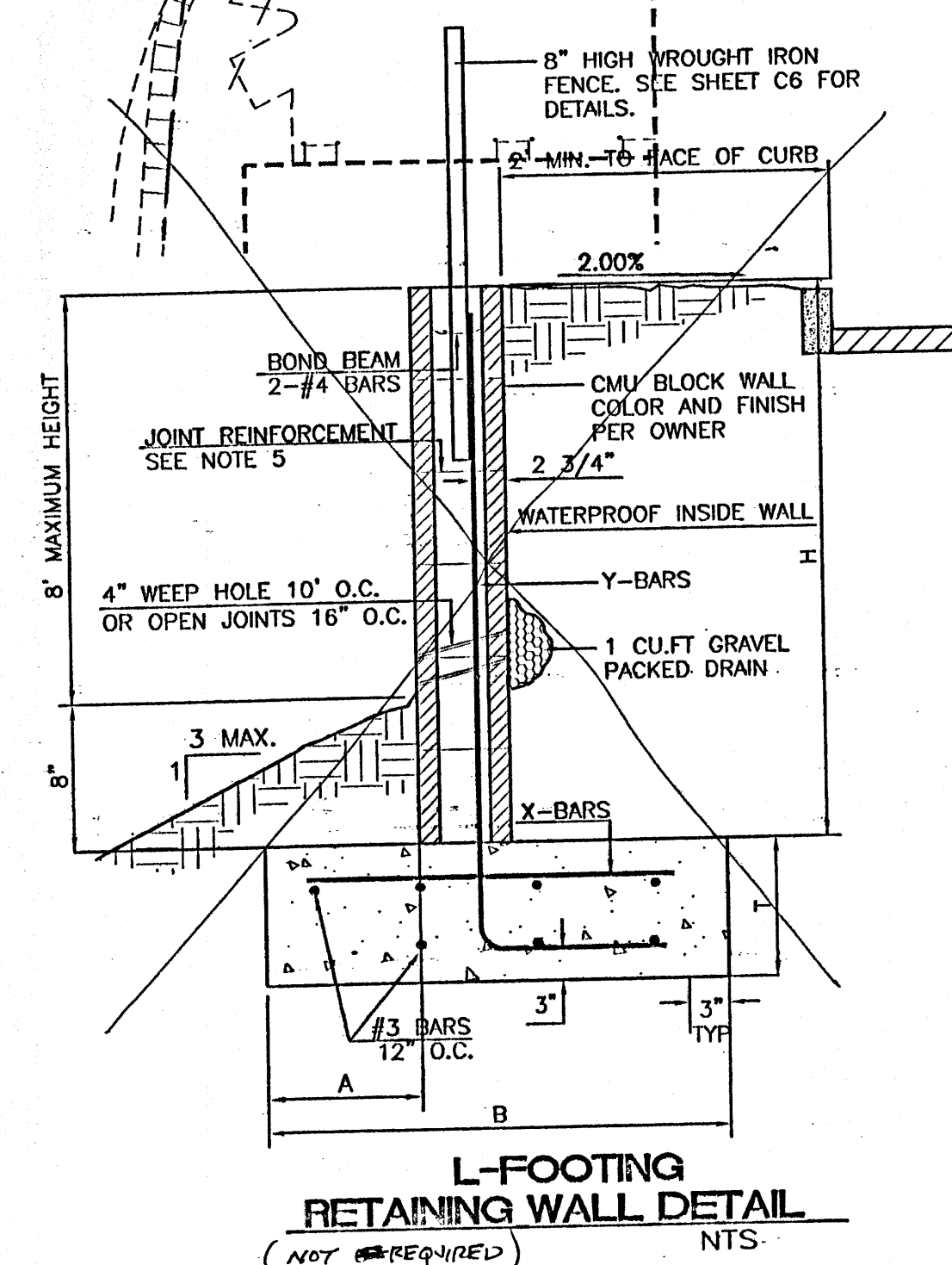
FINAL CERTIFICATION WILL BE COMPLETED WHEN RE-SEEDING IS COMPLETE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

LEGAL DESCRIPTION
TRACT 3A-3-A-1 AND TRACT 3A-3-A-2 OF THE NORTH RENAISSANCE CENTER

- LEGEND**
- EXISTING STORM SEWER MANHOLE
 - EXISTING STORM SEWER LINE
 - PROPOSED STORM SEWER MANHOLE
 - EXISTING STORM SEWER LINE
 - EXISTING CURB & GUTTER
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - PROPOSED FENCE
 - MAXIMUM WATER SURFACE ELEVATION
 - NEW CURB
 - EDGE OF NEW PAVING
 - PROPOSED TEMPORARY ASPHALT CURB
 - PROPOSED CONCRETE PAVING

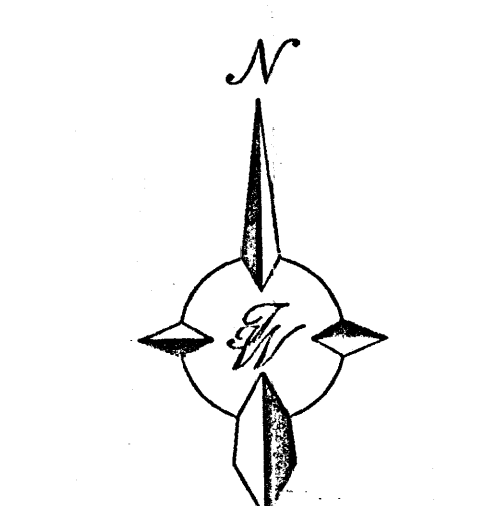
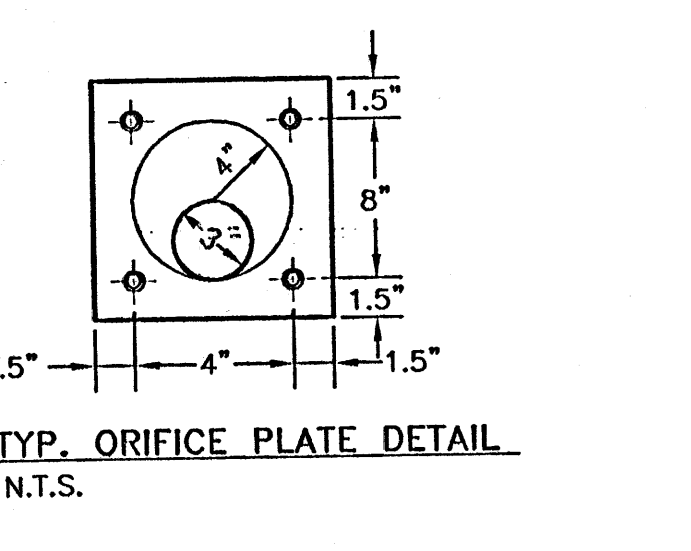
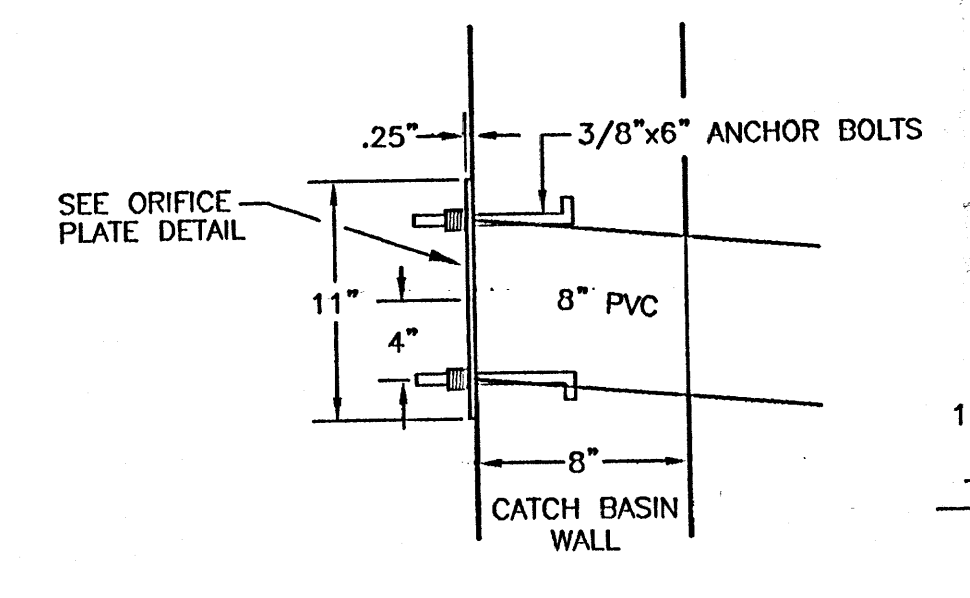
- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
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 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm$ 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DWP-WALL EVERY OTHER COURSE.
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
 - 30 BAR DIAMETER LAPS TYPICAL.
 - DWP-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
 - OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
 - OWNER TO SELECT MASONRY COLOR AND/OR FINISH.
 - SOLID MASONRY CAP COURSE TYPICAL.
 - WATER PROOF WALL.

