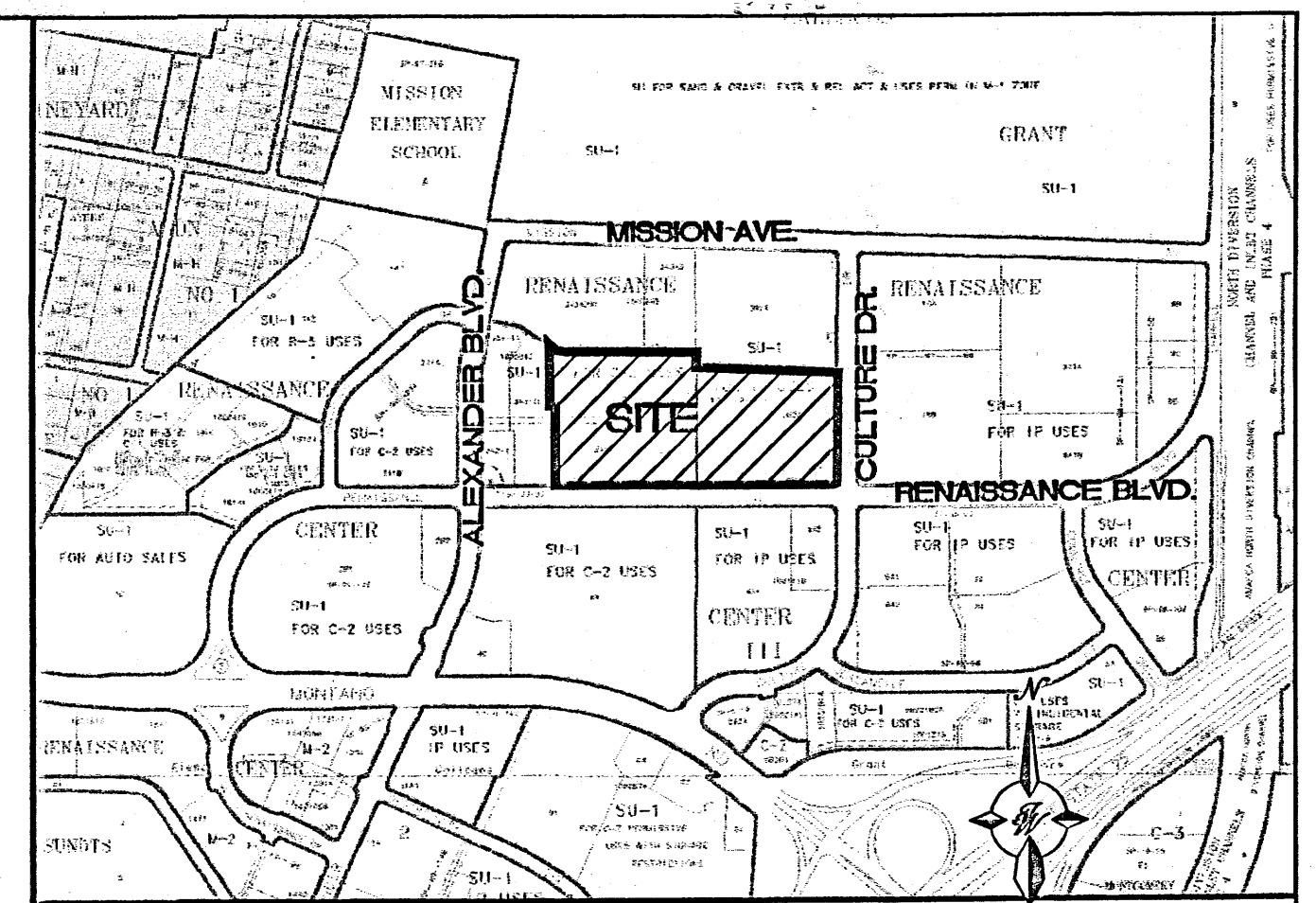


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2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



PACIFIC MISSION AVE.

ROAD

CITY OF ALBUQUERQUE
350002

ALEXANDER BLVD.
CULTURE DR.

DRIVE

SITE

BULEVARD

RENAISSANCE BLVD.
ZONE X

AVENUE

MONTANO

MERCANTILE

COMMERCE

CHAPPEL

PARK DRIVE

FIRM MAP:
35001 CO REE

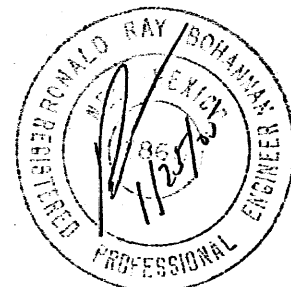
RENAISSANCE CENTER, TRACTS 34A-4 AND 3B2-A

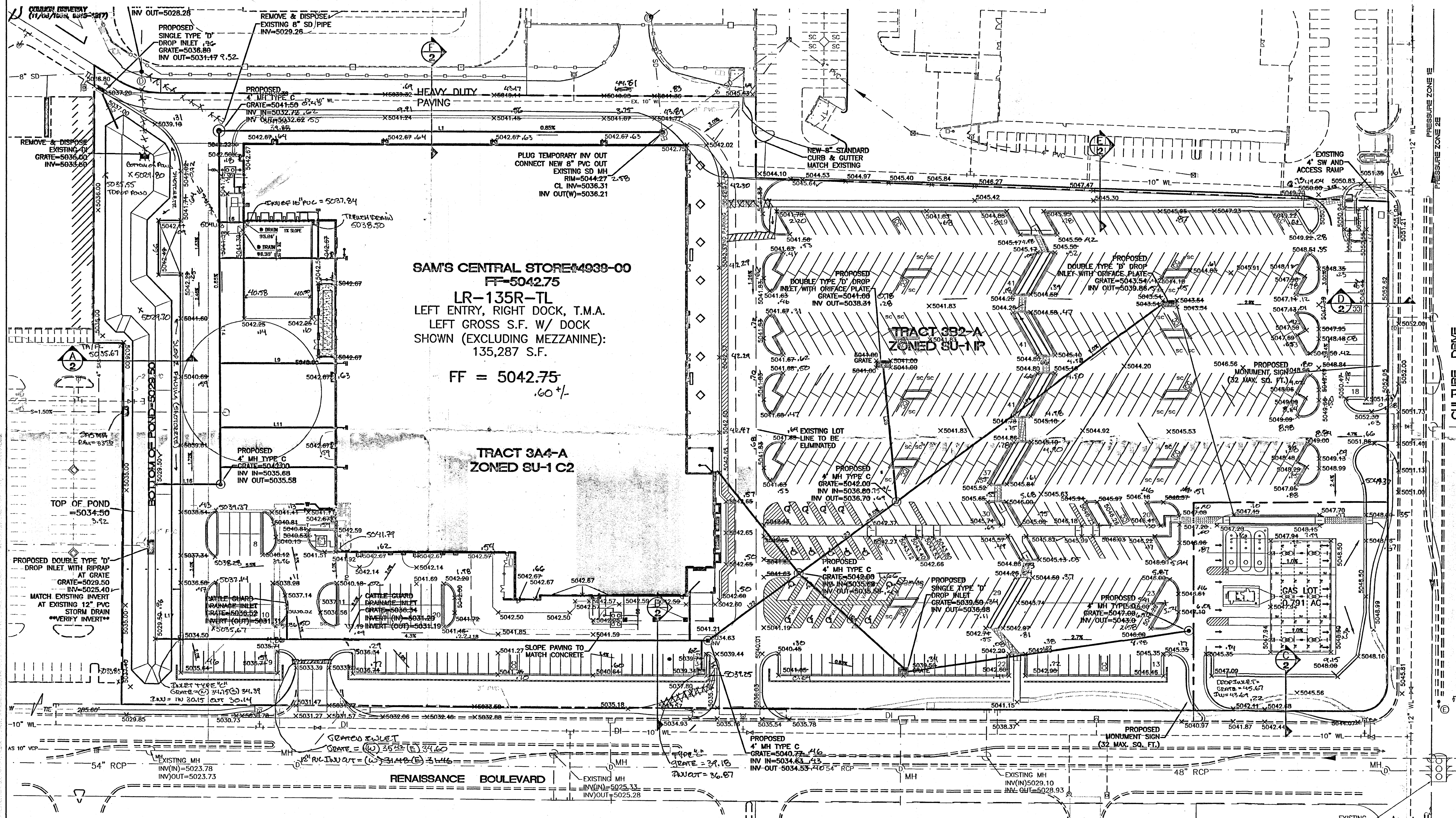
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L6	22.78	S90°00'00"W	10"	PVC
L7	105.27	S90°00'00"W	10"	PVC
L8	105.10	S90°00'00"W	10"	PVC
L9	104.93	S90°00'00"W	10"	PVC
L10	104.75	S90°00'00"W	10"	PVC
L11	104.58	S90°00'00"W	10"	PVC
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L26	130.46	N47°44'22"W	15"	PVC
L27	262.18	S81°31'41"W	10"	PVC

RECEIVED
APR 27 2006
HYDROLOGY SECTION

DATE _____

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL 	ALBUQUERQUE CENTRAL SAM'S STORE #4938-00		DRAWN BY B/JF DATE 01-17-05
	GRADING AND DRAINAGE PLAN		2424-GRB-01-17-05X
RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # C3
			JOB # 240024



DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NMPE, 7868 OF THE FIRM TIERRA WEST LLC,
HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN
SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF
THE APPROVED PLAN DATED 1/25/05 OF THE RECORD INFORMATION EDITED ON THE
ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY
J.J. BORDENAVE, NMPS, 5110 OF THE FIRM BASELINE FIELD SERVICES

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/27/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF DRAINAGE FOR PERMANENT CERTIFICATE OF OCCUPANCY

NOTE EXCEPTIONS HERE: NONE TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN AN INDEPENDENT

DRAINAGE CERT W/SURVEY WORK BY OTHERS
12/28/01

DRAINAGE CERTIFICATION

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HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN
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THE APPROVED PLAN DATED 01-17-05. THE RECORD INFORMATION EDITED ONTO THE
ORIGINAL _____.

ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY
JJ. BORDENAVE, NMPS, 5110, OF THE FIRM BASELINE FIELD SERVICES.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/30/06
AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS
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BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A

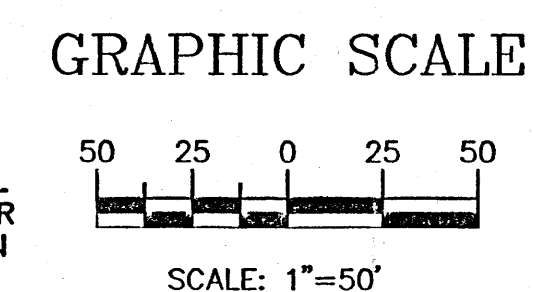
BEST OF MY KNOWLEDGE AND BELIEF, THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY

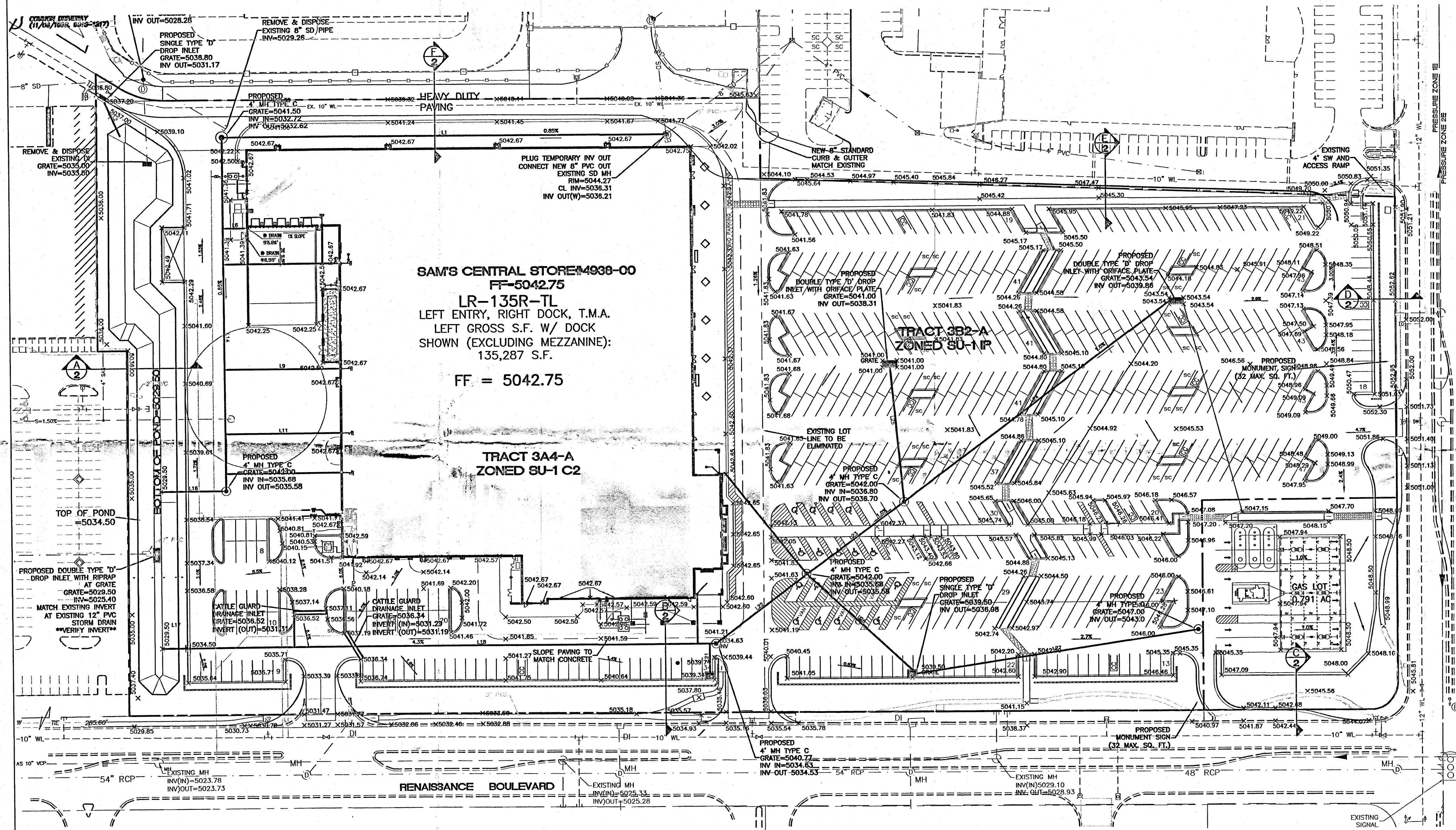
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CAUTION:

