

PROJECT DESCRIPTION

LEGAL DESCRIPTION OF SITE PROPERTY

ZONING CLASSIFICATION: M-1

BUILDING FLOOR AREA CALCULATIONS:

EXISTING BUILDING AREA TO REMAIN	12,153 sf
NEW SHOWROOM ADDITION	8,210 sf

CONSTRUCTION TYPE: V-N (sprinklered)

PARKING SPACES PROVIDED - 95
(INCL 4 HDCP SPACES AND 25 SMALL CAR SPACES)

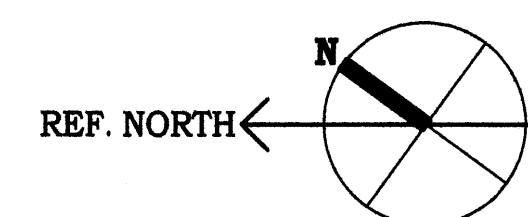
TOTAL LOT AREA	89,172 sf
TOTAL BUILDING AREA	20,363 sf
NET LOT AREA	68,809 sf
LANDSCAPE AREA REQUIRED (15%)	10,321 sf
LANDSCAPE AREA PROVIDED	10,342 sf



THE ARCHITECT AND HIS CONSULTANTS RETAIN OWNERSHIP OF THESE DRAWINGS AND THE DESIGNS DEPICTED HEREIN. THE CLIENT IS GRANTED A NON-EXCLUSIVE LICENSE TO USE THESE DOCUMENTS FOR THE PURPOSE OF CONSTRUCTING, USING, AND MAINTAINING THE PROJECT. COPYING OR USING THESE DRAWINGS WITHOUT THE PERMISSION OF THE ARCHITECT IS AN INFRINGEMENT OF COPYRIGHT.



ARCHITECTURE


$$1/20'' = 1'-0''$$

KAL 8/19/04

Signed Date

FITNESS SUPERSTORE SHOWROOM ADDITION
4840 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

TEMPORARY BENCHMARK

REBAR WITH TAG "P8 14269" AT NORTHEAST CORNER OF PROPERTY.
ELEV. 5114.15

LEGAL DESCRIPTION

Lot numbered Three (3) of Plat of REINDEER ADDITION to the City of Albuquerque, New Mexico, as the same is shown and designated on the Plat of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 19, 1972, in Plat Book C8, folio 82.