8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-8"	4'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
5'-4"	4'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
6'-0"	5'-0"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.



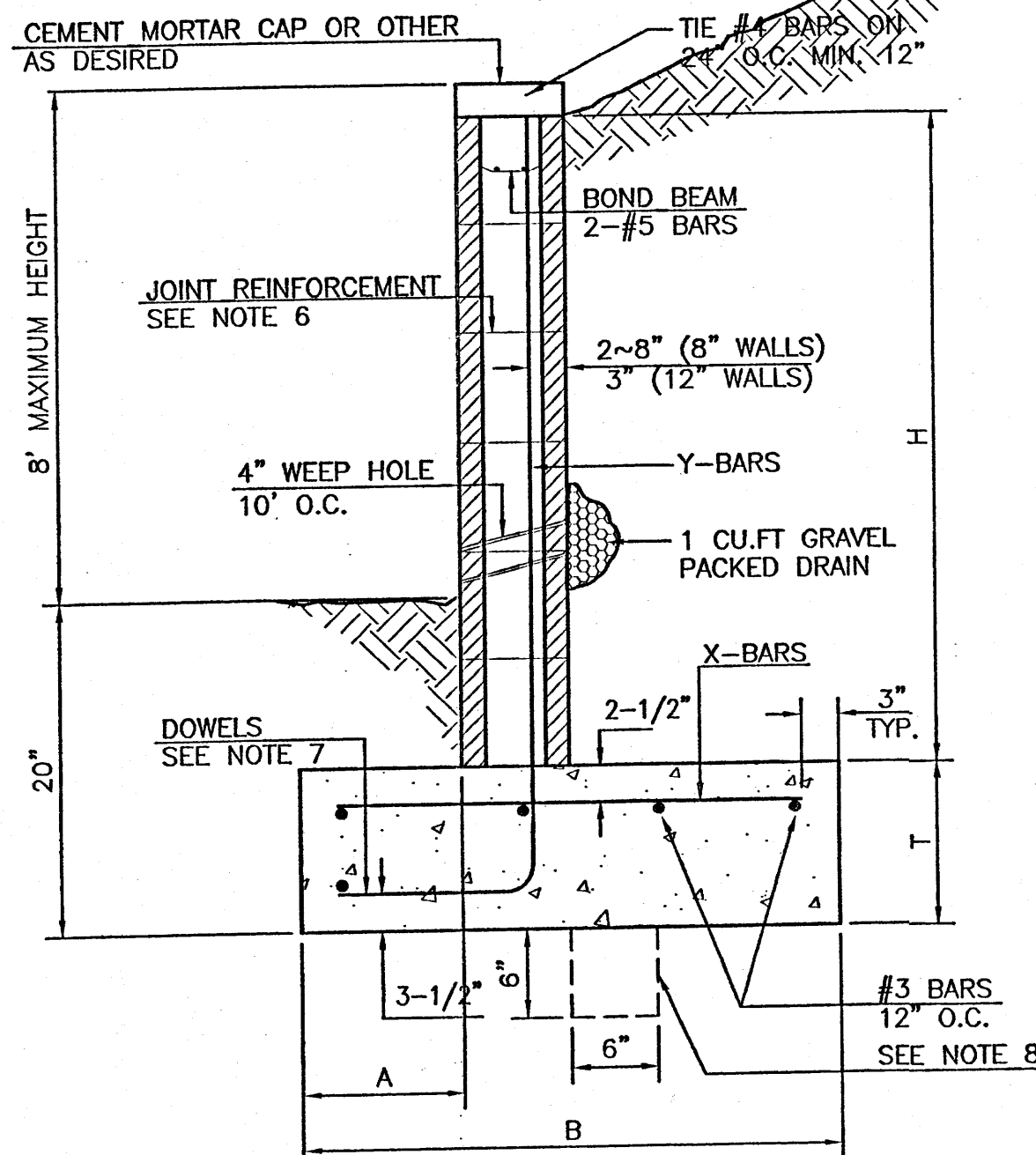
RECEIVED
JAN 17 2003
HYDROLOGY SECTION

ROUGH GRADING APPROVAL

ENGINEER'S SEAL	TRACT 3A-3-A-2-A RENAISSANCE FEDEX GROUND	DRAWN BY BDG
	GRADING AND DRAINAGE PLAN	DATE 05/22/02
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2225GRC.DWG
		SHEET # C3
		JOB # 220025

MISSION BLVD. N.E. (86' ROW)

FOUND REBAR W/CAP
"PS 11993"
EL=5045.12



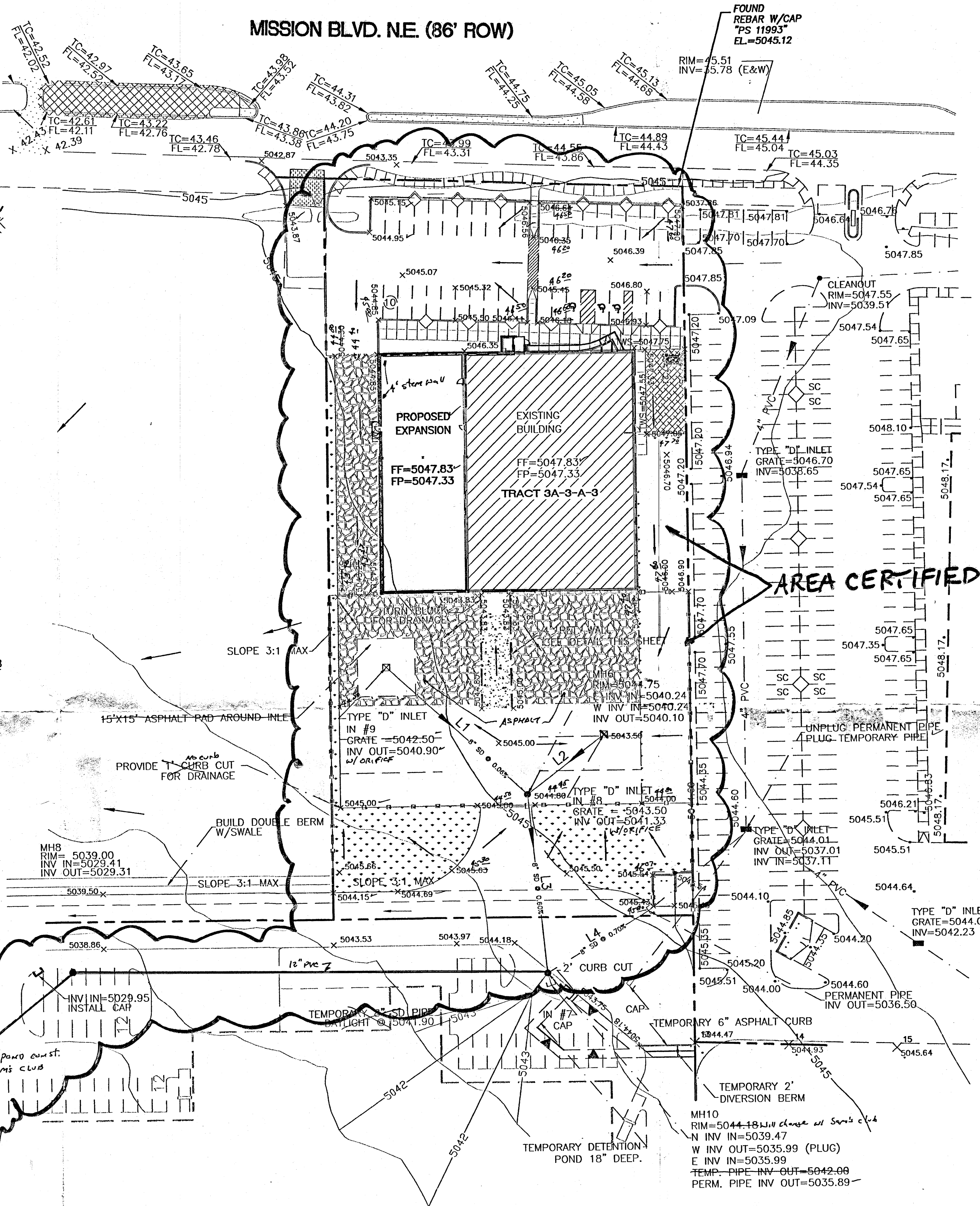
RETAINING WALL DETAIL

8 INCH REINFORCED CONCRETE MASONRY WALL						
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL						
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
- X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
- #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