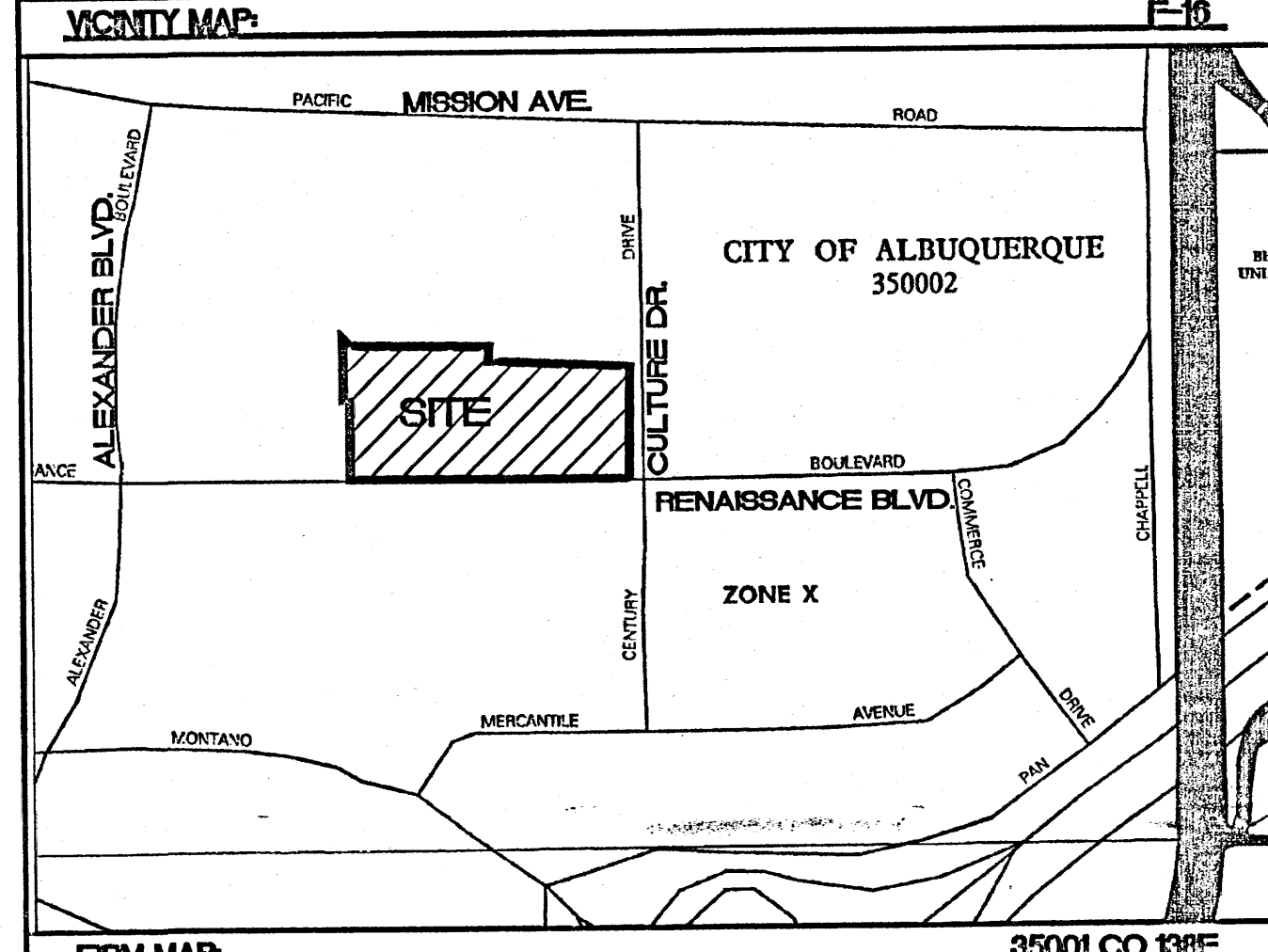
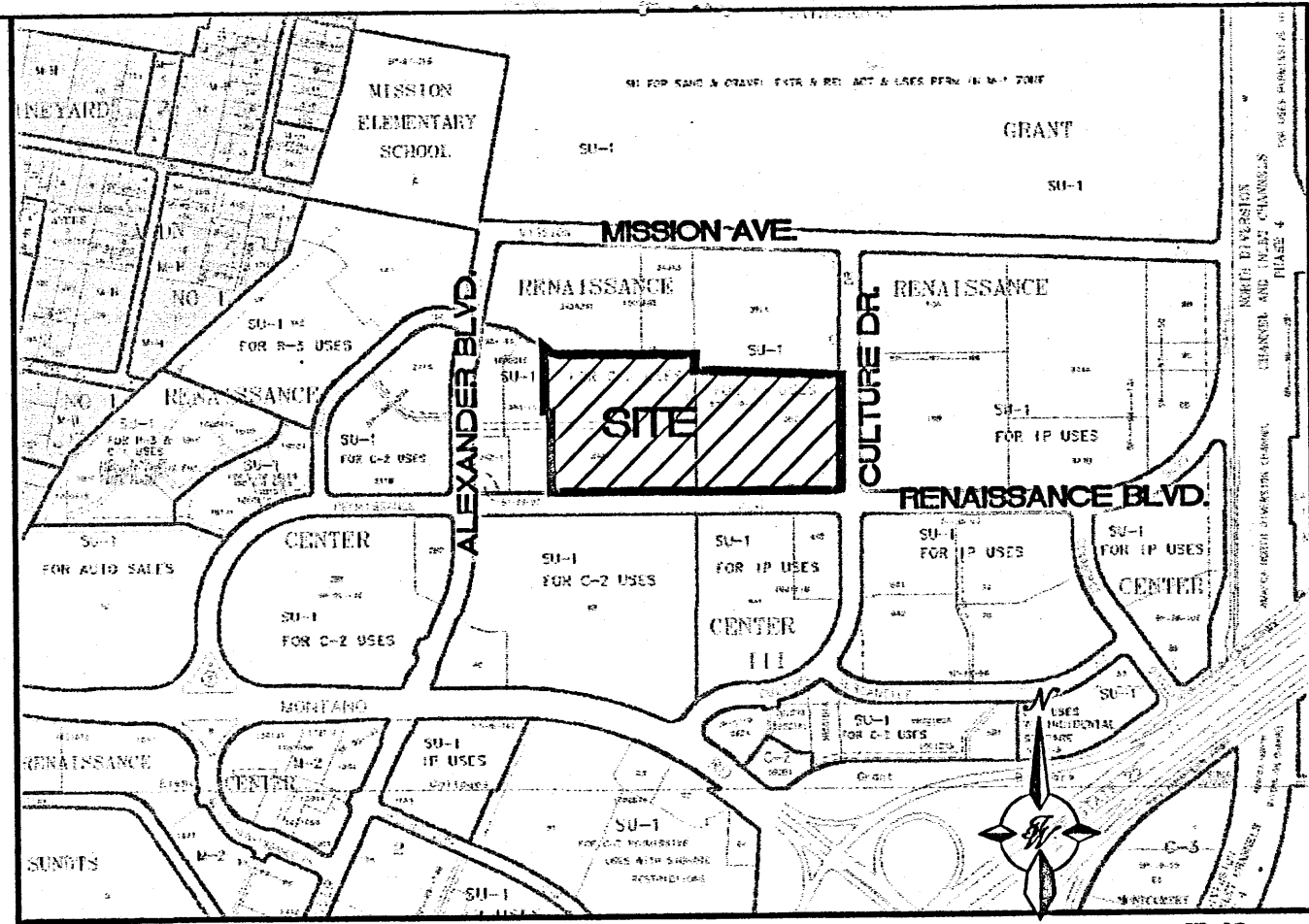
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EROSION CONTROL NOTES:

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LEGAL DESCRIPTION:
RENAISSANCE CENTER, TRACTS 3A4-A AND 3B2-A

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DRAINAGE CERT W/SURVEY WORK BY OTHERS
12/28/01

DRAINAGE CERTIFICATION

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I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/29/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

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RONALD R. BOHANNAN
NMPE
REGISTERED PROFESSIONAL ENGINEER

CAUTION:
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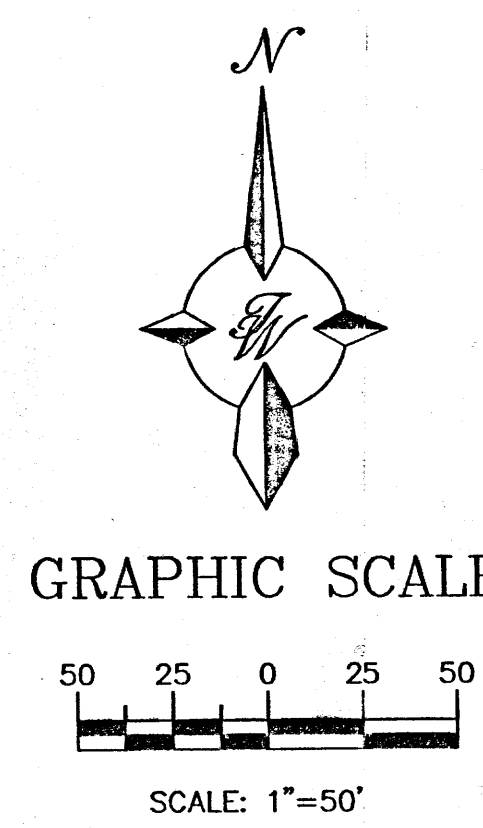
ROUGH GRADING APPROVAL

DATE: JAN 30 2006

NO. DATE REMARKS BY

REVISIONS

ENGINEER'S SEAL	ALBUQUERQUE CENTRAL SAM'S STORE #4938-00	DRAWN BY: <u>BJF</u>
	GRADING AND DRAINAGE PLAN	DATE: <u>01-17-05</u>
		SHEET # <u>C3</u>
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100		JOB # <u>240024</u>



SITE PLAN NOTES

1. ALL PRIVATE CONSTRUCTION SHALL BE AS PER WAL-MART SPECIFICATIONS UNLESS OTHERWISE NOTED
2. CART CORRALS WILL BE PROVIDED BY WAL-MART, TO BE ASSEMBLED AND INSTALLED BY CONTRACTOR.
3. REFER TO ARCHITECTURAL PLANS FOR BOLLARD DETAILS AND LOCATIONS.
4. LIGHT STANDARDS TO BE 36 FEET IN HEIGHT MAXIMUM. LIGHT FIXTURES SHALL HAVE FULL CUT-OFF SHIELDS SO NO FUGITIVE LIGHT ESCAPES BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE SHEET XX FOR BASE DETAIL.
5. THE TOP OF ROOFTOP EQUIPMENT SHALL BE BELOW PARAPET HEIGHT. THE TRANSFORMER AND TRASH COMPACTOR SHOULD BE SCREENED WITH A SCREEN WALL. THE TOP OF THE SCREEN WALL SHALL BE TALLER THAN THE TOP OF EQUIPMENT.

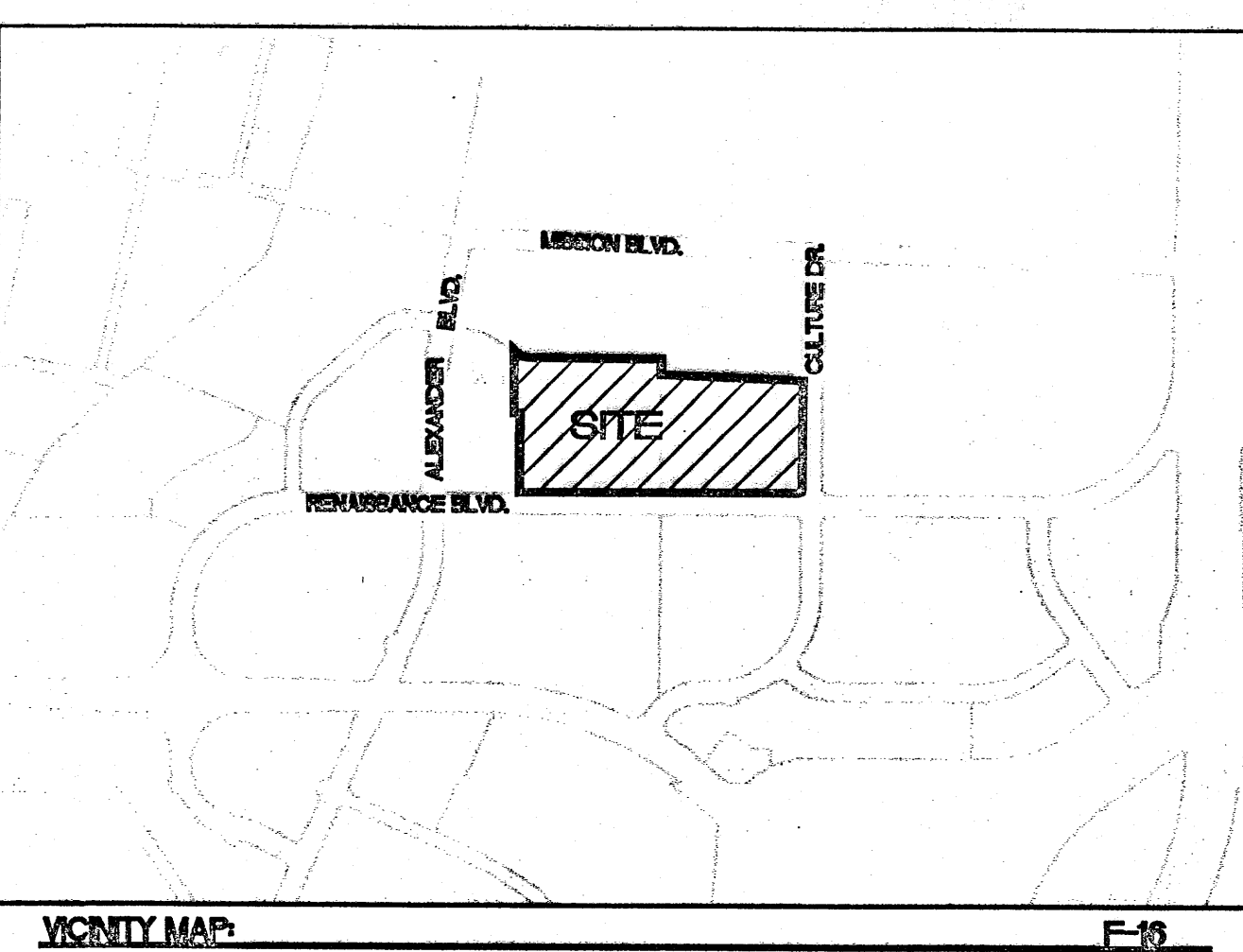
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7. INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
8. NO GENERIC FRANCHISE DESIGNS SHALL BE PERMITTED.
9. SEE SHEET C8 & C10 FOR SIGNAGE DETAILS.
10. DETAILS SHEET C11 FOR DRIVE ISLANDS AND STRIPING DETAILS.
11. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
12. SEE DETAILS SHEET C11 FOR PAVING SECTIONS.
13. THERE SHALL BE NO BACKLIT, PLASTIC OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.