KEYED NOTES

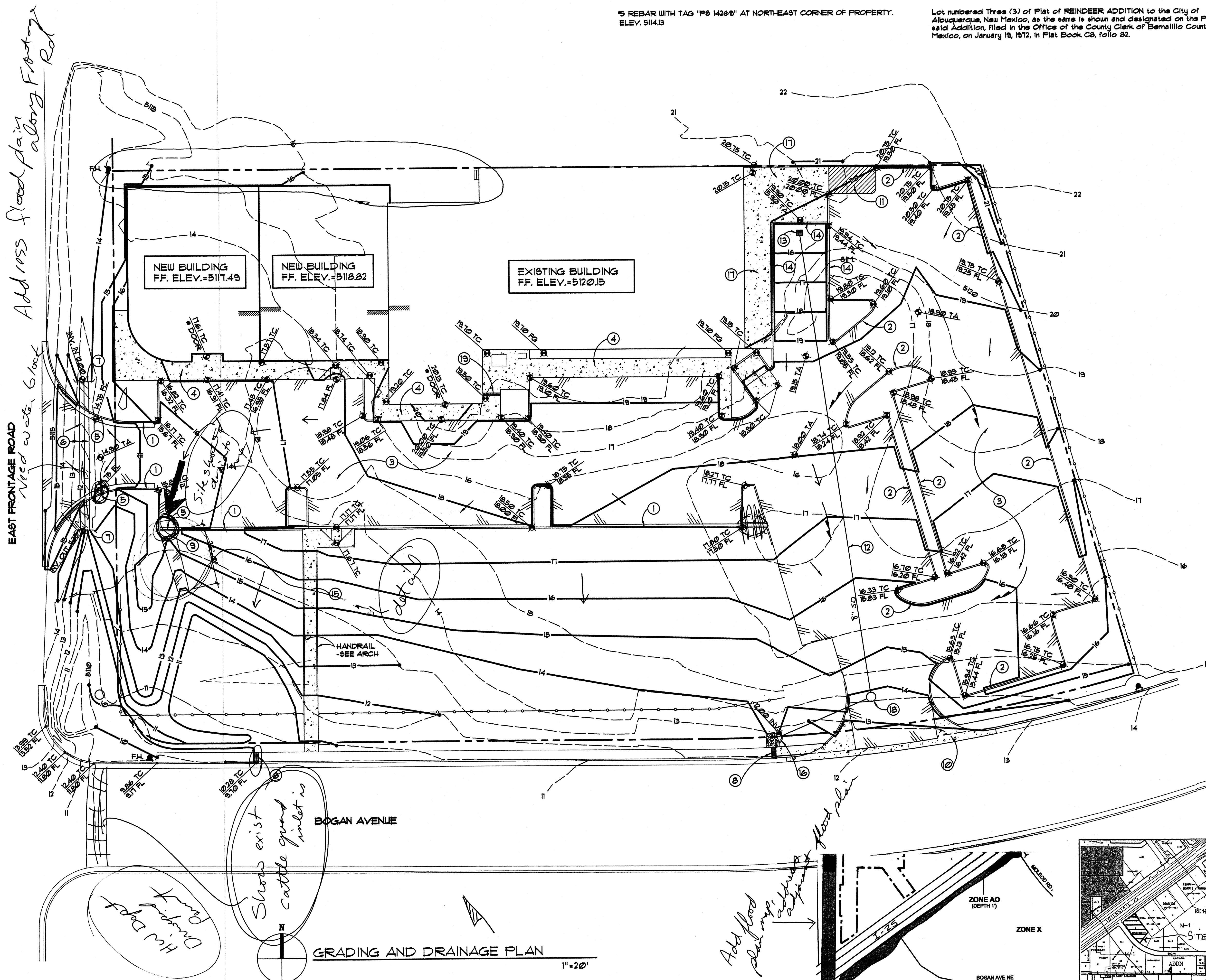
1. CONCRETE CURB AND GUTTER PER DETAIL 1/C3.
2. CONCRETE CURB PER DETAIL 2/C3.
3. ASPHALT PAVING PER DETAIL 3/C3.
4. CONCRETE SIDEWALK PER DETAIL 4/C3.
5. 4'-0" WIDE CURB BREAK.
6. 2'-24" HDPE STORM DRAIN CULVERTS.
7. PREFABRICATED END SECTION.
8. 24" WIDE SIDEWALK CULVERT PER C.O.A. STANDARD DETAIL #2236.
9. 2" THICK ASPHALT RUNDOWN.
10. CONCRETE VALLEY GUTTER PER C.O.A. STANDARD #2420.
11. ASPHALT PAVED RAMP.
12. 8" HDPE STORM DRAIN.
13. STORM DRAIN DROP INLET PER DETAIL 5/C3. TOP OF GRATE ELEVATION=15.15 AND INVERT ELEVATION=14.40.
14. CONCRETE DOCK WALL PER DETAIL 6/C3.
15. CONCRETE SIDEWALK PER DETAIL 7/C3.
16. 6'-0"x6'-0"x12" THICK RIP RAP W/ CONCRETE HEADWALL PER DETAIL 8/C3.
17. 6" THICK CONCRETE WALK REINFORCED W/ #4 BARS @ 16" O.C. EACH WAY.
18. 4'-0" DIAMETER PRECAST CONCRETE MANHOLE PER C.O.A. STD. DETAIL #2102, INV. IN=12.40, INV. OUT=12.36.
19. 12" WIDE SIDEWALK CULVERT PER C.O.A. STD. DETAIL #2236.

LEGEND

	EXISTING BUILDING LINE
	NEW BUILDING LINE
	EXISTING CONTOUR
	NEW CONTOUR
	PROPERTY LINE
	FENCE LINE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	FLOW DIRECTION ARROW
	SWALE
TC	TOP OF CONCRETE
FG	FINISHED GRADE
FL	FLOW LINE
TA	TOP OF ASPHALT
INV	INVERT ELEVATION
	NEW CONCRETE PAVING
	NEW ASPHALT PAVING