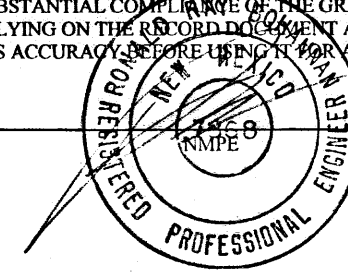
AREA CERTIFIED

DRAINAGE CERT SURVEY WORK BY OTHERS

DRAINAGE CERTIFICATION
12/28/01
I, RONALD R. BOHANNAN, NMPE 7868, OF THE FIRM TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANDREW MEDINA, NMPS 12668, OF THE FIRM SANDHILL LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/22/05, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

NOTE: EXCEPTIONS HERE: NO EXCEPTIONS TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE INFORMATION HEREON ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY FOR ANY OTHER PURPOSE.

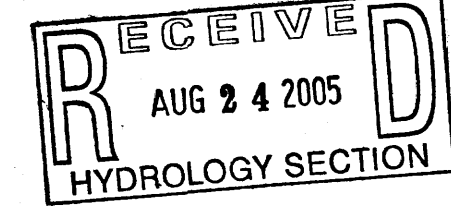


DATE

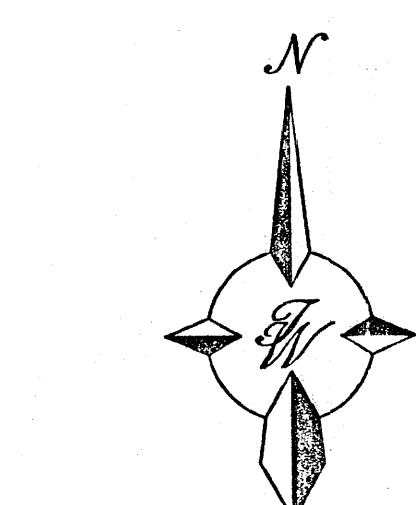
LINE TABLE		
LINE	LENGTH	BEARING
L1	112.09	S47°12'06"E
L2	57.18	S52°34'35"W
L3	105.98	S05°38'13"E
L4	69.73	S59°11'00"W

LEGEND

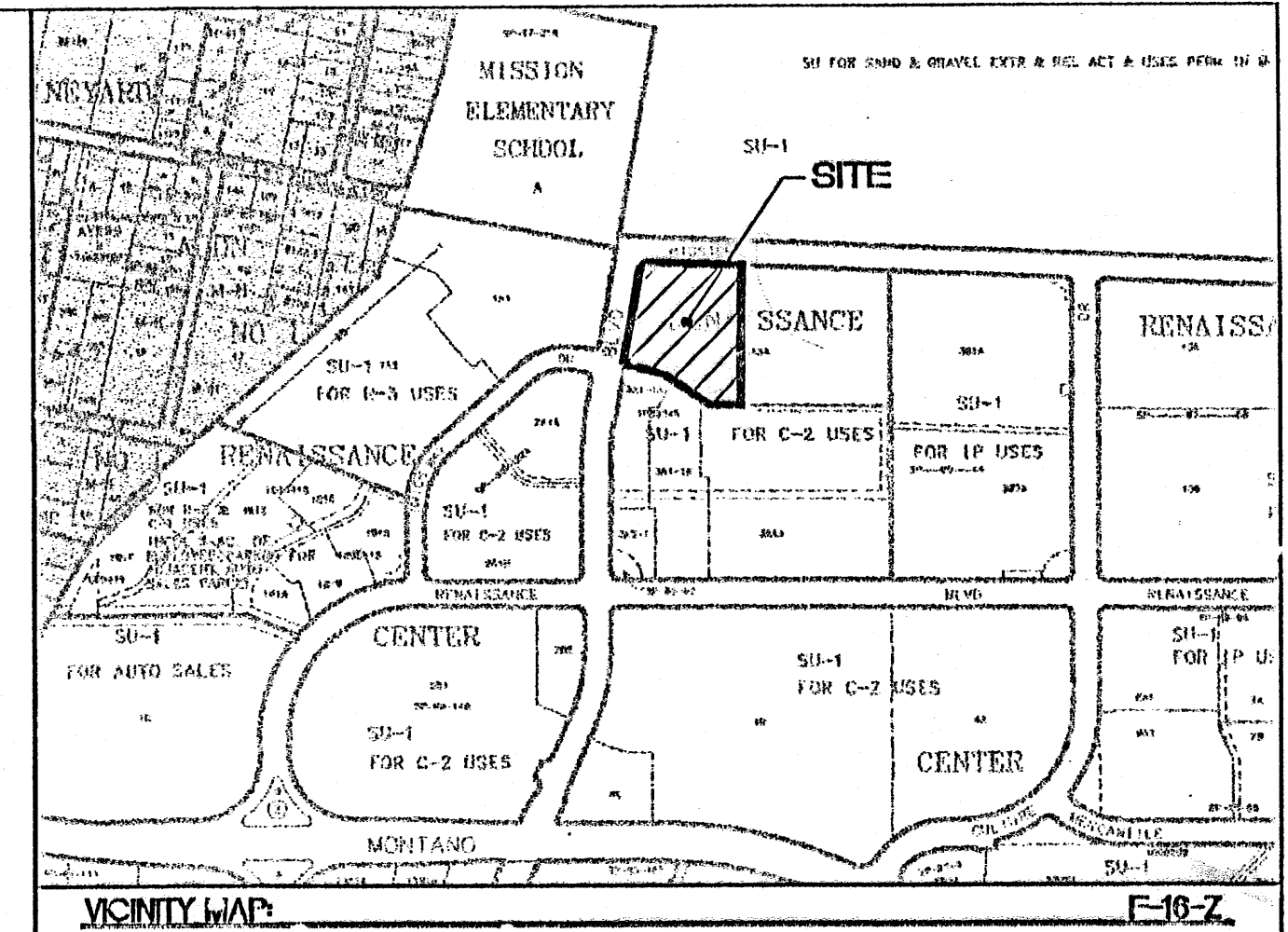
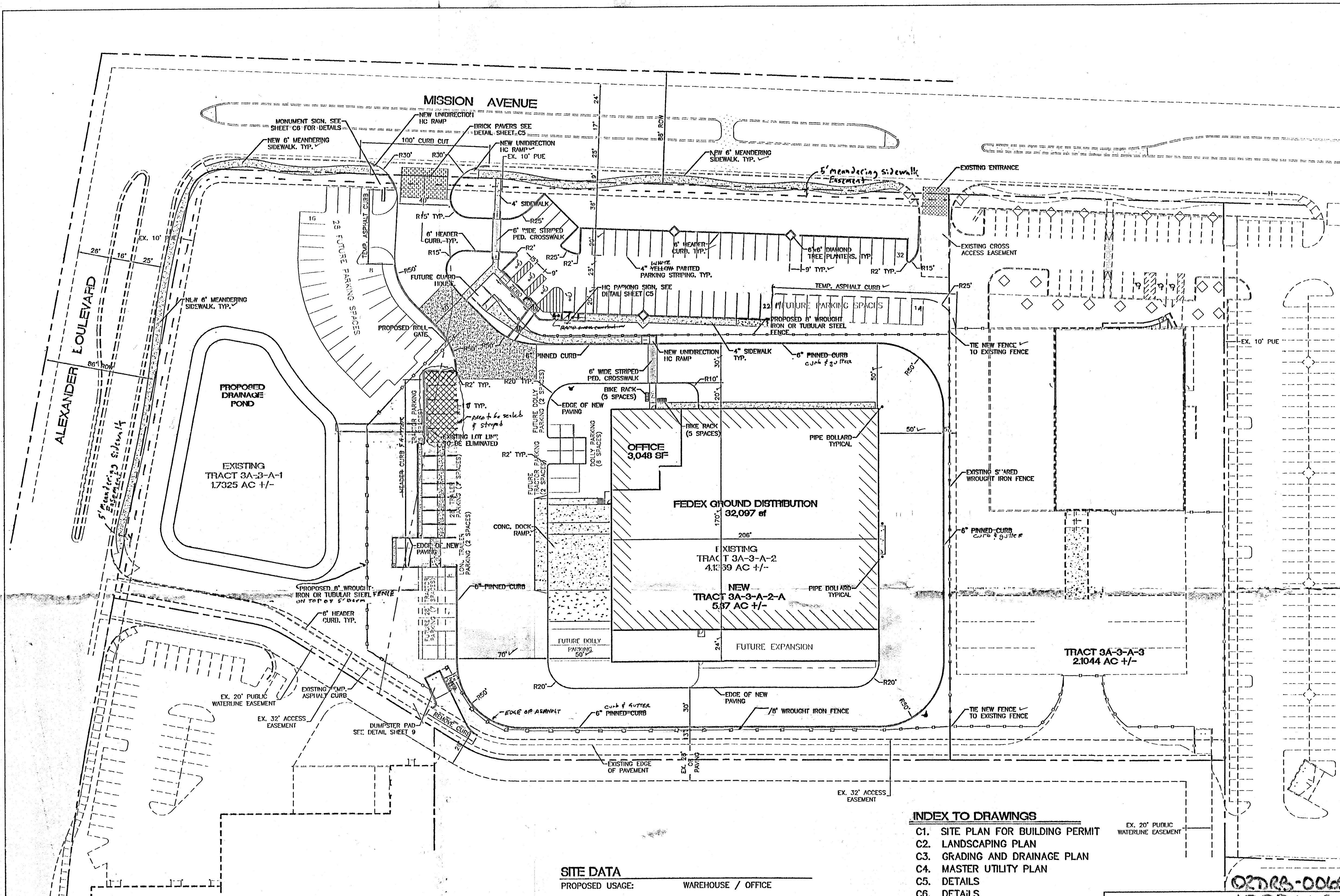
- SLOPE TIE
- FLOW ARROW
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING SD MANHOLE
- EXISTING SD INLET
- EXISTING SAS MANHOLE
- EXISTING SD MANHOLE
- PROPOSED SD LINE
- PROPOSED BUILDING
- EXISTING PARKING SPACE
- CURB
- EXISTING CURB & GUTTER
- BOUNDARY LINE
- PROPOSED SIDEWALK