LINE TABLE		
LINE	LENGTH	BEARING
L1	28.93	N89°49'07"W
L2	28.52	S58°22'07"E
L3	73.84	S00°00'00"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH. BEARING
C1	41.16	75.00	31°26'51"	21.12	S74°05'26"E
C2	47.13	30.00	90°00'22"	30.00	N45°11'04"E

PAINT STRIPING LEGEND

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
 SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

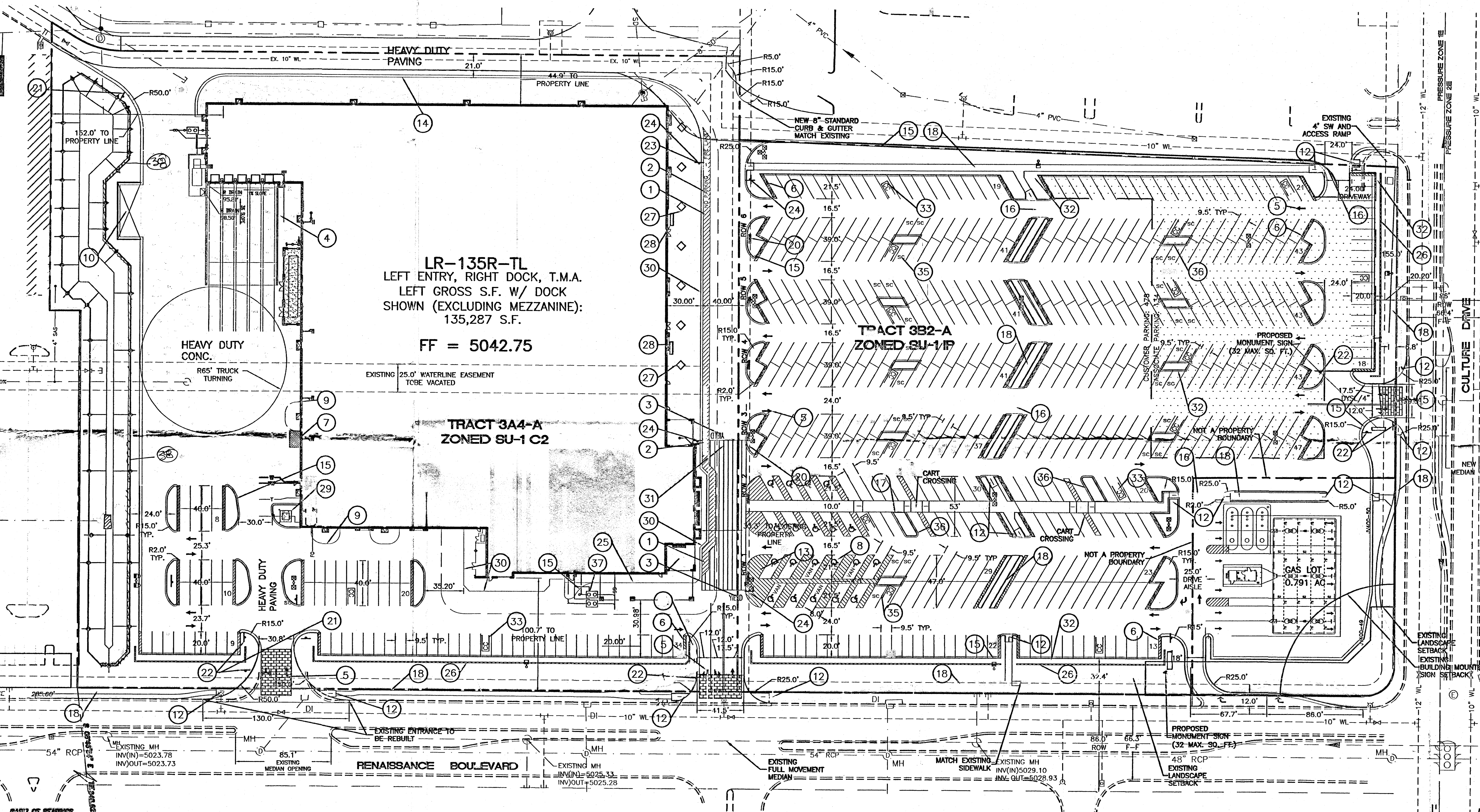


VICINITY MAP

LEGAL DESCRIPTION:
 RENAISSANCE CENTER, TRACTS 34A-4 AND 3B2-A

KEYED NOTES

1. 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL. CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS.
2. "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80° O.C. LETTERS TO BE A MINIMUM 2'-0" TALL.
3. "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL.
4. PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
5. PAINTED DIRECTIONAL ARROW TYPICAL.
6. 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
7. 10' x 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JB CRANE LOCATION. SEE ARCH. PLANS
8. ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
9. RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
10. 1000 SF BALE AND PALLET STORAGE AREA
11. SCREEN WALL PER ARCH. PLANS - Not Used.
12. UNIDIRECTIONAL HC RAMP.
13. PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
14. 6" CONCRETE CURB AND GUTTER TYPICAL.
15. 6" CONCRETE HEADER CURB TYPICAL.
16. 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK (SHT 8)
17. 6" WIDE CONCRETE SIDEWALK TYPICAL.
18. 6" CONCRETE SIDEWALK TYPICAL.
19. 4" CONCRETE SIDEWALK TYPICAL.
20. AISLE INDICATOR SIGNS TYPICAL
21. "TRUCK ROUTE" SIGN.
22. "STOP" SIGN.
23. "NO TRUCKS" SIGN.
24. PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
25. 6" DIA. PIPE BOLLARD TYPICAL.
26. 3' HIGH SCREEN WALL.
27. 6"x6" TREE PLANTER TYPICAL.
28. (2) 16 SPACE BIKE RACK TYPICAL.
29. CONCRETE TRANSFORMER PAD, CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS
30. ZERO CURB PER ARCH. SECTIONS
31. PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
32. PROPOSED LIGHTING.
33. CART CORRALS TYPICAL.
34. PROPOSED HC RAMP.
35. SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
36. TREE PLANTER TYPICAL.
37. PROPOSED GREASE AND OIL SEPARATOR LOCATION. COORDINATE WITH ARCHITECT.
38. Paved Retaining Wall w/ Fencing



SITE DATA

PROPOSED USAGE:	RETAIL COMMERCIAL, GAS STATION
EXISTING ZONING:	SU-1 for C2 & SU-1 for IP
LOT AREA:	
SAM'S TRACT	13,346 AC
GAS LOT 1	0.792 AC
TOTAL:	14,138± AC
BUILDING AREA:	
SAM'S CLUB	135,287 SF
LANDSCAPING:	
PROVIDED:	81,704 SF
REQUIRED:	64,114 SF
PARKING PROVIDED:	
PARKING PROVIDED	612 SPACES
PARKING RATIO:	4.52
PARKING REQUIRED: RETAIL AREA	506 SPACES
HC PARKING PROVIDED:	
HC PARKING PROVIDED:	20 SPACES (4 VAN)
	16 SPACES
	4 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	
BIKE SPACES PROVIDED:	32 SPACES
	26 SPACES

LEGEND

---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	PROPOSED SCREEN WALL
---	PROPOSED RETAINING WALL
---	PROPOSED SIDEWALK
---	PROPOSED BOLLARD
---	PROPOSED PEDESTRIAN CROSSWALK
---	PROPOSED CART CORRALS
---	STANDARD DUTY PAVING
---	HEAVY DUTY PAVING
---	HEAVY DUTY CONCRETE
---	BIKE RACK

PROJECT NUMBER: 1000045
 APPLICATION NUMBER: 04-01978

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 12/16/03, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ☒ Yes ☐ No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

 Date: 1-28-05
 Title: Engineer, Transportation Division

 Date: 1-26-05
 Title: Utilities Development

 Date: 1/26/05
 Title: Parks & Recreation Department

 Date: 3/30/05
 Title: City Engineer

 Date: 3/30/05
 Title: Environmental Health Department (conditional)

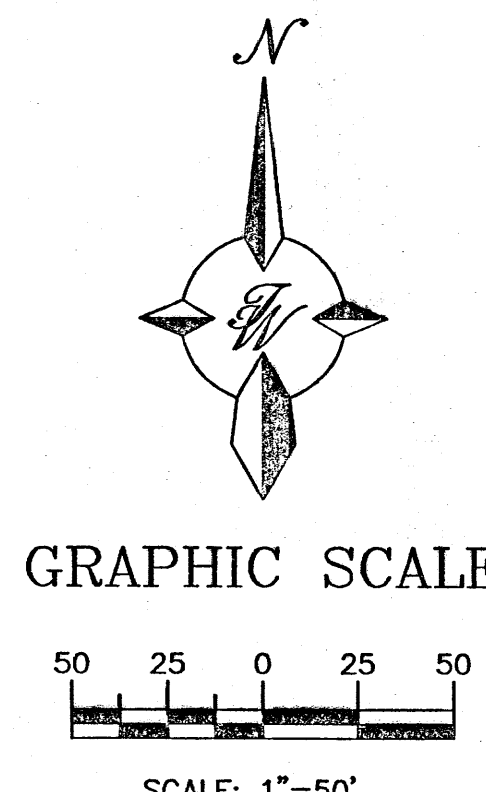
 Date: 3-8-05
 Title: Solid Waste Management

 Date: 3/30/05
 Title: DRG Chairperson, Planning Department

* Environmental Health, if necessary
 12/16/03

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. MASTER UTILITY PLAN
- C3. GRADING AND DRAINAGE PLAN
- C4. GRADING AND DRAINAGE DETAILS
- C5. LANDSCAPING PLAN
- C6. BUILDING ELEVATIONS
- C7. BUILDING ELEVATIONS
- C8. SIGNAGE DETAILS
- C9. GAS STATION ELEVATIONS
- C10. GAS STATION SIGNAGE
- C11. DETAILS



RECEIVED JAN 30 2006 HYDROLOGY SECTION		NO.		DATE	REMARKS	BY
		ENGINEER'S SEAL ALBUQUERQUE SAM'S CENTRAL STORE #4938-00 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 598283				
DRAWN BY BJF		DATE 01-17-05		SHEET # DRC3		
2424SPB-01-17-05x		JOB # 240024				

SITE PLAN NOTES

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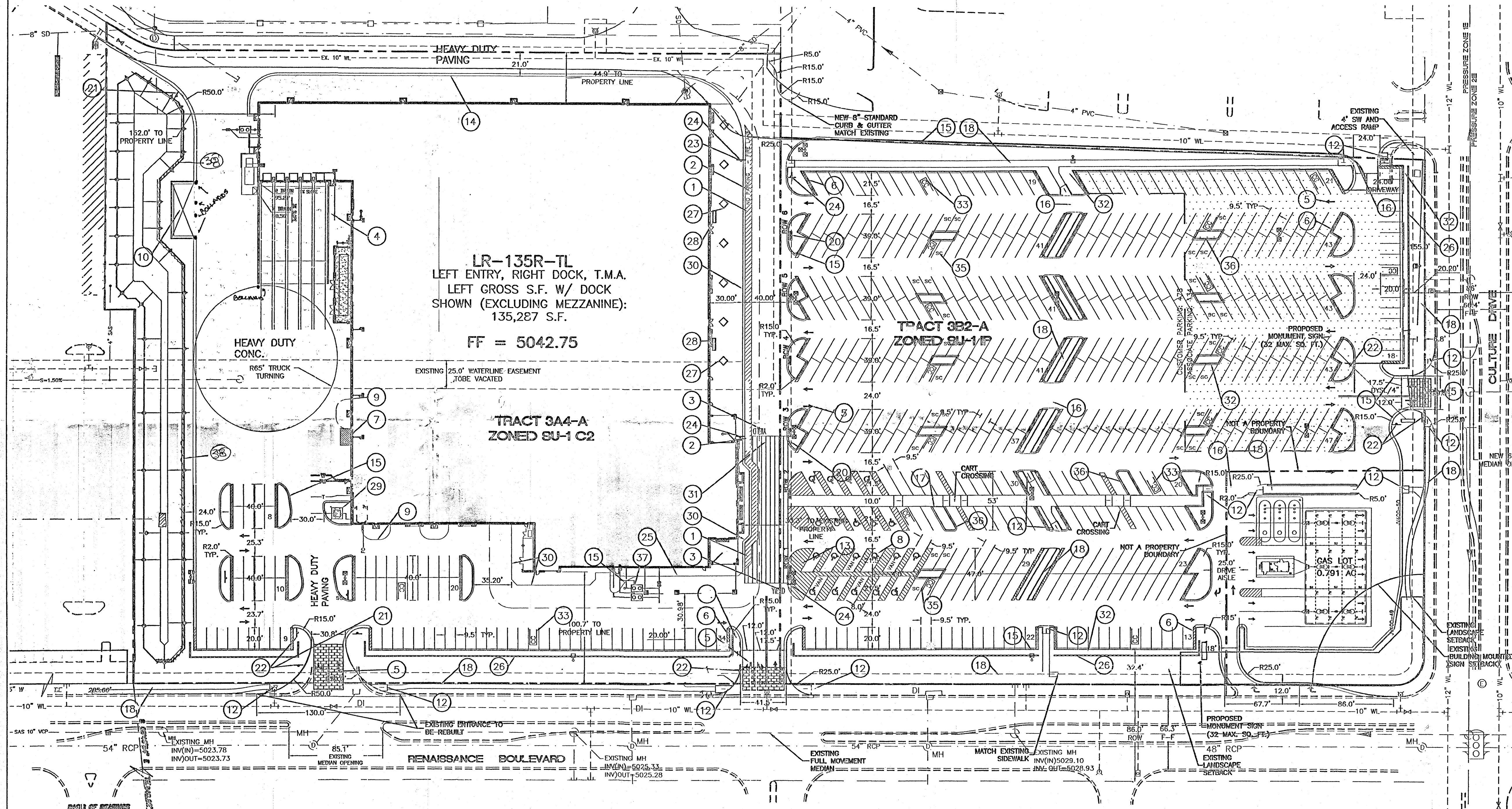
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L3	73.84	S00°00'00"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH. BEARING
C1	41.16	75.00	31°26'51"	21.12	S74°05'26"E
C2	47.13	30.00	90°00'22"	30.00	N45°11'04"E