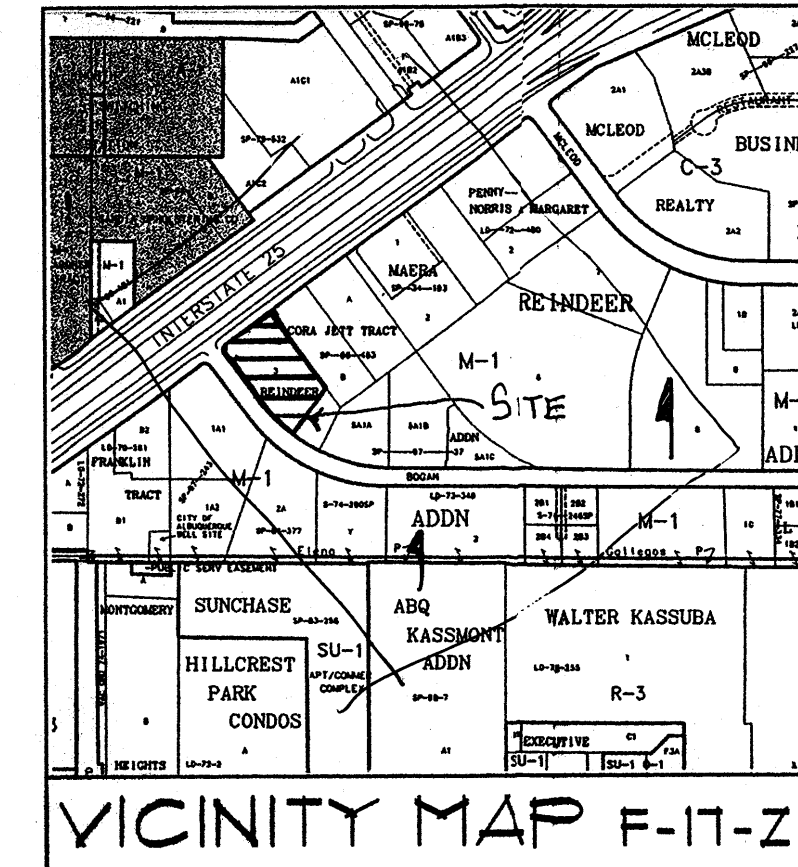
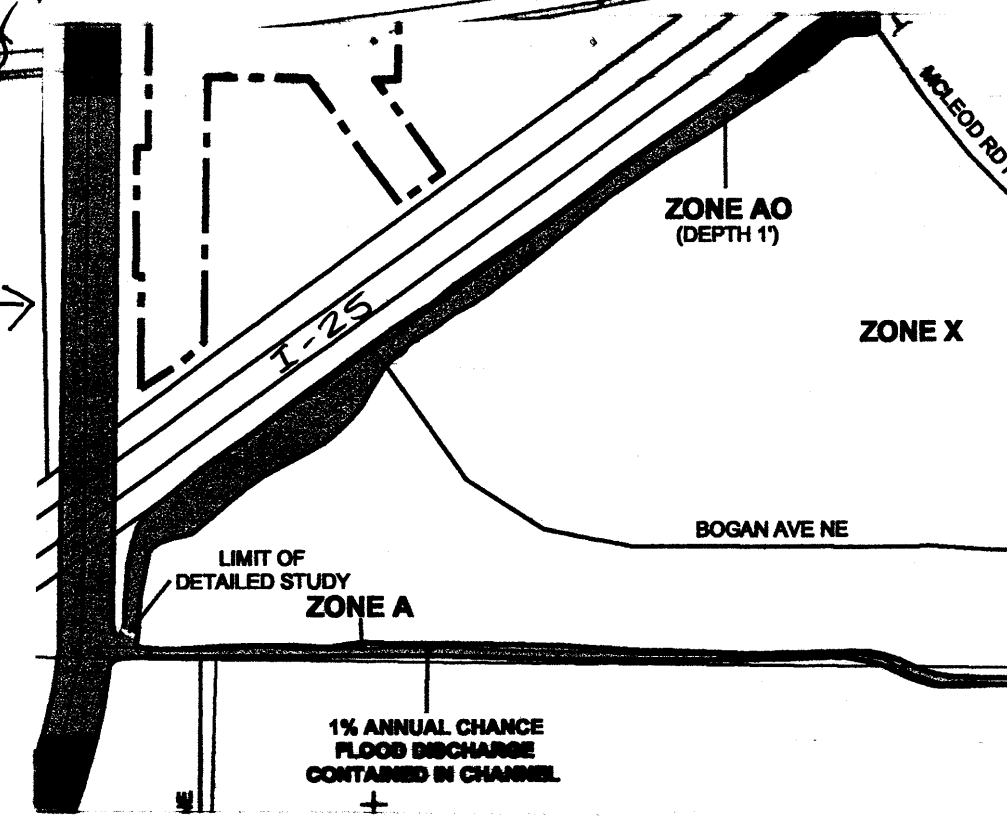
HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
	1hr	6hr	24hr	4day	10day				
	2.01	2.35	2.75	3.30	3.95				
EXISTING CONDITIONS									
LAND AREA	AREA	P6	Q	Q	V6	V24	V4DAY	V10DAY	
TRIMT	(ACRE)	%	(CF8/AC)	(CF8)	(CF)	(CF)	(CF)	(CF)	
A	0.000	0%	0.53	156	0.00	0	0	0	0
B	0.809	40%	0.78	228	1.84	2.291	2.291	2.291	2.291
C	0.121	35%	1.13	3.14	2.26	2.957	2.957	2.957	2.957
D	0.509	25%	2.12	4.70	2.39	3.917	4.656	5.672	6.873
TOTALS	2.039	100%		6.50	9.165	9.904	10.920	12.121	
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A	0.100	5%	0.53	156	0.16	192	192	192	192
B	0.200	10%	0.78	228	0.46	5.66	5.66	5.66	5.66
C	0.314	15%	1.13	3.14	0.93	1.288	1.744	2.371	3.112
D	1.425	70%	2.12	4.70	6.70	10.966	13.035	13.811	14.329
TOTALS	2.039	100%		8.30	13.013	15.530	16.941	18.199	



GRADING AND DRAINAGE PLAN

1"=20'