ROUGH GRADING APPROVAL



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	TRACT 3A-3-A-3 RENAISSANCE CENTER GRADING AND DRAINAGE PLAN	DRAWN BY WCWJ
		DATE 03-04-05
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO (505)858-3100	SHEET # 2 OF 12	997808TR3A3A300-030405
		AUG 24 2005 JOB # 990078
HYDROLOGY SECTION		



LEGAL DESCRIPTION:
TRACT 3A-3-A-1 AND TRACT 3A-3-A-2 OF THE NORTH RENAISSANCE CENTER

- NOTES:**
1. COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACT 3A-3-A-2-A IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 2. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACT 3A-3-A-2-A THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
 3. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 4. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 5. COMMON DRY UTILITY AND SANITARY SEWER EASEMENT FOR TRACT 3A-3-A-2-A IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE PLAT.
 6. MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE RENAISSANCE MASTER PLAN, MATCH BUILDING COLORS AND MATERIAL.
 7. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
 8. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 9. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 10. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 11. BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
 12. SEE SHEET C3 FOR RETAINING WALL DETAILS.
 13. SEE SHEET C5 FOR REFUSE ENCLOSURE.
 14. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 15. SEE SHEET C5 FOR HC RAMP DETAILS.
 16. SEE SHEET C5 FOR HC PARKING DETAILS.
 17. SEE SHEET C5 FOR PAVING DETAILS.

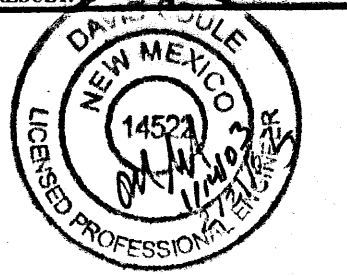
INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. LANDSCAPING PLAN
- C3. GRADING AND DRAINAGE PLAN
- C4. MASTER UTILITY PLAN
- C5. DETAILS
- C6. DETAILS
- C7. ELEVATIONS
- C8. ELEVATIONS
- C9. ELEVATIONS

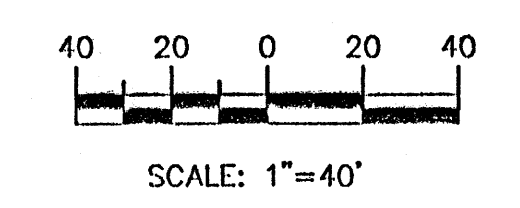
SITE DATA

PROPOSED USAGE:	WAREHOUSE / OFFICE
TRACT	3A-3-A-2-A
LOT AREA:	5.87 AC
MAXIMUM FAR	0.25
MAX. BUILDING HEIGHT	36'
BUILDING AREA:	
WAREHOUSE	32,097 SF
OFFICE	3,048 SF
FUTURE EXPANSION	4,952 SF
TOTAL	40,097 SF
PARKING PROVIDED:	
FUTURE PARKING PROV.	50 SPACES
TOTAL	96 SPACES
PARKING REQUIRED W/EXP.	31 SPACES
HC PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	4 SPACES
	1 SPACES VAN ACCESSIBLE
BIKE SPACES REQUIRED:	10 SPACES
BIKE SPACES PROVIDED:	10 SPACES

RECORD DRAWING
DATE: February 2003 DRAFTED BY: R. W. W. / J. W. W.
JANUARY 14, 2003 TERRA WEST LLC.
THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THE DOCUMENT AS A RESULT.



GRAPHIC SCALE



PROJECT NUMBER: 10006102

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

[Signature] Date: 5-22-02
Traffic Engineer, Transportation Division

[Signature] Date: 5/22/02
William E. Cantalero
Parks & General Services Department

[Signature] Date: 5/22/02
Adrian M. Munsat
Public Works, Water Utilities Division

[Signature] Date: 7/19/02
Brad L. Bigham
City Engineer, Engineering Division / AMAFCA