PANT STRIPING LEGEND

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 SYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
 SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE



SITE DATA

PROPOSED USAGE:	RETAIL COMMERCIAL, GAS STATION
EXISTING ZONING:	SU-1 for C2 & SU-1 for IP
LOT AREA:	
SAM'S TRACT	13,346 AC
GAS LOT 1	0.792 AC
TOTAL:	14,138± AC.
BUILDING AREA:	
SAM'S CLUB	135,287 SF
LANDSCAPING:	
PROVIDED:	81,704 SF
REQUIRED:	64,114 SF
PARKING PROVIDED:	
PARKING PROVIDED:	612 SPACES
PARKING RATIO:	4.52
PARKING REQUIRED: RETAIL AREA	506 SPACES
HC PARKING PROVIDED:	20 SPACES (4 VAN)
HC PARKING REQUIRED:	16 SPACES
	4 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	32 SPACES
BIKE SPACES REQUIRED:	26 SPACES

LEGEND

---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	PROPOSED SCREEN WALL
---	PROPOSED RETAINING WALL
---	PROPOSED SIDEWALK
---	PROPOSED BOLLARD
---	PROPOSED PEDESTRIAN CROSSWALK
---	PROPOSED CART CORRALS
---	STANDARD DUTY PAVING
---	HEAVY DUTY PAVING
---	HEAVY DUTY CONCRETE
---	BIKE RACK

PROJECT NUMBER: 1000045

APPLICATION NUMBER: 04-01970

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 1/26/05, and the Findings and Conditions in the Official Notification of Decision are satisfied.

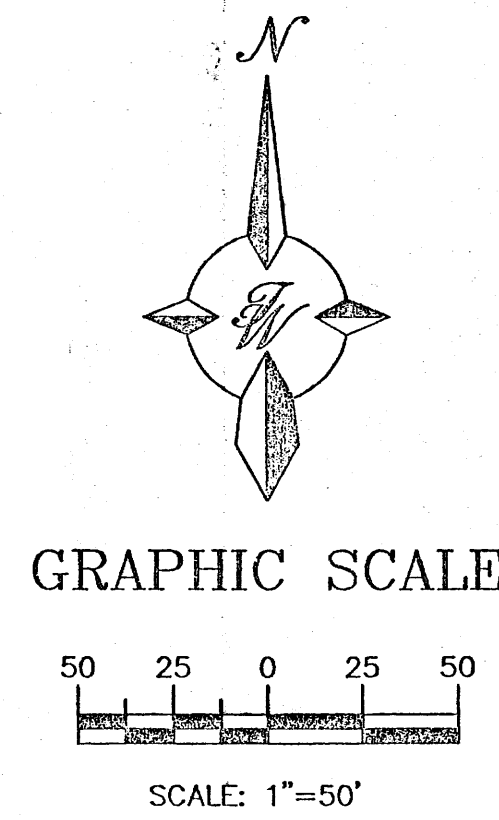
Is an Infrastructure List required? ☒ Yes ☐ No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Term: Engineer, Transportation Division	1-26-05
Signature: <i>Roger A. Silva</i>	Date: 1-26-05
Utilities Development	1/26/05
Signature: <i>Christina Dandora</i>	Date: 3/30/05
Parks & Recreation Department	3/30/05
Signature: <i>Paula L. Babin</i>	Date: 3/30/05
City Engineer	3/30/05
N/A	3/30/05
Environmental Health Department (conditional)	3-8-05
Signature: <i>Michael Holm</i>	Date: 3/8/05
Solid Waste Management	3/8/05
Signature: <i>Sharon Motion</i>	Date: 3/8/05
DRB Chairperson, Planning Department	

INDEX TO DRAWINGS

- SITE PLAN FOR BUILDING PERMIT
- MASTER UTILITY PLAN
- GRADING AND DRAINAGE PLAN
- GRADING AND DRAINAGE DETAILS
- LANDSCAPING PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- SIGNAGE DETAILS
- GAS STATION ELEVATIONS
- GAS STATION SIGNAGE
- DETAILS

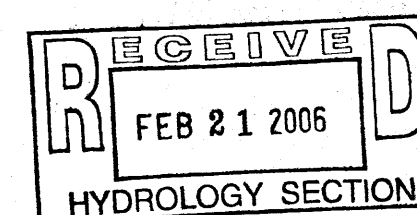


LEGAL DESCRIPTION

RENAISSANCE CENTER, TRACTS 3A4-A AND 3B2-A

KEYED NOTES

- 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS.
- "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80' O.C. LETTERS TO BE A MINIMUM 2'-0" TALL.
- "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL.
- PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- PAINTED DIRECTIONAL ARROW TYPICAL.
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 10' X 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JB CRANE LOCATION. SEE ARCH. PLANS
- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE)
- RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- 1000 SF BALE AND PALLET STORAGE AREA
- SCREEN-WALL-PER-ARCH-PLANS- Not Used.
- UNIDIRECTIONAL HC RAMP.
- PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- 6" CONCRETE CURB AND GUTTER TYPICAL.
- 6" CONCRETE HEADER CURB TYPICAL.
- 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8)
- 6" WIDE CONCRETE SIDEWALK TYPICAL.
- 6" CONCRETE SIDEWALK TYPICAL.
- 4" CONCRETE SIDEWALK TYPICAL.
- ASILE INDICATOR SIGNS TYPICAL
- "TRUCK ROUTE" SIGN.
- "STOP" SIGN.
- "NO TRUCKS" SIGN.
- PEDESTRIAN CROSSING SIGN With-2 and With-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 6" DIA. PIPE BOLLARD TYPICAL.
- 3' HIGH SCREEN WALL.
- 6"x6" TREE PLANTER TYPICAL.
- (2) 16 SPACE BIKE RACK TYPICAL.
- CONCRETE TRANSFORMER PAD, CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS
- ZERO CURB PER ARCH. SECTIONS
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- PROPOSED LIGHTING.
- CART CORRALS TYPICAL.
- PROPOSED HC RAMP.
- SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- TREE PLANTER TYPICAL.
- PROPOSED GREASE AND OIL SEPARATOR LOCATION. COORDINATE WITH ARCHITECT.
- Plans Retaining Wall w/ Fencing



NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL			DRAWN BY BJF
ALBUQUERQUE SAM'S CENTRAL STORE #4938-00			DATE 01-17-05
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT			2424SPB-01-17-05x
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			SHEET # DRC3
RONALD R. BOHANNAN P.E. #7268			JOB # 240024

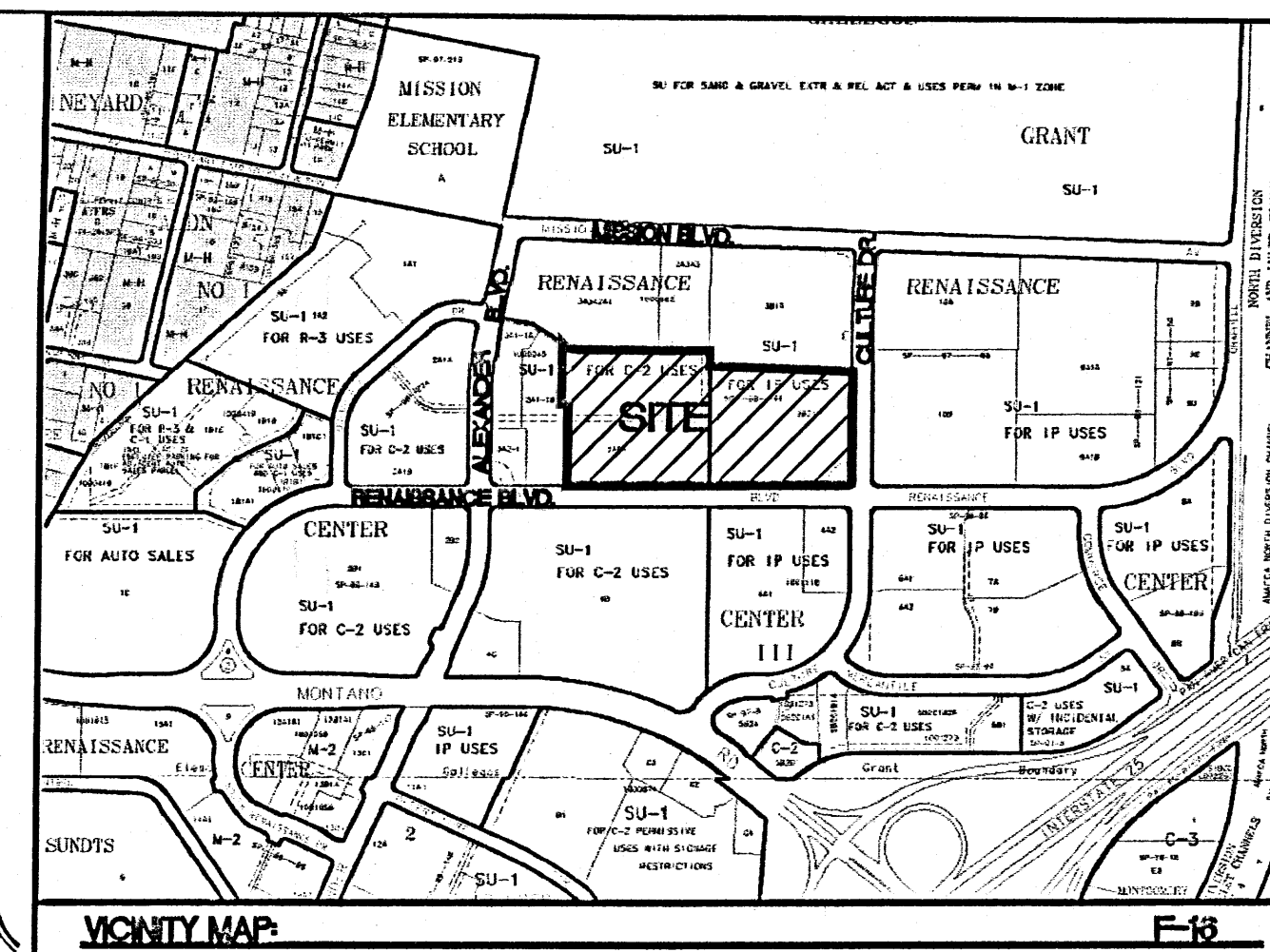
SITE PLAN NOTES

- ALL PRIVATE CONSTRUCTION SHALL BE AS PER WAL-MART SPECIFICATIONS UNLESS OTHERWISE NOTED
- CAST-IN-PLACE CANT CORNERS TO BE INSTALLED BY CONTRACTOR.
- REFER TO ARCHITECTURAL PLANS FOR BOLLARD DETAILS AND LOCATIONS.
- LIGHT STANDARDS TO BE 25 FEET IN HEIGHT MAXIMUM. LIGHT FIXTURES SHALL HAVE FULL CUT-OFF SHIELDS SO NO FUGITIVE LIGHT ESCAPES BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE SHEET C13 FOR BASE DETAIL.
- REFER TO ARCH. PLANS FOR SIGNAGE DETAILS.
- DETAILS SHEET C11 FOR DRIVE ISLANDS AND STRIPING DETAILS.

- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- SEE DETAILS SHEET C10 FOR PAVING SECTIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC OR VINYL AWINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- GENERAL CONTRACTOR SHALL GRADE FUELING STATION SITE, AND PROVIDE UTILITY AND FIBER OPTIC STUBS TO 5 FT. PAST PERMANENT PAVING.