RECEIVED
AUG 0 5 2004
HYDROLOGY SECTION

Walla Structural Engineering
Civil Engineering
6100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
881-3008 • Facsimile 884-5390

FITNESS SUPERSTORE SHOWROOM ADDITION
4840 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

DATE:
4 AUGUST 2004

REVISIONS:

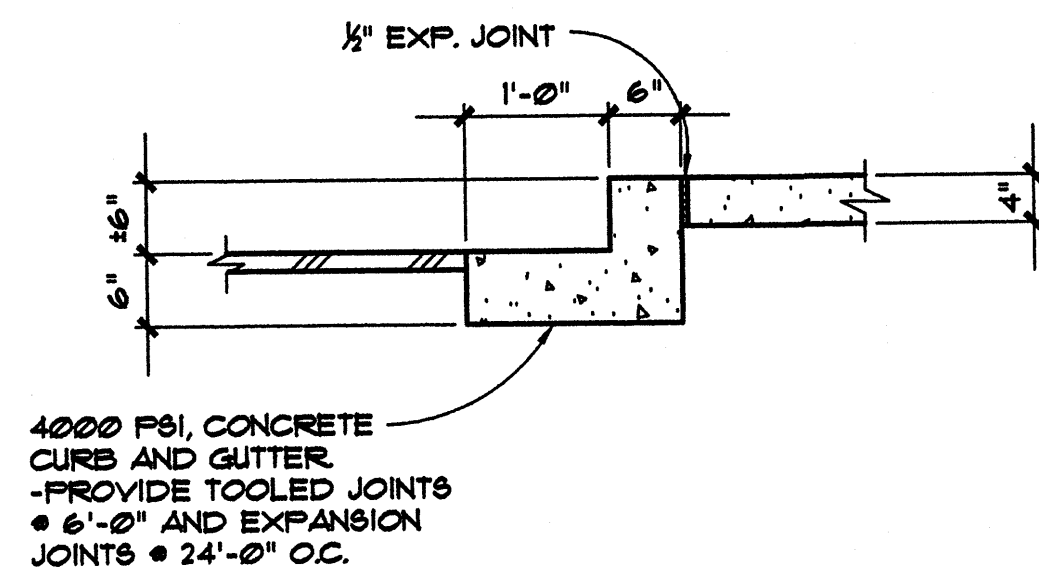
[Signature]
REGISTERED PROFESSIONAL ENGINEER
1939

SHEET NUMBER

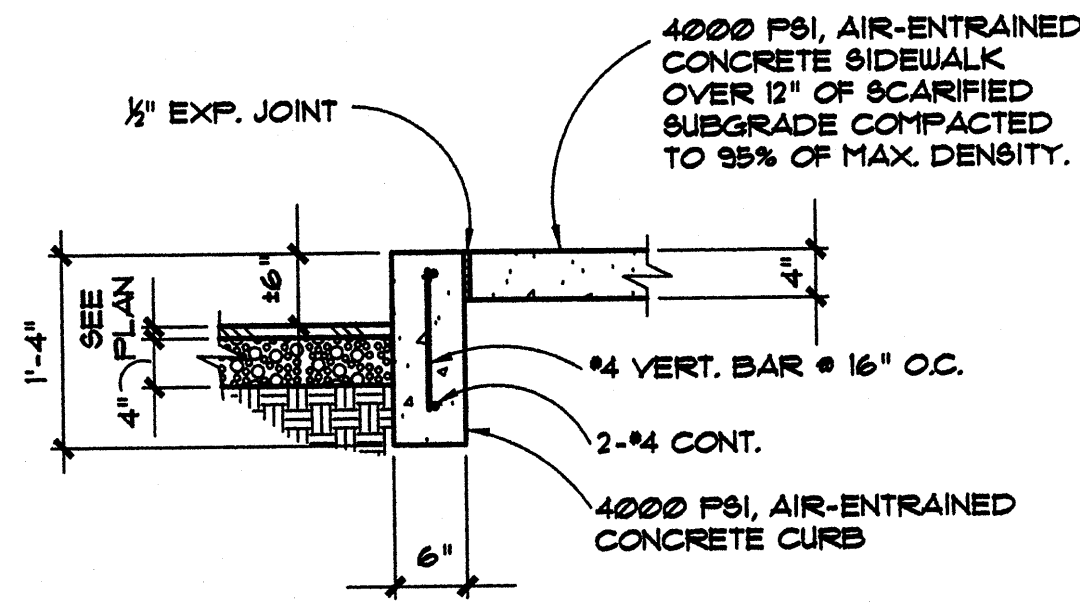
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NO. 07