[Signature] Date: 5-22-01
Solid Waste

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

[Signature] Date: [Blank]
City Planner, Albuquerque / Bernadette

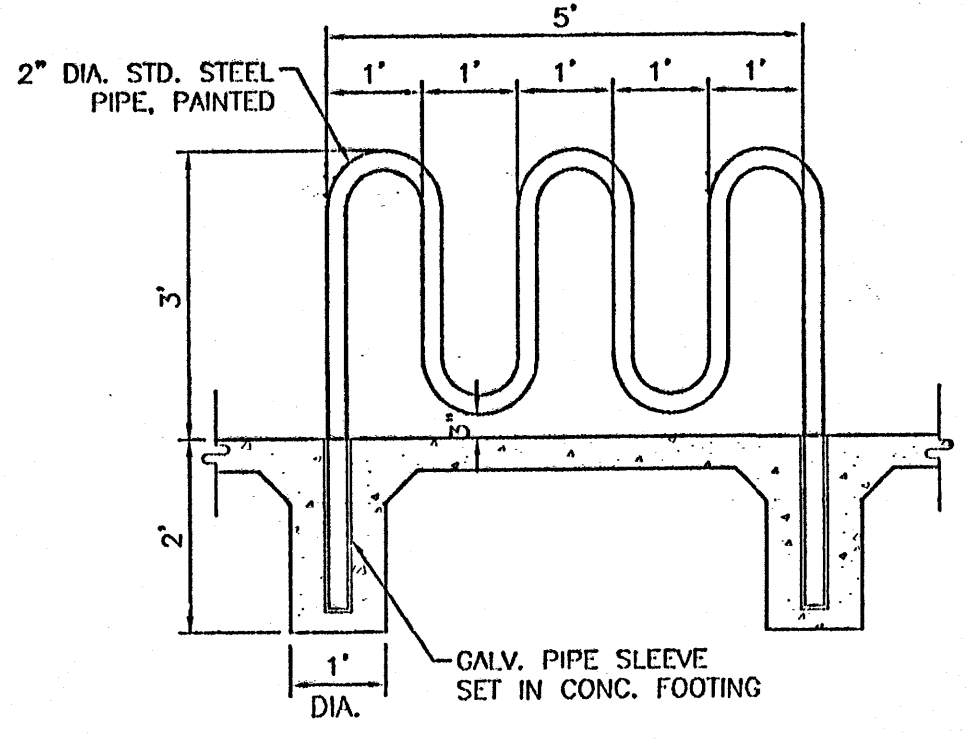
PLNZ (10706) 4/96

LEGEND

- BOUNDARY LINE
- EASEMENT
- PROPOSED CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED TEMPORARY ASPHALT CURB
- PROPOSED SIDEWALK
- PROPOSED WROUGHT IRON FENCE
- PROPOSED CROSSWALK
- PROPOSED FIRE HYDRANT
- PROPOSED BIKE RACK
- PROPOSED PARKING LOT LIGHTING
- PROPOSED CONCRETE PAVING

RECEIVED
FEB 21 2003
PWD/DESIGN REVIEW

ENGINEER'S SEAL 	TRACT 3A-3-A-2-A RENAISSANCE FEDEX GROUND	DRAWN BY BDG
	SITE PLAN FOR BUILDING PERMIT	DATE 04/25/02
		2225SPB.DWG
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # C1
RONALD R. BOHANNAN P.E. #7766	JOB # 220025	



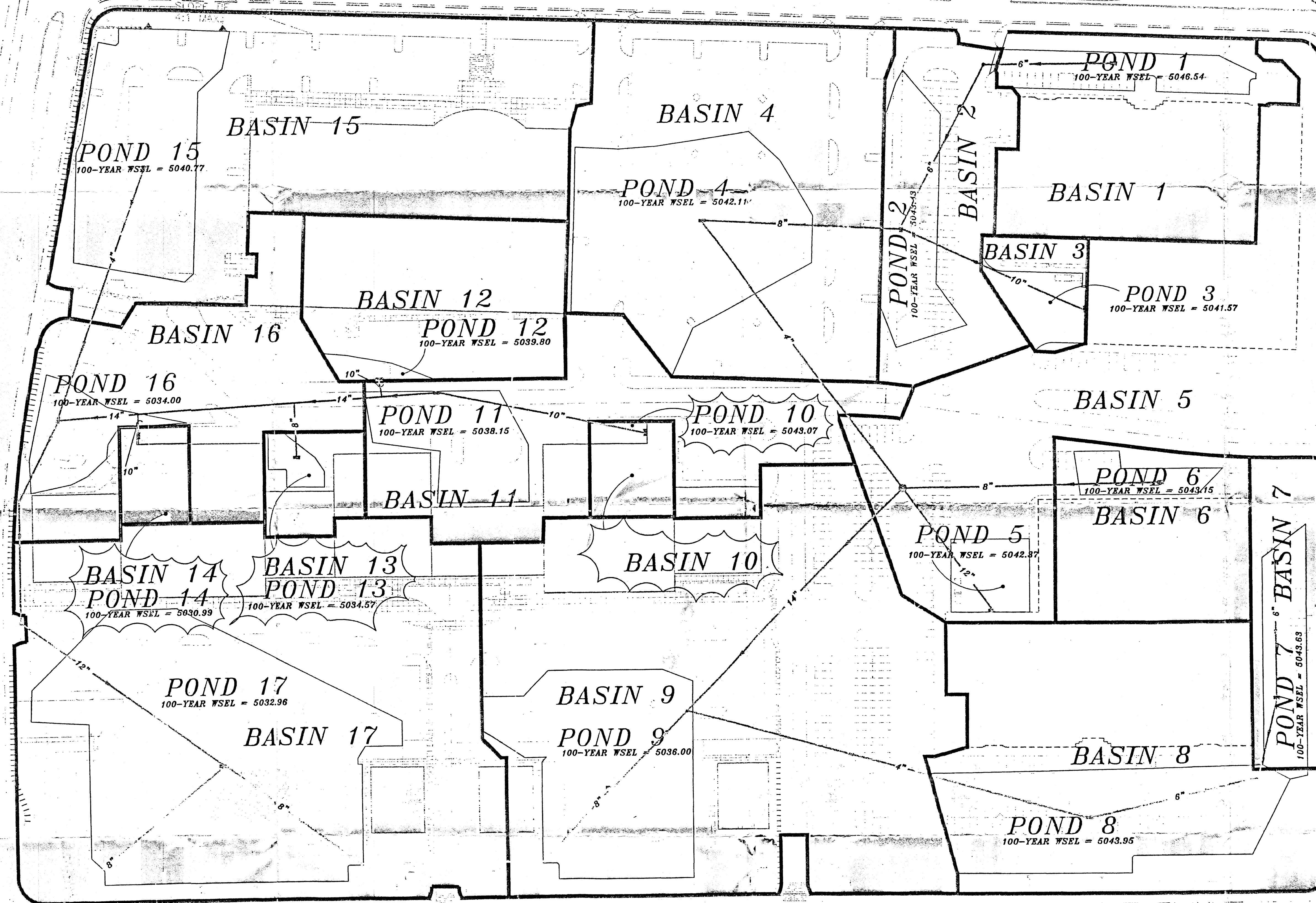
EKE RACK DETAIL
SCALE: 1/2"=1'

MISSION AVE.

ALEXANDER BLVD.

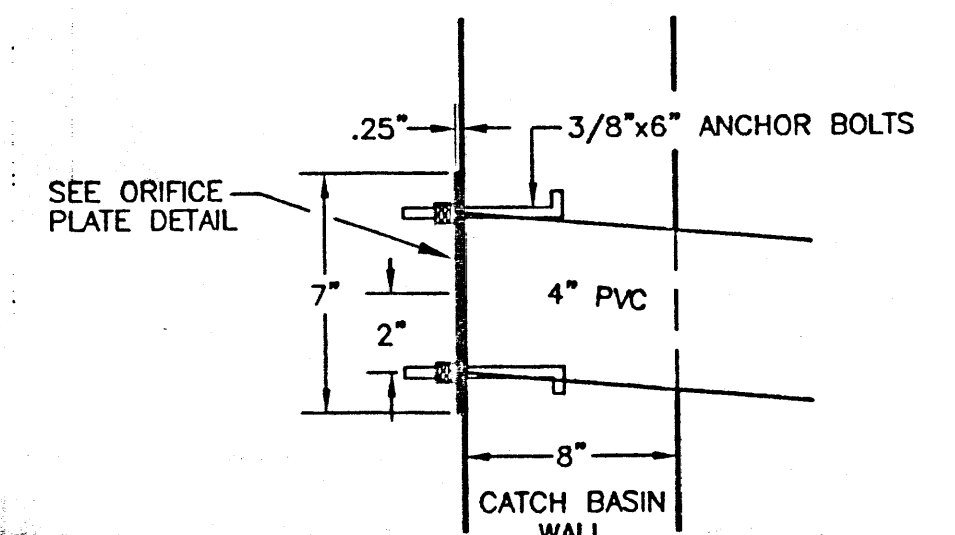
CULTURE DR.

RENAISSANCE BLVD.