PAINT STRIPING LEGEND

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
 DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 SYSL/10" - SINGLE YELLOW SOLID LINE / 10" WIDE
 SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
 SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE



VICINITY MAP

LEGAL DESCRIPTION

RENAISSANCE CENTER, TRACTS 34A-4 AND 3B2-A

KEYED NOTES

- 6" WIDE FIRE LANE WITH 6" WIDE PAINTED TRAFFIC RED STRIPING AT 45° TYPICAL. CURB TO BE PAINTED TRAFFIC RED AT THESE LOCATIONS.
- NO PARKING-FIRE LANE PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80° O.C. LETTERS TO BE A MINIMUM 2'-0" TALL.
- "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL.
- PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- PAINTED DIRECTIONAL ARROW TYPICAL.
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
- 10' X 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JB CRANE LOCATION. SEE ARCH. PLANS
- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
- RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- 20.5' X 50' BALE AND PALLET STORAGE AREA
- TREE GRATE (SEE DETAIL SHEET C11)
- UNIDIRECTIONAL HC RAMP.
- PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- TYPE "A" CURB AND GUTTER TYPICAL. (SEE DETAIL SHEET C10)
- 6" CONCRETE HEADER CURB TYPICAL.
- 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK (SHT 8)
- 6" WIDE CONCRETE SIDEWALK TYPICAL.
- 6" CONCRETE SIDEWALK TYPICAL.
- BRICK PAVEMENT (SEE DETAIL SHEET C10)
- ASILE INDICATOR SIGNS TYPICAL
- "TRUCK ROUTE" SIGN.
- "STOP" SIGN.
- "NO TRUCKS" SIGN.
- PEDESTRIAN CROSSING SIGN W10-2 AND W10-2P TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 6" DIA. PIPE BOLLARD TYPICAL.
- 3' HIGH SCREEN WALL (SEE SHEET C5)
- 6'x6' TREE-PLANTER-TYPICAL
- (2) 16 SPACE BIKE RACK TYPICAL
- CONCRETE TRANSFORMER PAD, CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS
- ZERO CURB PER ARCH. SECTIONS
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- PROPOSED LIGHTING.
- CART CORNERS TYPICAL.
- COMPACTOR
- SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- TREE PLANTER TYPICAL
- CUSTOMER LOADING
- "NO RIGHT TURN" SYMBOL

SITE DATA

PROPOSED USAGE: RETAIL COMMERCIAL, GAS STATION
 EXISTING ZONING: SU-1 for C2 & SU-1 for IP
 LOT AREA: 13.346 AC
 SAM'S TRACT: 0.792 AC
 TOTAL: 14.138± AC
 BUILDING AREA: 135,287 SF
 SAM'S CLUB
 LANDSCAPING: 81,704 SF
 PROVIDED: 64,114 SF
 REQUIRED:
 PARKING PROVIDED: 642 SPACES
 PARKING PROVIDED: 452 SPACES
 PARKING RATIO: 506 SPACES
 PARKING REQUIRED: RETAIL AREA
 HC PARKING PROVIDED: 20 SPACES (4 VAN)
 MEDIAN AGE: LESS THAN 40
 HC PARKING REQUIRED: 16 SPACES (4 SPACES VAN ACCESSIBLE)
 WAL-MART REQUIREMENT (2% OF TOTAL PARKING PLUS 2 SPACES)
 BIKE SPACES PROVIDED: 32 SPACES
 BIKE SPACES REQUIRED: 26 SPACES

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED SIDEWALK
- PROPOSED BOLLARD
- PROPOSED PEDESTRIAN CROSSWALK
- PROPOSED CART CORNERS
- STANDARD DUTY PAVING
- HEAVY DUTY PAVING
- HEAVY DUTY CONCRETE
- BIKE RACK
- TRAFFIC SIGN
- ROW SIGN
- DOUBLE STRIPING

HUBBELL CATALOG NO.: MSA1000P-BW2AR
 3 luminaires per location, candela file "HP09164A.IES"
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 42 ft
 number locations = 4, number luminaires = 12
 for all locations = 13.0

HUBBELL CATALOG NO.: MSA1000P-BW2AR
 2 luminaires per location, candela file "HP09164A.IES"
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 42 ft
 number locations = 6, number luminaires = 12
 for all locations = 13.0

HUBBELL CATALOG NO.: MSA1000P-BP2ARGS
 2 luminaires per location, candela file "HP08381.IES"
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 42 ft
 number locations = 2, number luminaires = 4
 for all locations = 4.3

HUBBELL CATALOG NO.: MSA1000P-BP2ARGS
 2 luminaires per location, candela file "HP08381.IES"
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 42 ft
 number locations = 2, number luminaires = 4
 for all locations = 4.3

GRAPHIC SCALE

SCALE: 1"=50'

3	7/26/05	MOVED MONUMENT SIGN TO SOUTH SIDE OF CULTURE ENTRANCE	SARA L
2	5/16/05	ADDED RETAINING WALL TO WEST SIDE OF POND, RELOCATED COMPACTOR, ADDED PAVEMENT MARKING FOR CUSTOMER LOADING AREA, REMOVED AND RELOCATED SOME CART CORNERS, DECREASED ASSOCIATE PARKING TO 100 SPACES INCREASED CUSTOMER PARKING TO 512	SARA L
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE CENTRAL SAM'S STORE #4938-00	DRAWN BY: BJF
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT			DATE: 07-26-05
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			2424SP-07-26-05x
RONALD R. BOHANNAN P.E. #7868			SHEET # C3
			JOB # 240024

SITE PLAN NOTES

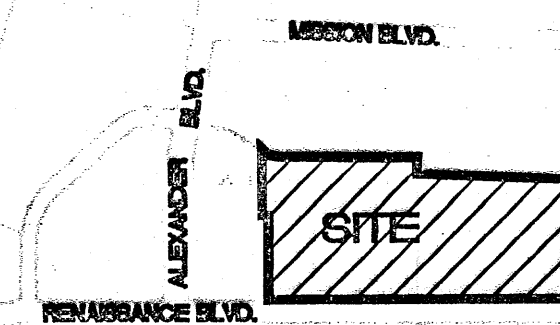
- ALL PRIVATE CONSTRUCTION SHALL BE AS PER WAL-MART SPECIFICATIONS UNLESS OTHERWISE NOTED
- CART CORRALS WILL BE PROVIDED BY WAL-MART, TO BE ASSEMBLED AND INSTALLED BY CONTRACTOR.
- REFER TO ARCHITECTURAL PLANS FOR BOLLARD DETAILS AND LOCATIONS.
- LIGHT STANDARDS TO BE 36 FEET IN HEIGHT MAXIMUM. LIGHT FIXTURES SHALL HAVE FULL CUT-OFF SHIELDS SO NO FUGITIVE LIGHT ESCAPES BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE SHEET XX FOR BASE DETAIL.
- THE TOP OF ROOFTOP EQUIPMENT SHALL BE BELOW PARAPET HEIGHT. THE TRANSFORMER AND TRASH COMPACTOR SHOULD BE SCREENED WITH A SCREEN WALL. THE TOP OF THE SCREEN WALL SHALL BE TALLER THAN THE TOP OF EQUIPMENT.

- THE REFUSE ENCLOSURE AND THE SCREEN WALLS SHALL BE COMPATIBLE IN DESIGN, COLOR AND MATERIAL WITH THE BUILDING ARCHITECTURE.
- INDOOR OR SECURED (FENCED AND GATED) BICYCLE STORAGE SHALL BE PROVIDED FOR EMPLOYEES OF THE BUSINESS.
- NO GENERIC FRANCHISE DESIGNS SHALL BE PERMITTED.
- SEE SHEET C8 & C10 FOR SIGNAGE DETAILS.
- DETAILS SHEET C11 FOR DRIVE ISLANDS AND STRIPING DETAILS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- SEE DETAILS SHEET C11 FOR PAVING SECTIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.

LINE TABLE		
LINE	LENGTH	BEARING
L1	26.93	N89°49'07"W
L2	26.52	S58°22'07"E
L3	73.84	S00°00'00"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH. BEARING
C1	41.16	75.00	31°26'51"	21.12	S74°05'28"E
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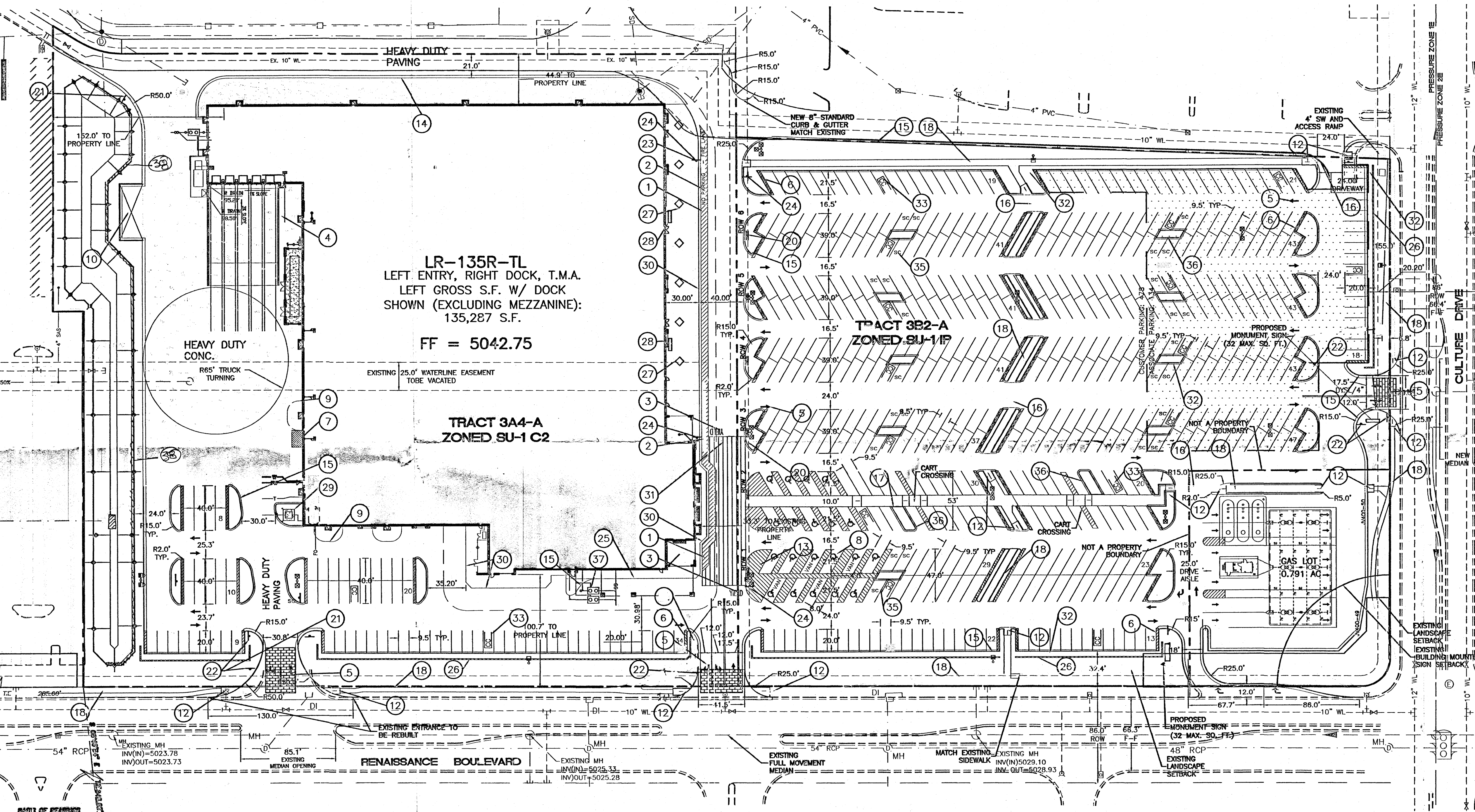
F-15

LEGAL DESCRIPTION

RENAISSANCE CENTER, TRACTS 34A-4 AND 3B2-A

KEYED NOTES

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- "NO PARKING-FIRE LANE" PAINTED TRAFFIC YELLOW ON PAVEMENT AT 80° O.C. LETTERS TO BE A MINIMUM 2'-0" TALL.
- "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL.
- PROVIDE (2) 4" WIDE YELLOW STRIPES @ 10' O.C. x 130' LONG CENTER ON DOCK DOORS
- PAINTED DIRECTIONAL ARROW TYPICAL.
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
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- RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK AT 5.0% MAX. SLOPE. REFER TO ARCHITECTURAL PLANS.
- 1000 SF BALE AND PALLET STORAGE AREA
- SCREEN WALL PER ARCH. PLANS - Not Used.
- UNIDIRECTIONAL HC RAMP.
- PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
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- 6" CONCRETE HEADER CURB TYPICAL.
- 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK. (SHT 8)
- 6" WIDE CONCRETE SIDEWALK TYPICAL.
- 6" CONCRETE SIDEWALK TYPICAL.
- 4" CONCRETE SIDEWALK TYPICAL.
- ALSO INDICATOR SIGNS TYPICAL.
- "TRUCK ROUTE" SIGN.
- "STOP" SIGN.
- "NO TRUCKS" SIGN.
- PEDESTRIAN CROSSING SIGN W/10'-2 AND W/10'-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- 6" DIA. PIPE BOLLARD TYPICAL.
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- 6"x6" TREE PLANTER TYPICAL.
- (2) 16 SPACE BIKE RACK TYPICAL.
- CONCRETE TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- ZERO CURB PER ARCH. SECTIONS
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- PROPOSED LIGHTING.
- CART CORRALS TYPICAL.
- PROPOSED HC RAMP.
- SMALL CAR MARKER, "COMPACT" PAINTED YELLOW ON PAVEMENT TYPICAL.
- TREE PLANTER TYPICAL.
- PROPOSED GREASE AND OIL SEPARATOR LOCATION. COORDINATE WITH ARCHITECT.
- Remove Retaining Wall w/ Fencing



SITE DATA

PROPOSED USAGE:	RETAIL COMMERCIAL, GAS STATION
EXISTING ZONING:	SU-1 for C2 & SU-1 for IP
LOT AREA:	
SAM'S TRACT	13,346 AC
GAS LOT 1	0.792 AC
TOTAL:	14,138± AC.
BUILDING AREA:	
SAM'S CLUB	135,287 SF
LANDSCAPING:	
PROVIDED:	81,704 SF
REQUIRED:	64,114 SF
PARKING PROVIDED:	
PARKING PROVIDED	612 SPACES
PARKING RATIO:	4.52
PARKING REQUIRED: RETAIL AREA	506 SPACES
HC PARKING PROVIDED:	
HC PARKING REQUIRED:	20 SPACES (4 VAN)
	16 SPACES
	4 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	
BIKE SPACES REQUIRED:	32 SPACES
	26 SPACES

LEGEND

---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	PROPOSED SCREEN WALL
---	PROPOSED RETAINING WALL
---	PROPOSED SIDEWALK
---	PROPOSED BOLLARD
---	PROPOSED PEDESTRIAN CROSSWALK
---	PROPOSED CART CORRALS
---	STANDARD DUTY PAVING
---	HEAVY DUTY PAVING
---	HEAVY DUTY CONCRETE
---	BIKE RACK