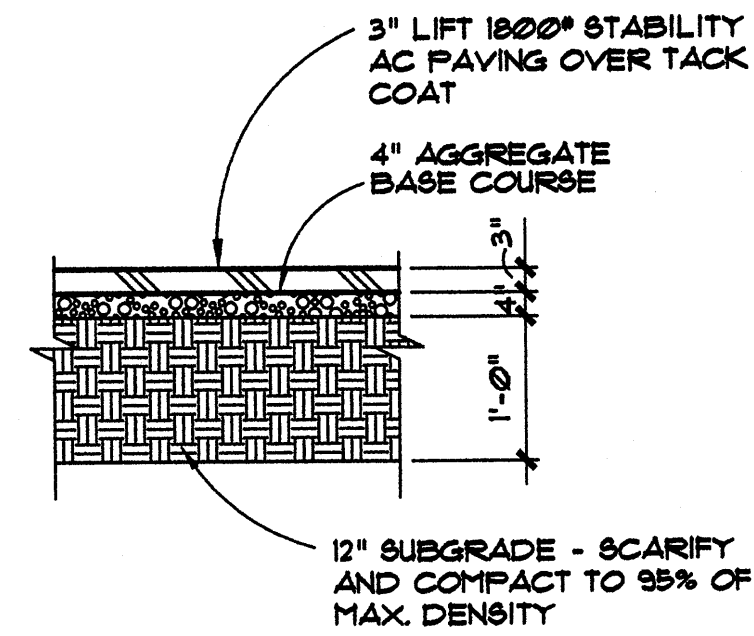
ARCHITECTURE



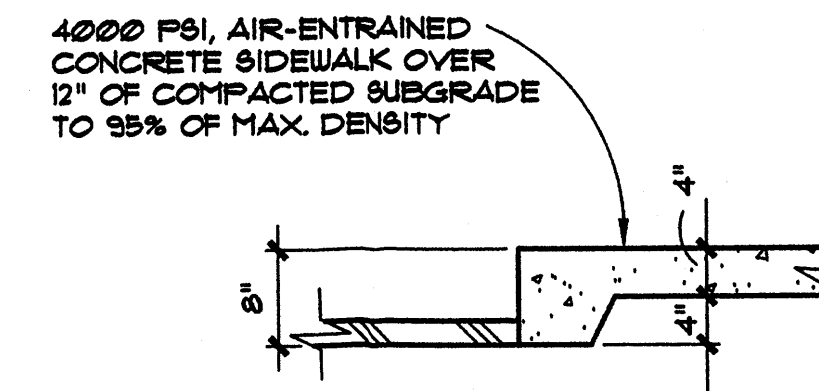
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C3
TYPICAL CONCRETE CURB & GUTTER DETAIL
3/4" = 1'-0"



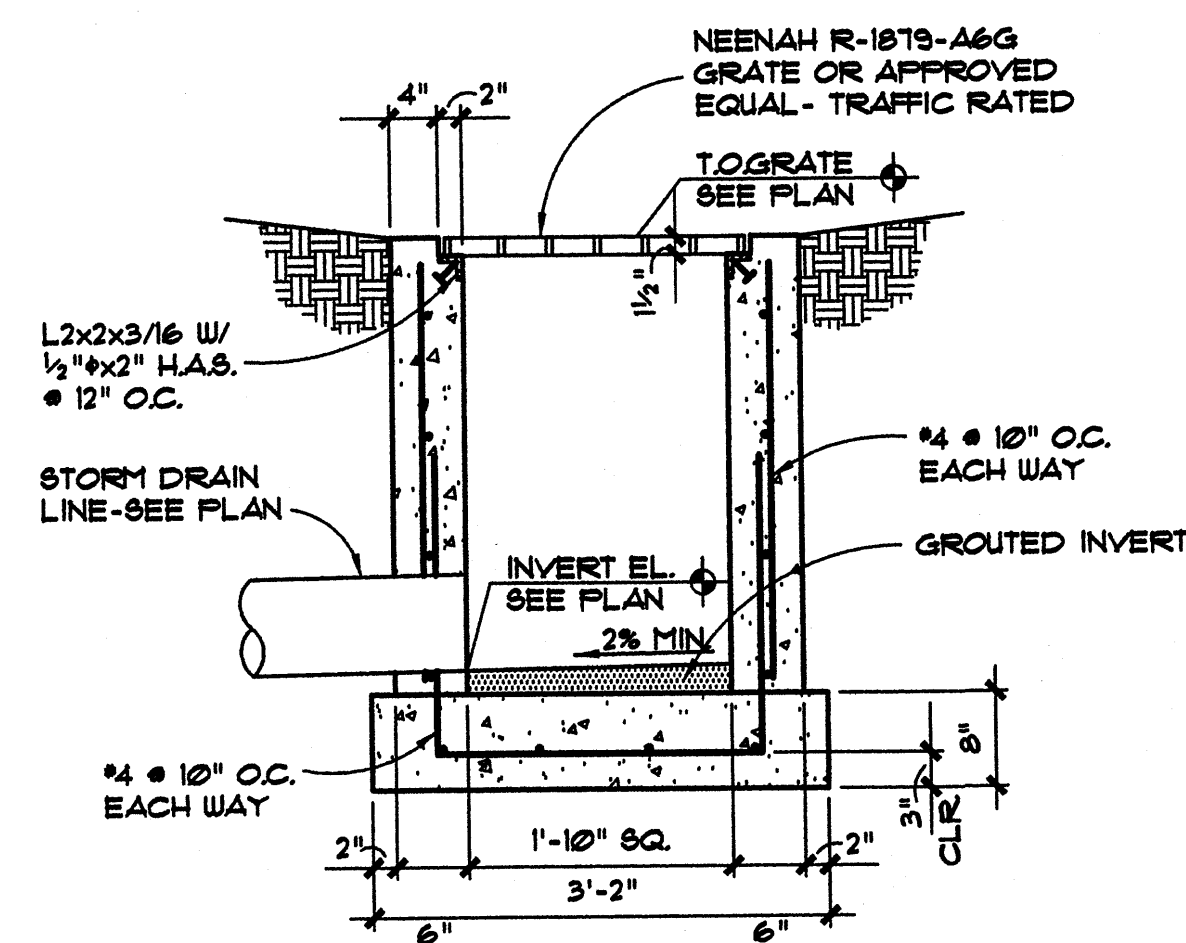
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TYPICAL CONCRETE CURB DETAIL
3/4" = 1'-0"