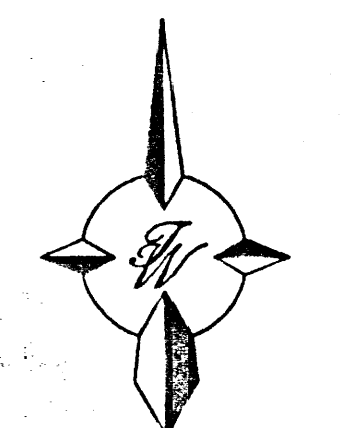
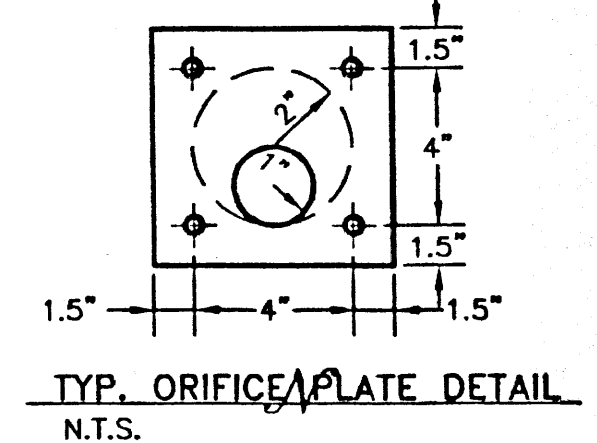


POND	ORIFICE PLATE SIZE*	OUTLET PIPE SIZE**
1	N/A	6"
2	N/A	8"
3	N/A	10"
4	2"	4"
5	N/A	12"
6	N/A	8"
7	N/A	6"
8	N/A	4"
9	7-3/8"	8"
10	N/A	10"
11	10"	14"
12	N/A	10"
13	N/A	8"
14	N/A	10"
15	N/A	4"
16	N/A	12"
17	6-3/8"	8"

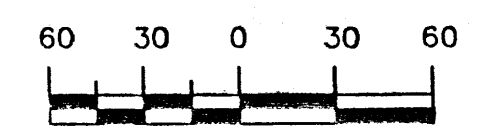
* ORIFICE PLATES TO BE LOCATED AT THE OUTLET OF THE CATCH BASINS
 ** PIPE SIZES AT THE OUTLET OF THE CATCH BASINS (SEE THIS PLAN FOR CATCH BASIN LOCATIONS)



DETAIL A
 TO BE INSTALLED @ THE OUTFLOW OF THE CATCH BASINS (SEE THIS PLAN FOR ORIFICE PLATE SIZES)

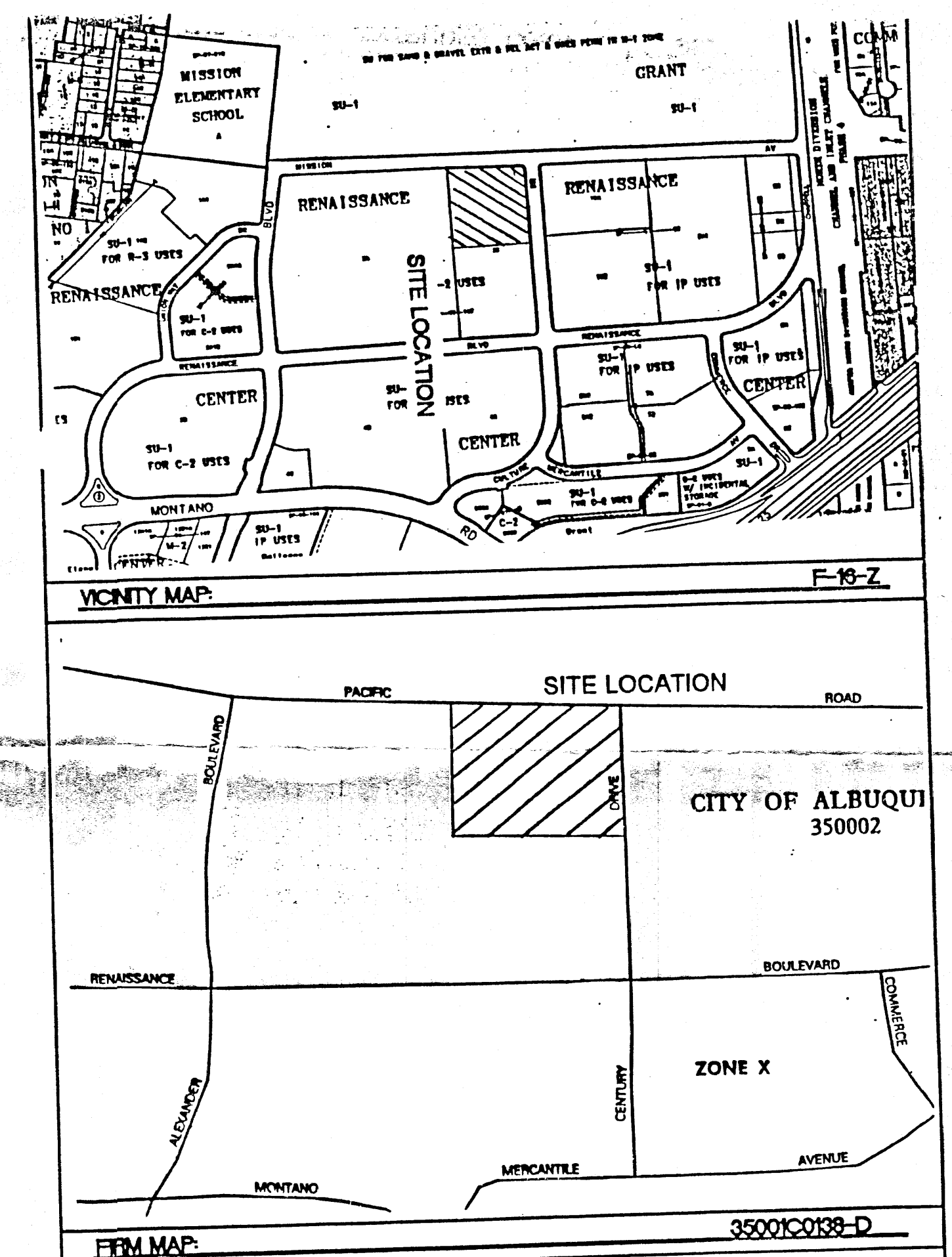
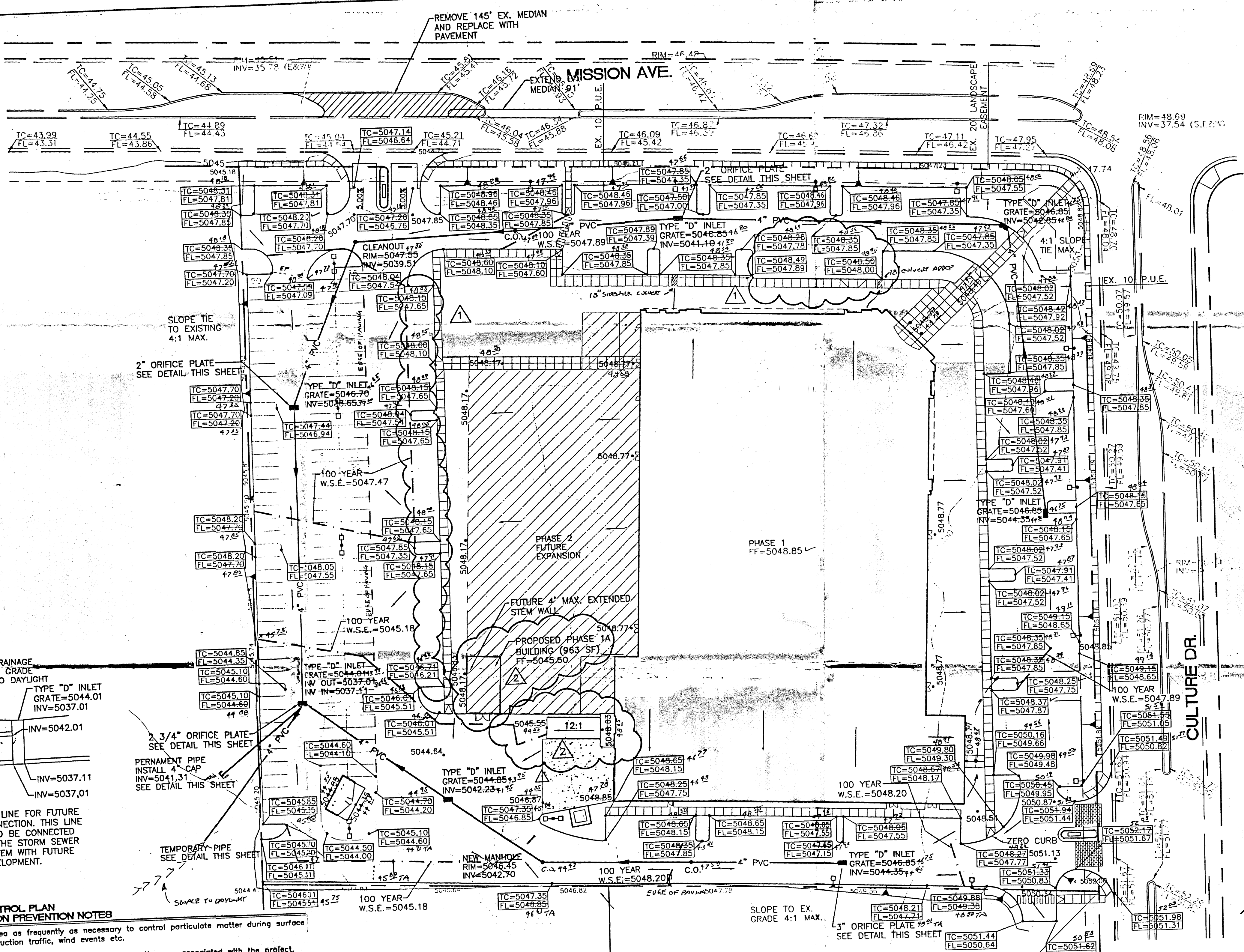