PROJECT NUMBER: 1000045
APPLICATION NUMBER: 04-01970

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 12/16/03, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ☒ Yes ☐ No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRC SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] Date: 1-28-05
 Town Engineer, Transportation Division

[Signature] Date: 1-26-05
 Utilities Development

[Signature] Date: 1/26/05
 Christine O'Connell
 Parks & Recreation Department

[Signature] Date: 3/26/05
 Brady L. Babin
 City Engineer

[Signature] Date: 3/30/05
 N/A
 * Environmental Health Department (conditional)

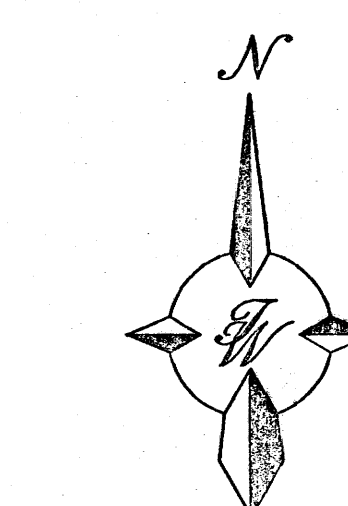
[Signature] Date: 3-8-05
 Michael Holten
 Solid Waste Management

[Signature] Date: 3/30/05
 Sherrin Matson
 DRC Chairperson, Planning Department

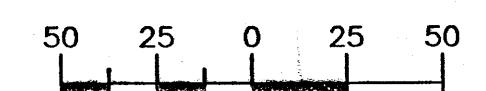
* Environmental Health, if necessary
 12/16/03

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. MASTER UTILITY PLAN
- C3. GRADING AND DRAINAGE PLAN
- C4. GRADING AND DRAINAGE DETAILS
- C5. LANDSCAPING PLAN
- C6. BUILDING ELEVATIONS
- C7. BUILDING ELEVATIONS
- C8. SIGNAGE DETAILS
- C9. GAS STATION ELEVATIONS
- C10. GAS STATION SIGNAGE
- C11. DETAILS

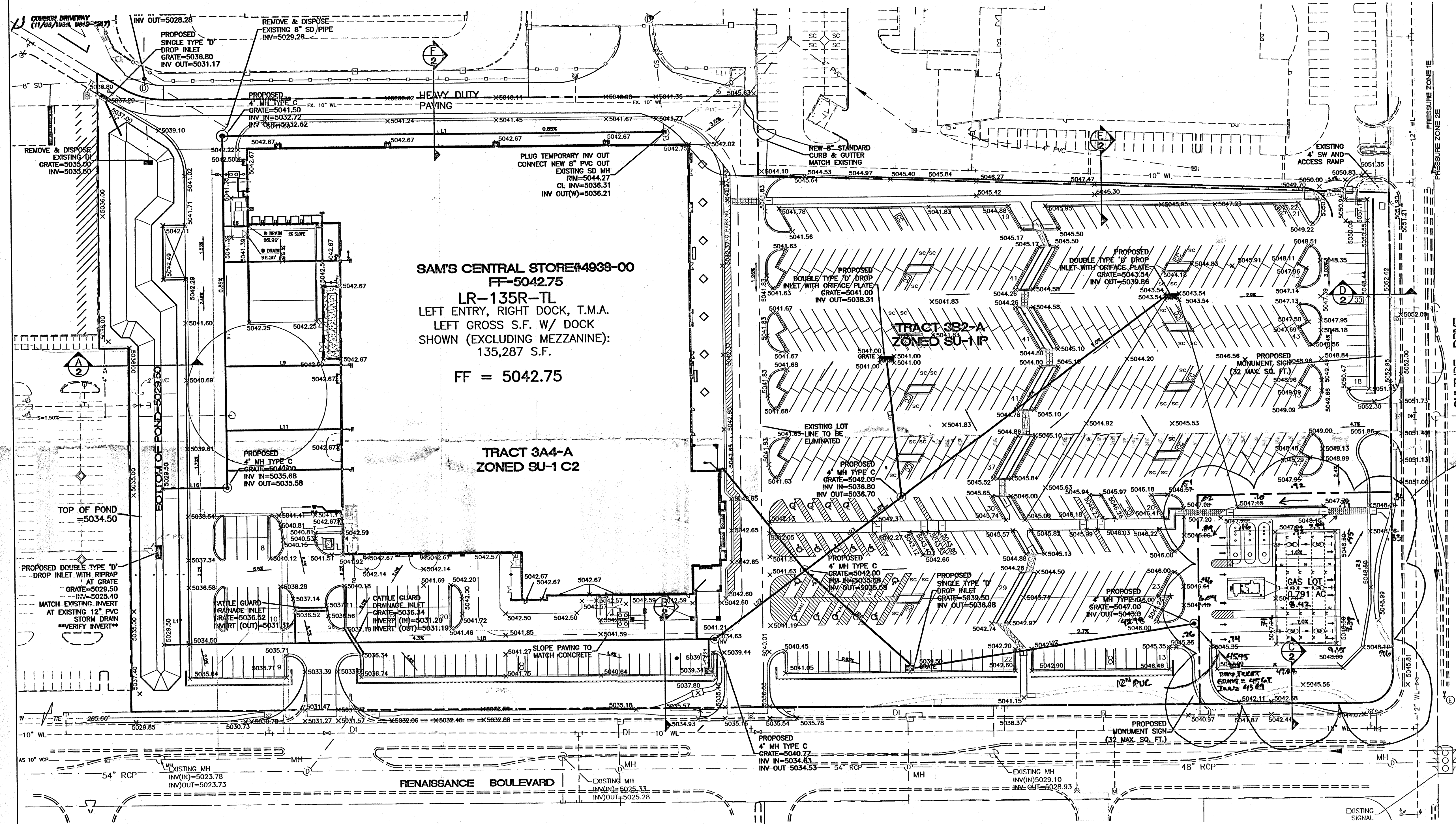


GRAPHIC SCALE



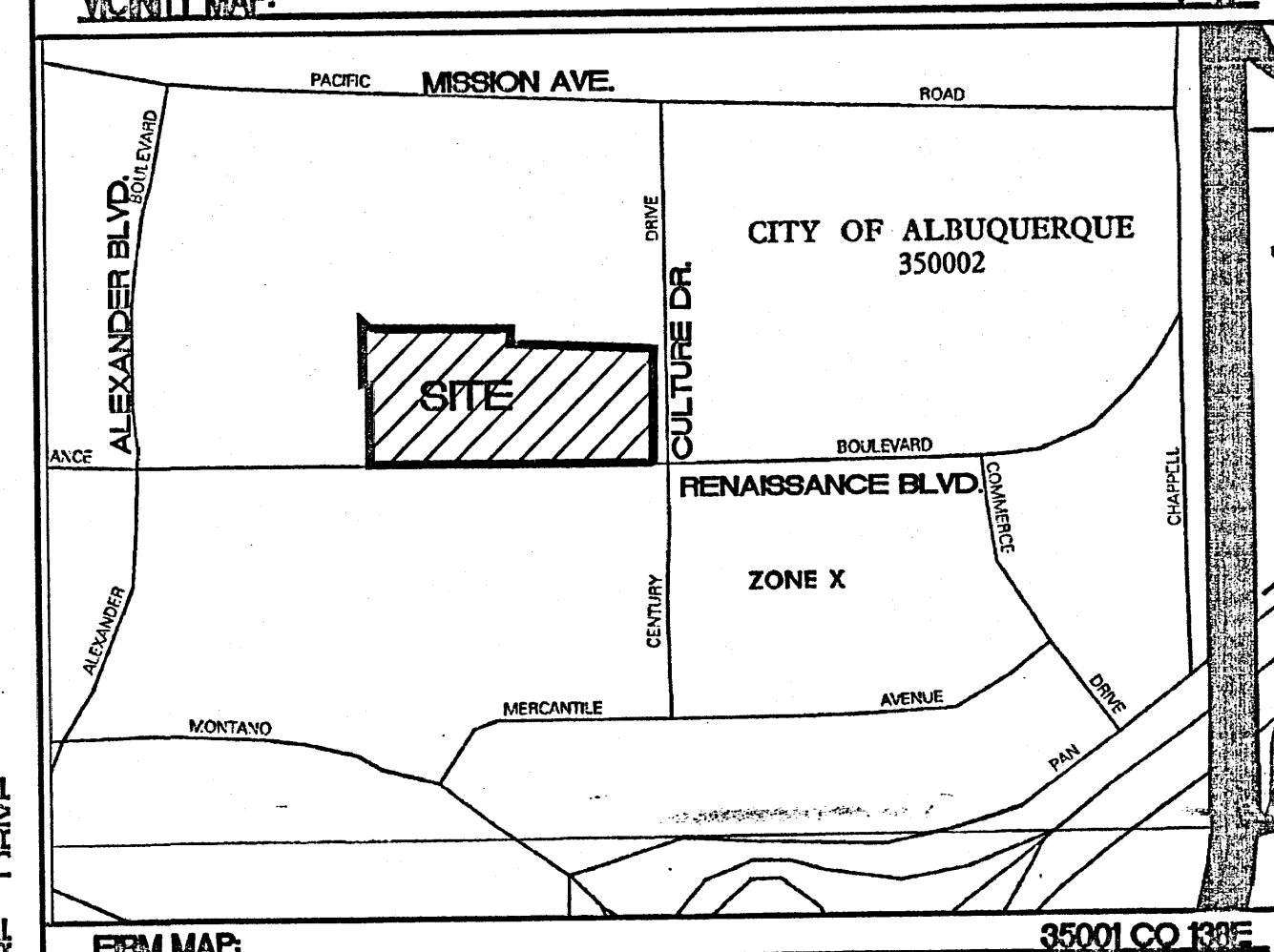
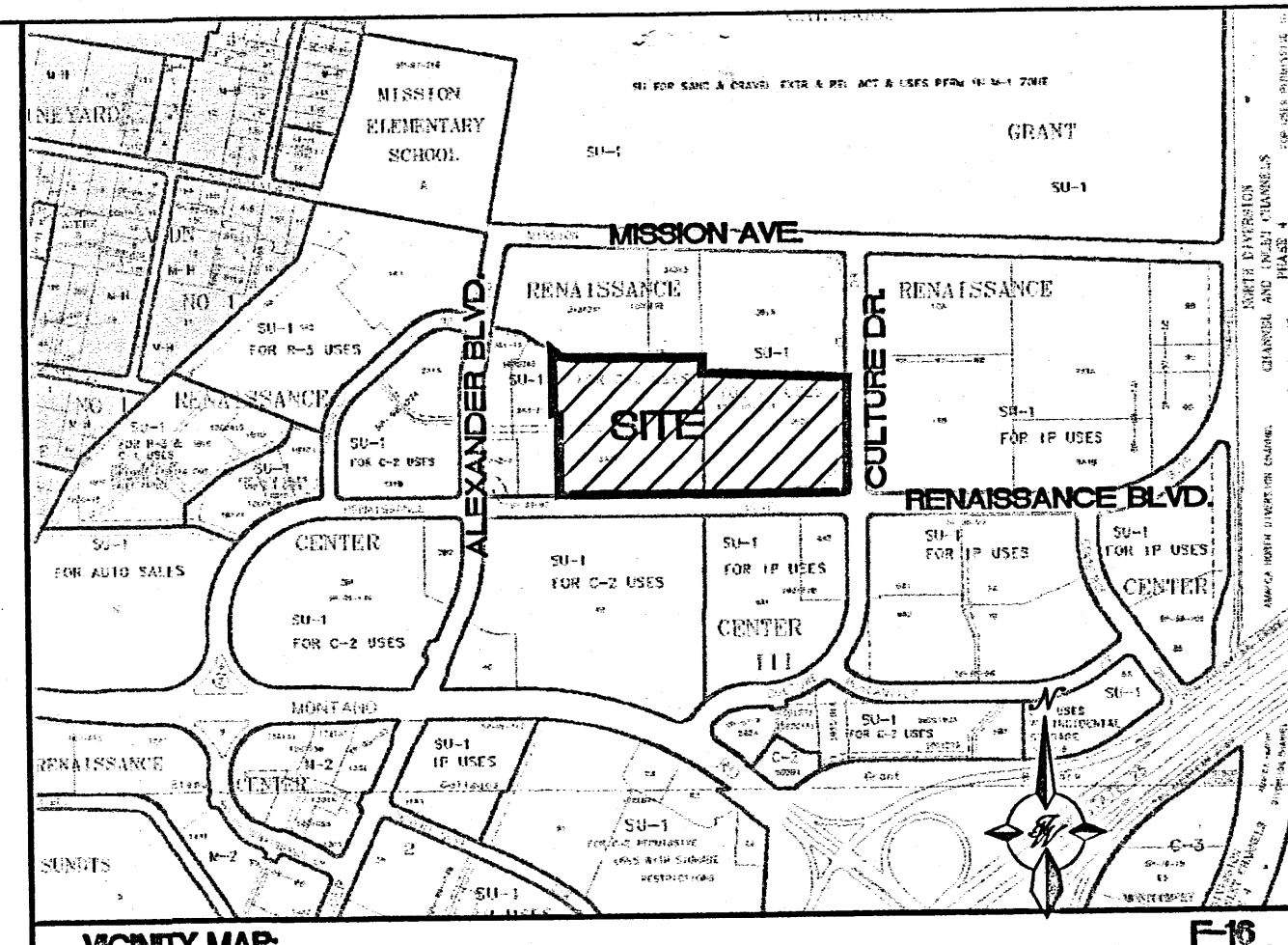
SCALE: 1"=50'

NO.		DATE		REMARKS		BY	
REVISIONS							
ENGINEER'S SEAL		ALBUQUERQUE SAM'S CENTRAL STORE #4938-00				DRAWN BY BJF	
		SITE DEVELOPMENT PLAN FOR BUILDING PERMIT				DATE 01-17-05	
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100		598283				SHEET # DRC3	
RONALD R. BOHANNAN P.E. #7868						JOB # 240024	



EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
RENAISSANCE CENTER, TRACTS 34A-4 AND 3B2-A

- NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

AREA CERTIFIED

LINE TABLE			
LINE	LENGTH	BEARING	PIPE SIZE & TYPE
L1	410.71	N89°59'57"W	12" PVC
L2	33.71	S24°04'49"E	12" PVC
L3	10.00	N00°00'00"W	10" PVC
L4	10.00	N00°00'00"W	10" PVC
L5	20.64	S90°00'00"W	10" PVC
L6	22.78	S90°00'00"W	10" PVC
L7	105.27	S90°00'00"W	10" PVC
L8	105.10	S90°00'00"W	10" PVC
L9	104.93	S90°00'00"W	10" PVC
L10	104.75	S90°00'00"W	10" PVC
L11	104.58	S90°00'00"W	10" PVC
L12	104.41	S90°00'00"W	10" PVC
L13	104.23	S90°00'00"W	10" PVC
L14	323.84	S001°15'51"E	24" PVC
L15	40.00	S001°15'51"E	10" PVC
L16	58.14	S89°56'50"W	24" PVC
L17	21.33	S89°56'50"W	24" PVC
L18	432.86	N00°00'00"E	18" PVC
L19	19.40	S00°00'00"E	10" PVC
L20	19.40	S00°00'00"E	10" PVC
L21	25.62	N00°00'00"W	12" PVC
L22	104.71	N53°30'05"E	18" PVC
L23	111.77	N53°30'05"E	15" PVC
L24	305.94	N53°30'05"E	15" PVC
L25	151.03	S09°39'57"E	8" PVC
L26	130.46	N47°44'22"W	15" PVC
L27	262.18	S81°37'41"W	10" PVC

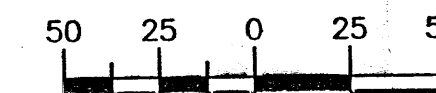
ROUGH GRADING APPROVAL

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL	ALBUQUERQUE CENTRAL SAM'S STORE #4938-00		DRAWN BY BJF
GRADING AND DRAINAGE PLAN		DATE 01-17-05	2424GRB-01-17-05x
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # C3	JOB # 240024

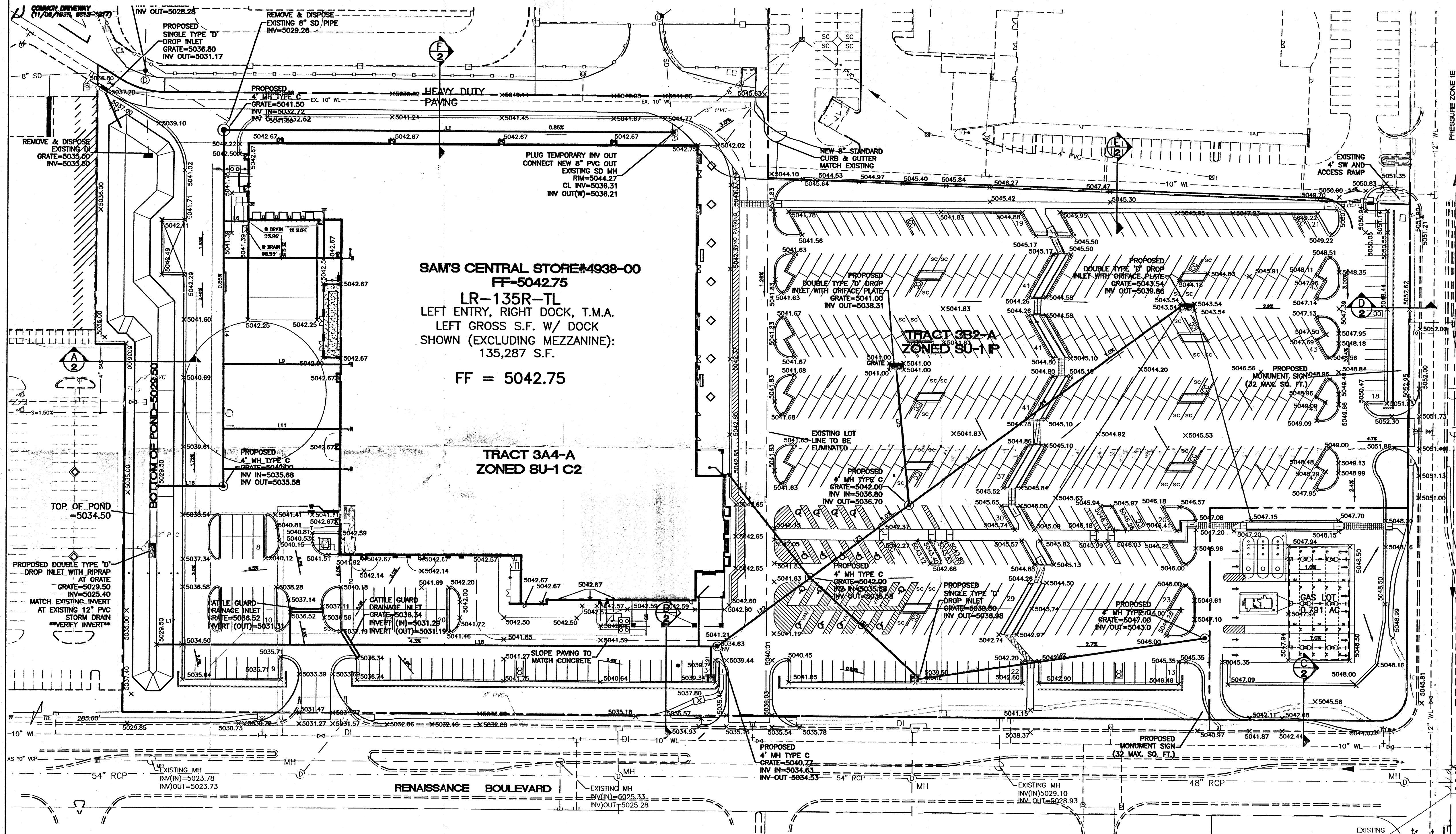
CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GRAPHIC SCALE

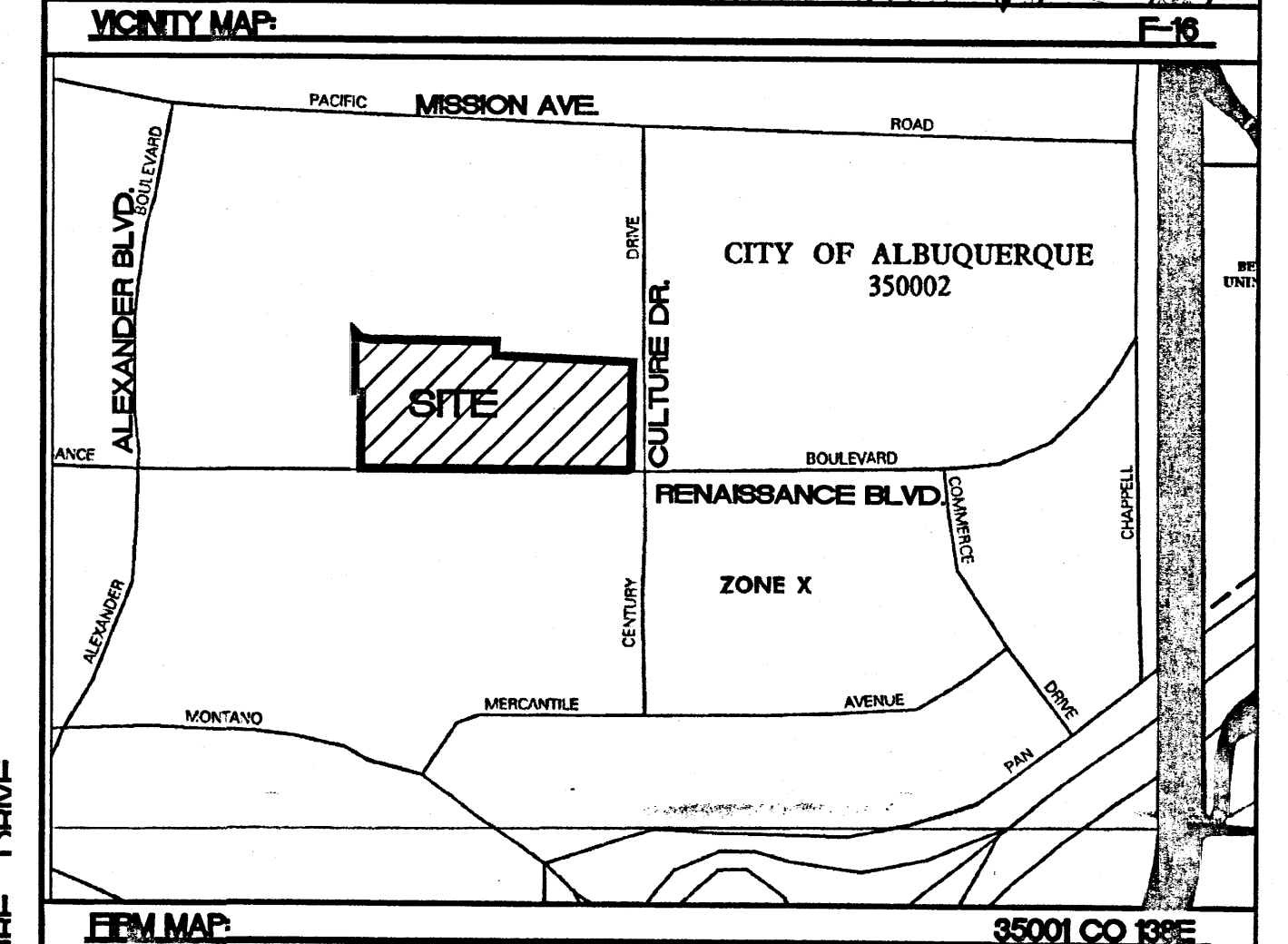
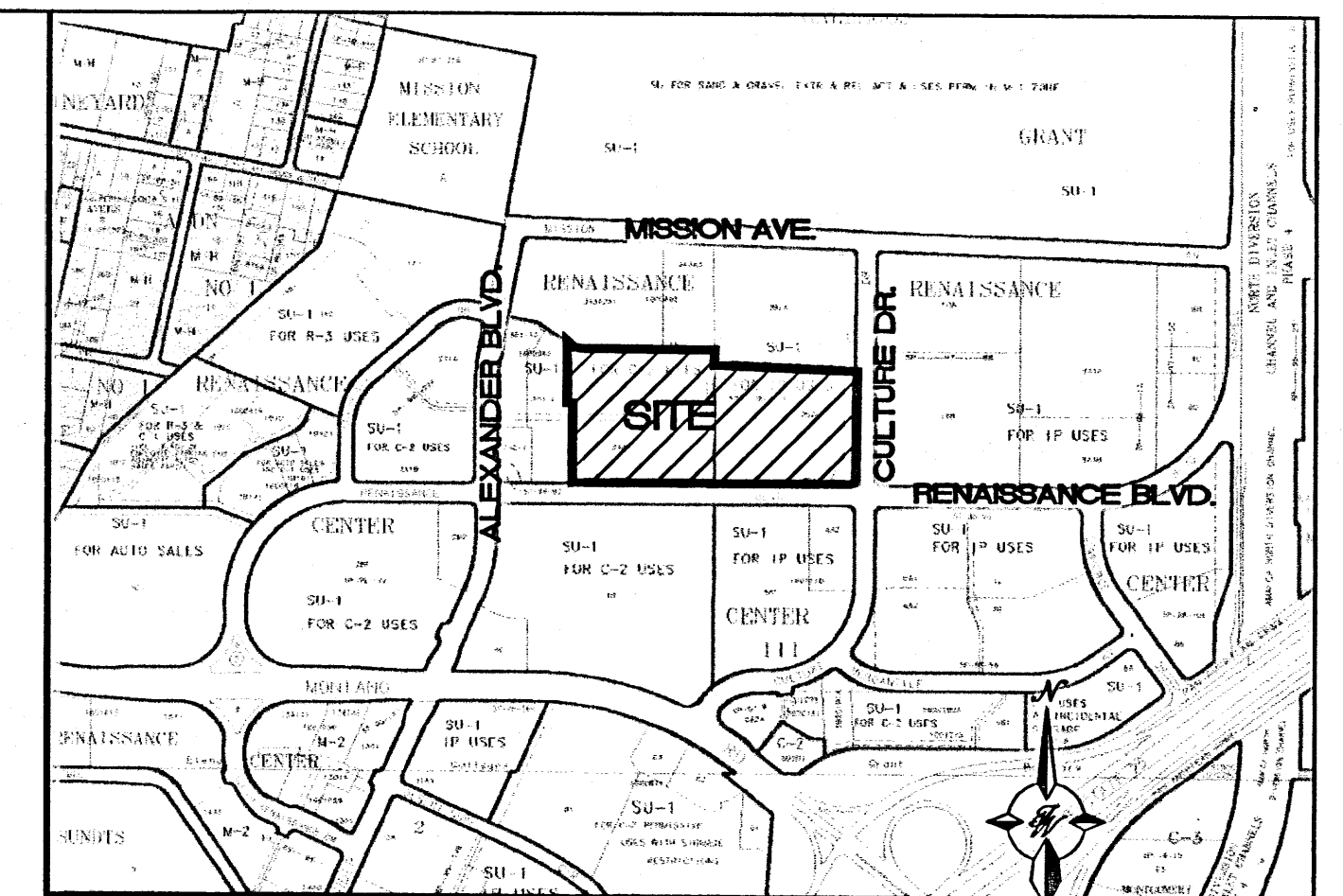


SCALE: 1"=50'



EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



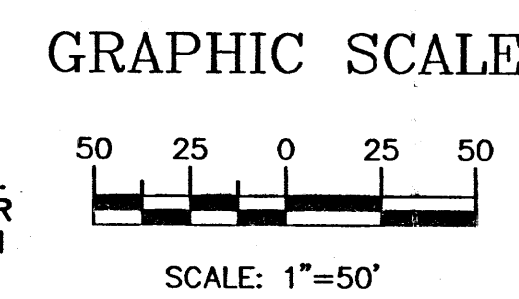
LEGAL DESCRIPTION:
RENAISSANCE CENTER, TRACTS 3A4-A AND 3B2-A

NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

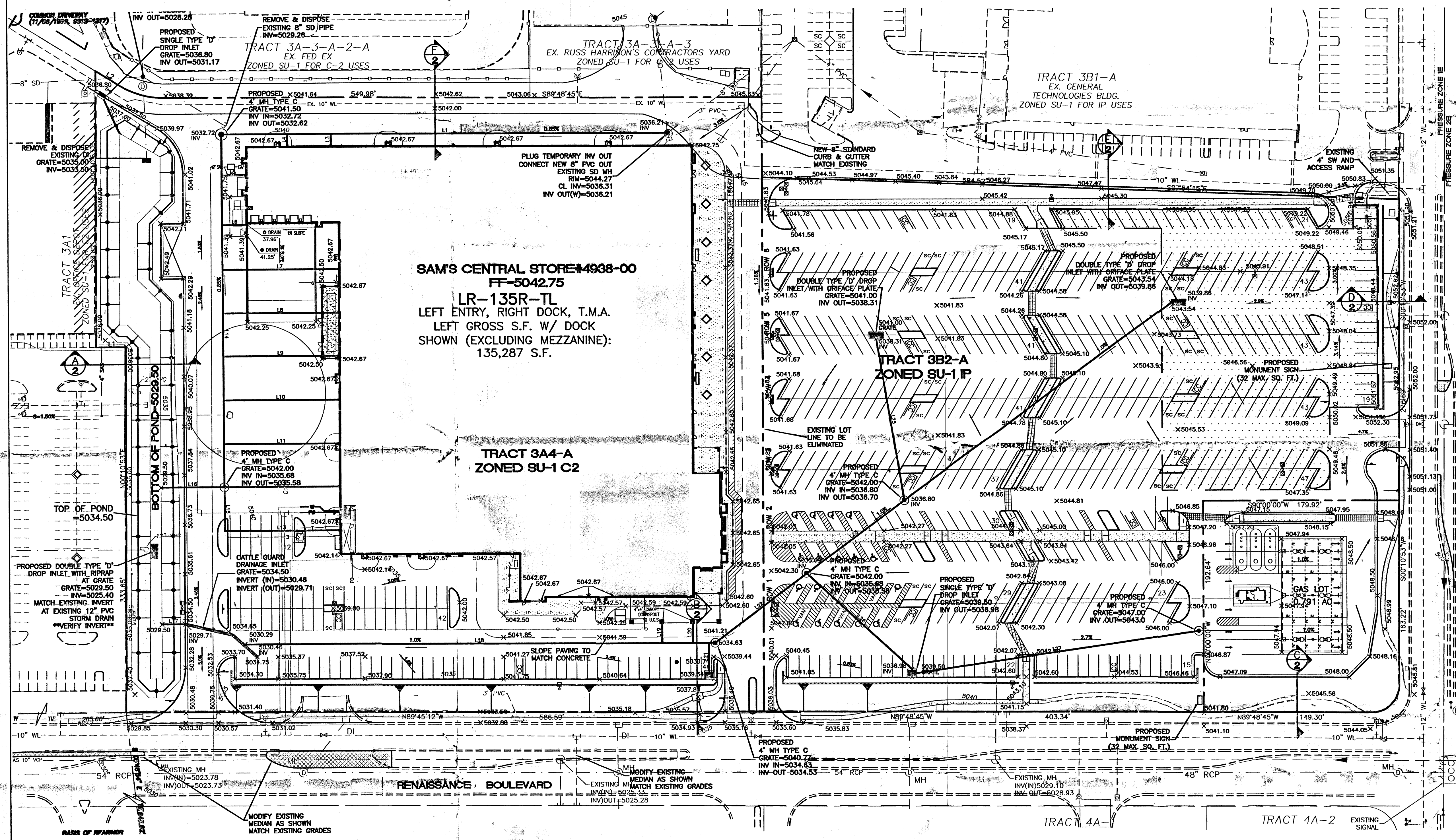
LINE TABLE			
LINE	LENGTH	BEARING	PIPE SIZE & TYPE
L1	410.71	N89°59'57"W	12" PVC
L2	33.71	S24°04'49"E	12" PVC
L3	10.00	N00°00'00"W	10" PVC
L4	10.00	N00°00'00"W	10" PVC
L5	20.64	S90°00'00"W	10" PVC
L6	22.78	S90°00'00"W	10" PVC
L7	105.27	S90°00'00"W	10" PVC
L8	105.10	S90°00'00"W	10" PVC
L9	104.93	S90°00'00"W	10" PVC
L10	104.75	S90°00'00"W	10" PVC
L11	104.58	S90°00'00"W	10" PVC
L12	104.41	S90°00'00"W	10" PVC
L13	104.23	S90°00'00"W	10" PVC
L14	323.84	S00°14'51"E	24" PVC
L15	40.00	S00°14'51"E	10" PVC
L16	58.14	S89°58'50"W	24" PVC
L17	21.33	S89°58'50"W	24" PVC
L18	432.86	N89°00'00"E	18" PVC
L19	19.40	S00°00'00"E	10" PVC
L20	19.40	S00°00'00"E	10" PVC
L21	25.52	N00°00'00"W	12" PVC
L22	104.71	N53°30'05"E	18" PVC
L23	111.71	N53°30'05"E	15" PVC
L24	305.04	N53°30'05"E	15" PVC
L25	151.03	S09°39'57"E	8" PVC
L26	130.46	N47°44'22"W	15" PVC
L27	262.18	S81°37'41"W	10" PVC

CAUTION:

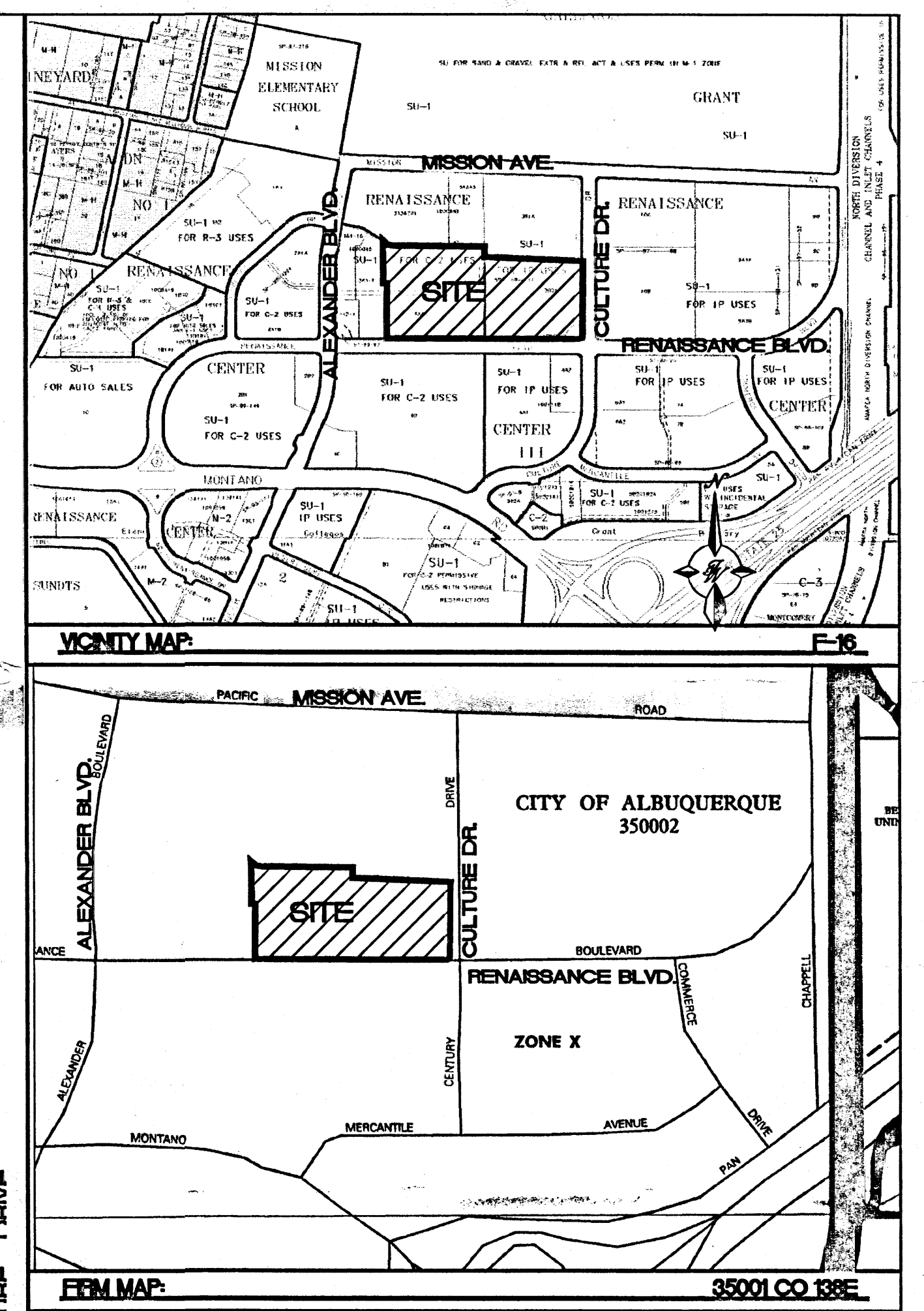
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ROUGH GRADING APPROVAL		DATE	
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE CENTRAL SAM'S STORE #4938-00 GRADING AND DRAINAGE PLAN	
		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
DRAWN BY: BUF		DATE: 01-17-05	
24240RB-01-17-05		M R 25 SHEET	
HYDROLOG		C3 TION	
JOB #		240024	



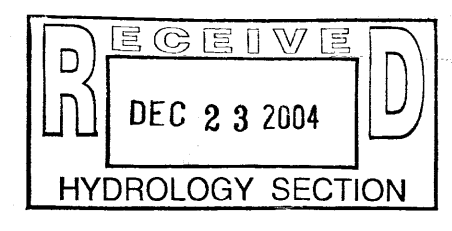
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
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LEGAL DESCRIPTION:
RENAISSANCE CENTER, TRACTS 34A-4 AND 3B2-A

NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LINE TABLE			
LINE	LENGTH	BEARING	PIPE SIZE & TYPE
L1	410.71	N89°59'57"W	12" PVC
L2	33.71	S24°04'49"E	12" PVC
L3	10.00	N00°00'00"W	10" PVC
L4	10.00	N00°00'00"W	10" PVC
L5	20.64	S90°00'00"W	10" PVC
L6	22.78	S90°00'00"W	10" PVC
L7	105.27	S90°00'00"W	10" PVC
L8	105.10	S90°00'00"W	10" PVC
L9	104.93	S90°00'00"W	10" PVC
L10	104.75	S90°00'00"W	10" PVC
L11	104.58	S90°00'00"W	10" PVC
L12	104.41	S90°00'00"W	10" PVC
L13	104.23	S90°00'00"W	10" PVC
L14	323.84	S00°14'51"E	24" PVC
L15	40.00	S00°14'51"E	10" PVC
L16	58.14	S89°56'50"W	24" PVC
L17	21.33	S89°56'50"W	24" PVC
L18	432.88	N00°00'00"E	18" PVC
L19	19.40	S00°00'00"E	10" PVC
L20	19.40	S00°00'00"E	10" PVC
L21	25.62	N00°00'00"W	12" PVC
L22	104.71	N53°30'05"E	18" PVC
L23	111.77	N53°30'05"E	15" PVC
L24	305.94	N53°30'05"E	15" PVC

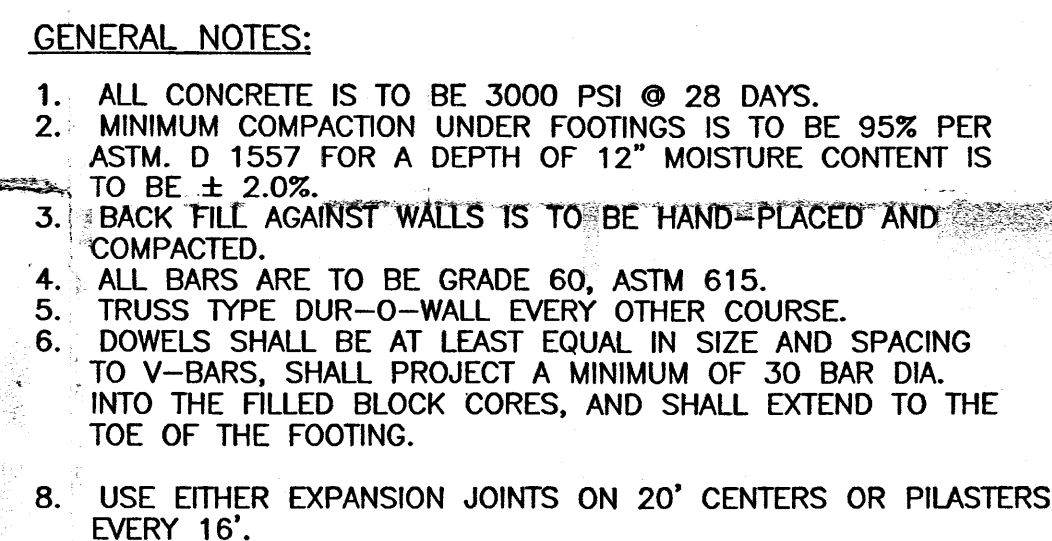


ROUGH GRADING APPROVAL _____ DATE _____

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL	ALBUQUERQUE CENTRAL SAM'S STORE #4938-00		DRAWN BY BJF
	GRADING AND DRAINAGE PLAN		DATE 12-02-2004
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2424GRB-12-02-04X
SHEET #			JOB #
C3			240024

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GRAPHIC SCALE
50 25 0 25 50
SCALE: 1"=50'



ENGINEER'S SEAL 	SAM'S CENTRAL #4980-00 RENAISSANCE CENTER	DRAWN BY BJF
	GRADING AND DRAINAGE PLAN DETAILS SHEET	DATE 12-02-2004
RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # C4 JOB # 240024