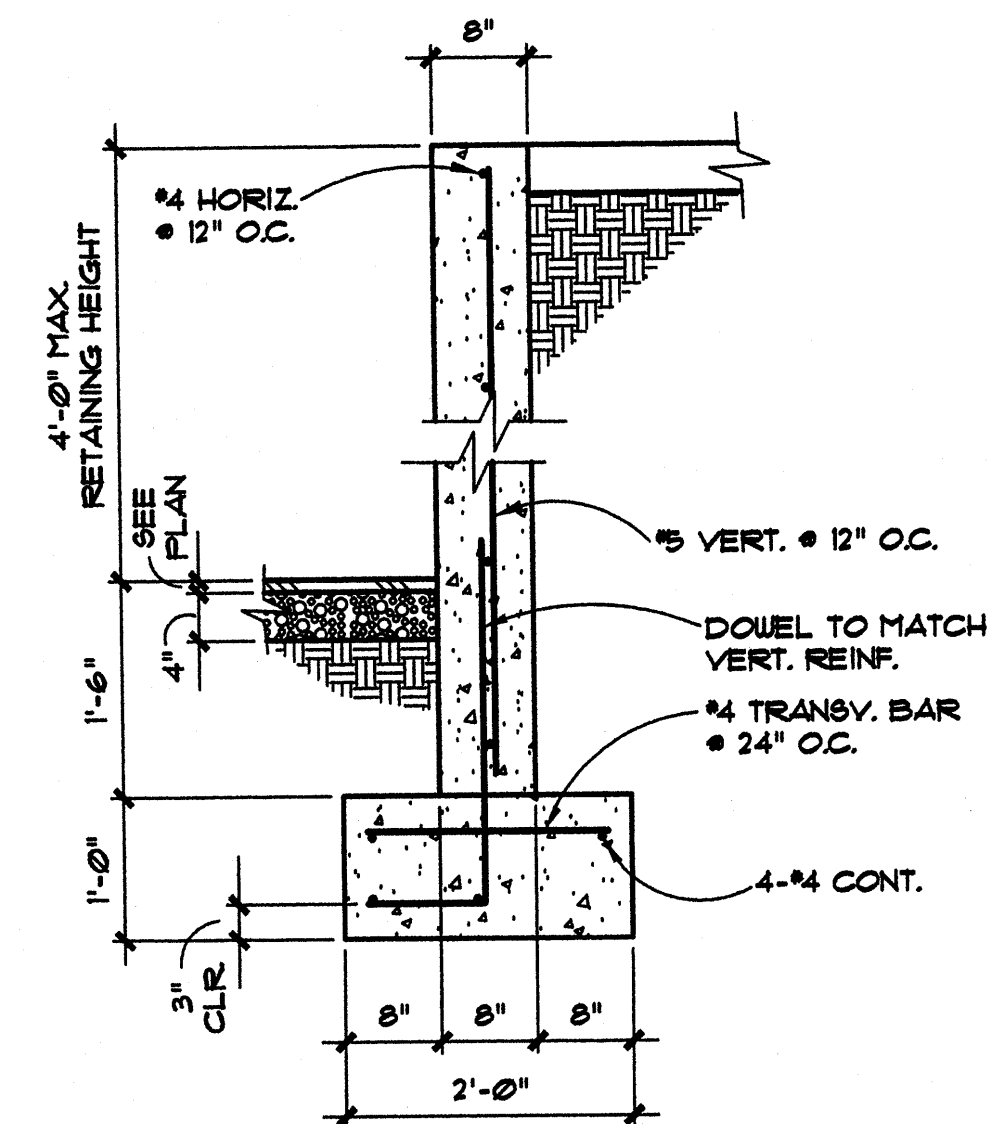
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TYPICAL DRIVEWAY PAVING SECTION
3/4" = 1'-0"