GRAPHIC SCALE



RECEIVED
 MAY 23 2002
 HYDROLOGY SECTION

ENGINEER'S SEAL RONALD R. BIHANNAN P.E. #7868	TRACT 3 NORTH RENAISSANCE	DRAWN BY SBB
	BASIN MAP	DATE 07-01-98
	TIERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	9855BSN.DWG
		SHEET # JOB # 980055

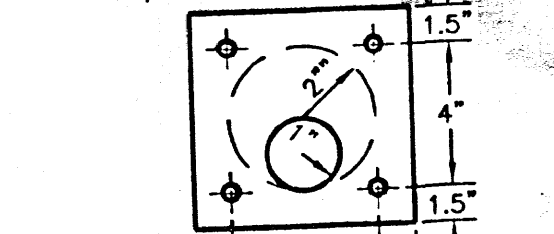


1. REVISED GRADING AND DRAINAGE PLAN INCLUDES ADDITIONAL HANDICAP PARKING, REDUCTION IN BUILDING SQUARE FOOTAGE, LOADING DOCK MODIFICATIONS AND USE OF EXTRUDED CURB 4/20/99.
2. REVISED GRADING AND DRAINAGE PLAN INCLUDES ADDING NEW BUILDING MODIFYING GRADES AROUND LOADING DOCK TO RAMP UP. 5-25-99

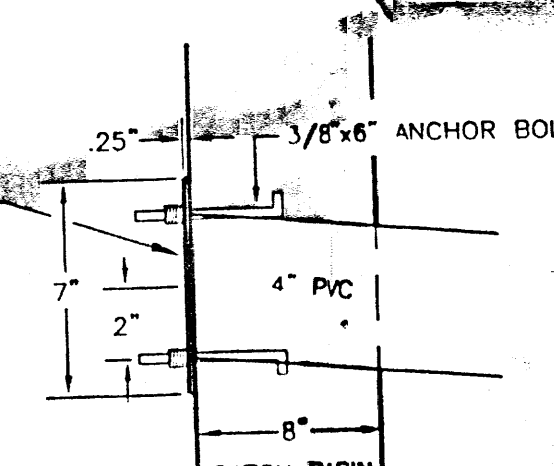
- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
- Water disturbed area as frequently as necessary to control particulate matter during surface disturbance, construction traffic, wind events etc.
 - Water site access or haul roads during periods of active use associated with the project. (Includes interior or access roads, yard or parking areas of material storage or assembly, piled excavated material, trench work area, area disturbed by trespass traffic, etc.)
 - Cover, tarp, or otherwise contain all loads of loose material entering or leaving the site.
 - Halt surface disturbance when soil or wind conditions prevent or limit effective particulate matter control. (No "transported material").
 - Restore all off-site or excess surface disturbance areas to near pre-existing condition.
 - Re-seeding undeveloped disturbed area either on site or off-site to City of Albuquerque Specifications #1012-"Native Grass Seeding"
 - Clean-up particulate and transported material from nearby property and the public right-of-way.
 - Construction of permanent perimeter/interior fencing.
 - Construction of temporary erosion control fencing.
 - Special measures required. (See note)
 - Control of alternate access route or trespass traffic.
 - Stabilization of area proposed for future sale or future development.
 - Contractor is responsible for obtaining a topsoil disturbance permit prior to beginning work.
 - Contractor is responsible for cleaning all sediment out of the existing right-of-way.
 - Repair of damaged facilities and clean-up of sediment accumulated on adjacent properties and in public facilities is the responsibility of the contractor.
 - All exposed earth surfaces must be protected from wind and water erosion prior to final acceptance of any project.
 - Contractor is responsible for maintaining all storm sewer run off on site.
 - This Plan Complies with the NPDES Storm Water Pollution Prevention Plan.

I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 12-22-92. Survey information was supplied by Robert M. H. Co. P.S. # 4076 in accordance with normal surveying practices.

1/5/2000
#7868



TYP. ORIFICE PLATE DETAIL
N.T.S.



DETAIL A
TO BE INSTALLED @ THE OUTFLOW OF ALL CATCH BASINS

- LEGEND**
- EXISTING SAS MANHOLE
 - EXISTING METER
 - EXISTING VALVE W/BOX
 - EXISTING FIRE HYDRANT
 - EXISTING AIR RELEASE VALVE
 - EXISTING REDUCER
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - 100 YEAR WATER SURFACE ELEVATION
 - PROPOSED SIDEWALK