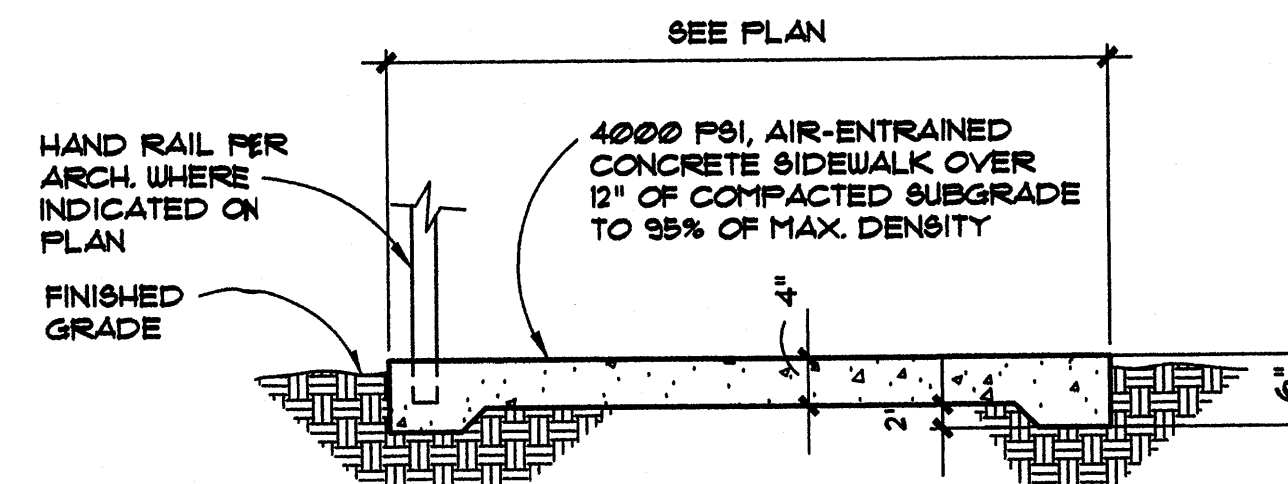
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C3
TYPICAL SIDEWALK DETAIL
3/4" = 1'-0"



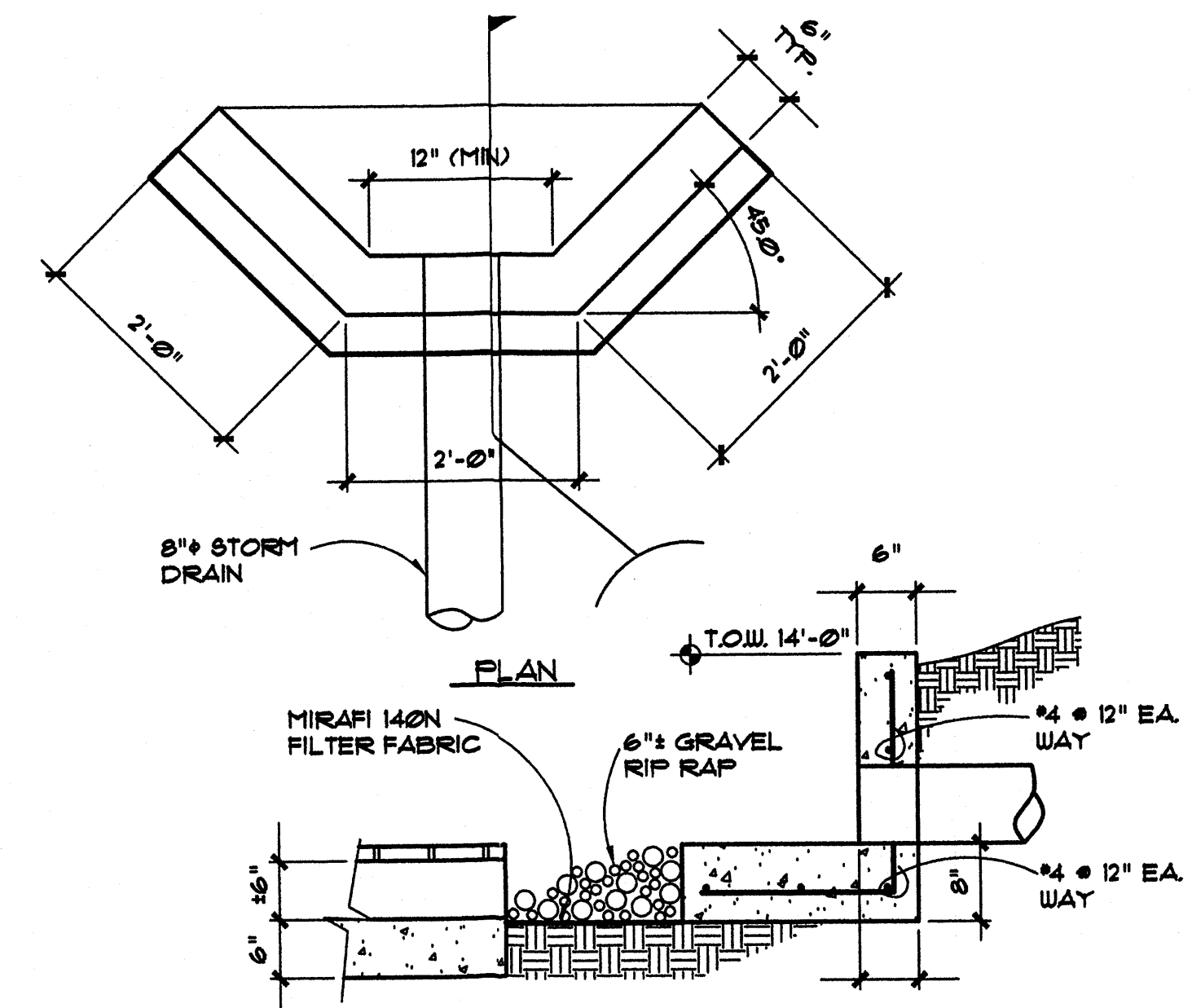
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C3
DROP INLET SECTION
3/4" = 1'-0"