ROUGH GRADING APPROVAL

DATE

ENGINEER'S SEAL

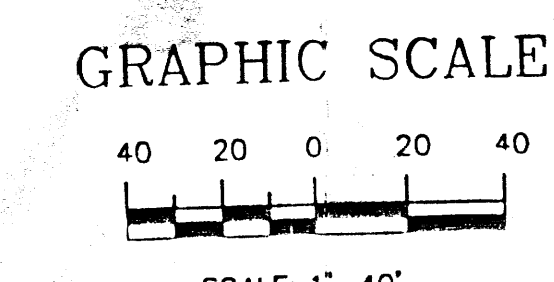
GENERAL TECHNOLOGY

GRADING AND DRAINAGE PLAN

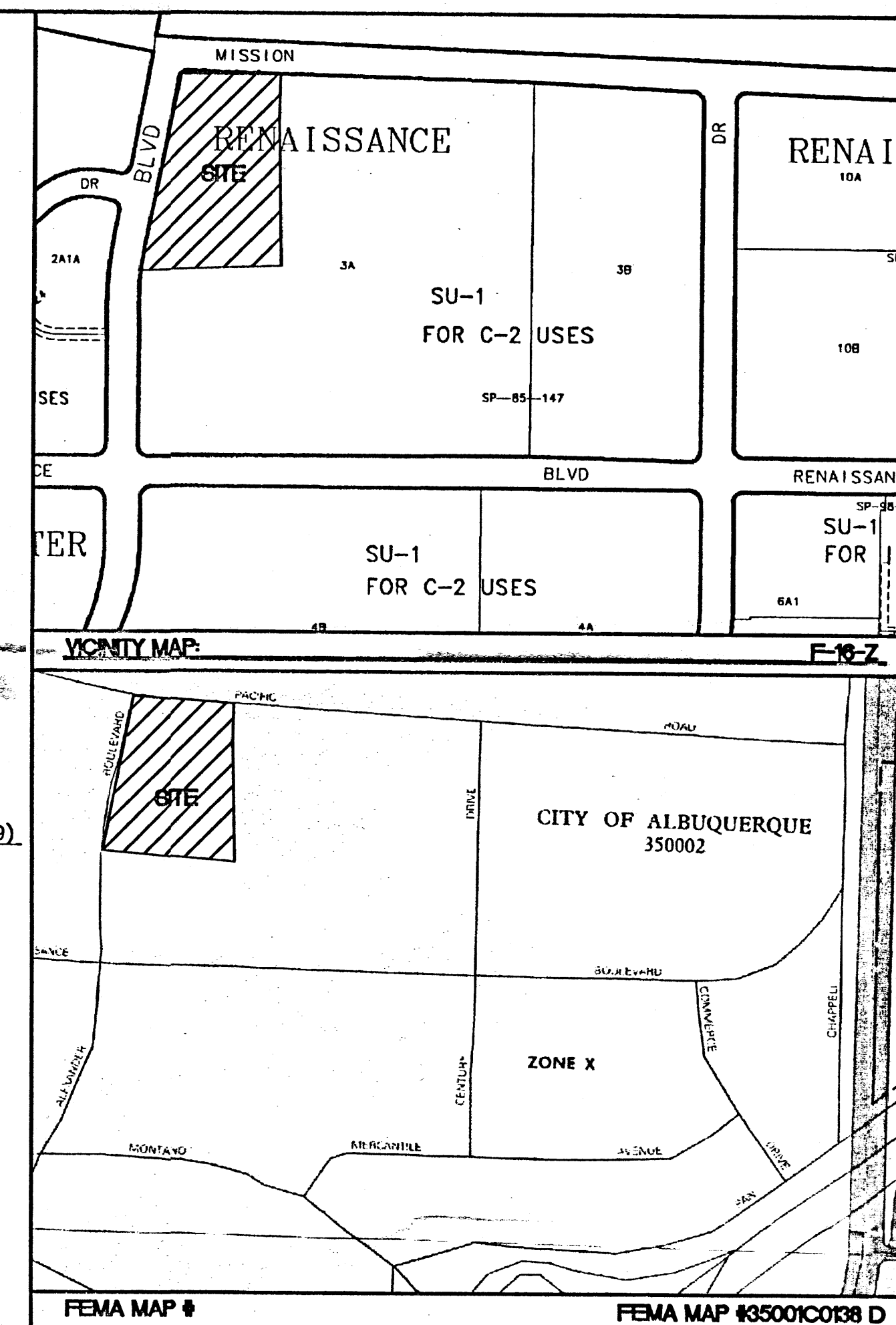
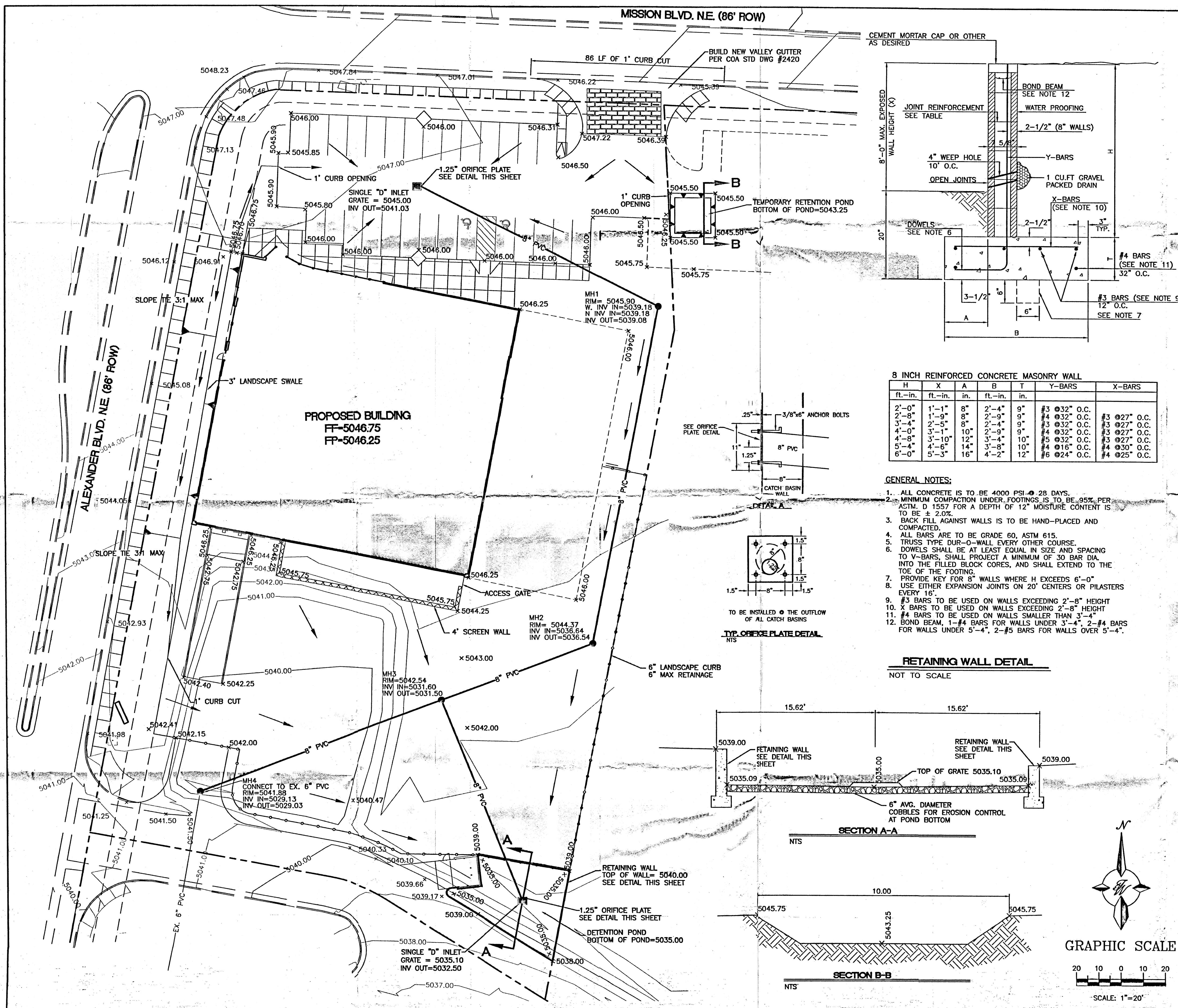
TERRA WEST, LLC
4421 McLEOD ROAD, N.E., SUITE D
ALBUQUERQUE, NEW MEXICO 87109
(505)883-7592

RONALD R. BOHANNAN
P.E. #7868

DRAWN BY BDC
DATE 5-25-99
9868GRA.DWG
SHEET # 3 OF 5
JOB # 980068



RECEIVED
MAY 23 2002
HYDROLOGY SECTION

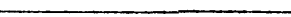


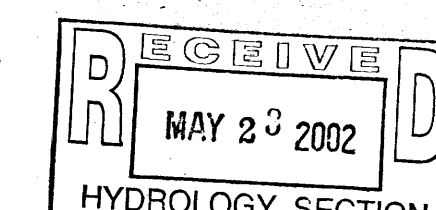
- NOTES:**
1. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED

EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY T.

LEGEND

- | | |
|---|-------------------------|
|  | PROPOSED SD MANHOLE |
|  | EXISTING SD MANHOLE |
|  | PROPOSED BUILDING |
|  | PROPOSED STORM LINE |
|  | CURB |
|  | EXISTING CURB & GUTTER |
|  | BOUNDARY LINE |
|  | EASEMENT |
| X 5039.00 | PROPOSED SPOT ELEVATION |
|  | EXISTING CONTOUR |
|  | EXISTING INDEX CONTOUR |
|  | SLOPE TIE |



ENGINEER'S SEAL 	CONTRACTOR'S YARD	HYDROLOGY SECTION DRAWN JDN
	GRADING AND DRAINAGE PLAN	DATE 9-14-00 9978HARGR.DWG
RONALD R. BOHANNAN P.E. #7868	 TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO - 87113 (505)858-3100	SHEET # 4 OF 6 JOB # 990078