6
C3
CONCRETE DOCK WALL
3/4" = 1'-0"



7
C3
EXTERIOR SIDEWALK SECTION
3/4" = 1'-0"



8
C3
CONCRETE HEADWALL
3/4" = 1'-0"

Walla
ENGINEERING LTD.
Structural Engineering
Civil Engineering

6100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
851-3005 • Facsimile 854-5390

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FITNESS SUPERSTORE SHOWROOM ADDITION
4840 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

DATE:
30 JULY 2004

REVISIONS:

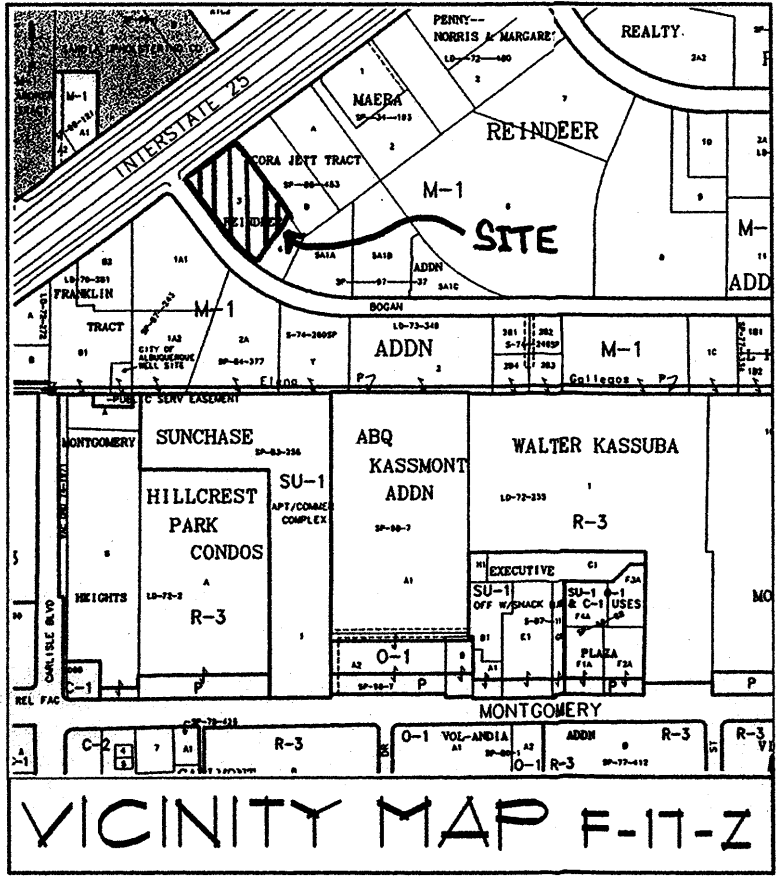
SHEET NUMBER
C3
NO. OF
ARCHITECTURE

11058
REGISTERED PROFESSIONAL

PUBLIC R.O.W. CONSTRUCTION NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THE CONTRACT SHALL, EXCEPT AS OTHERWISE STATED AND PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION 1988"
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE, 262-1992, FOR LOCATION OF EXISTING LINES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE (ARTERIAL/COLLECTOR).
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

APPROVALS	NAME	DATE
HYDROLOGY		
PERMIT NO.	MAP NO.	
	F-17-Z	



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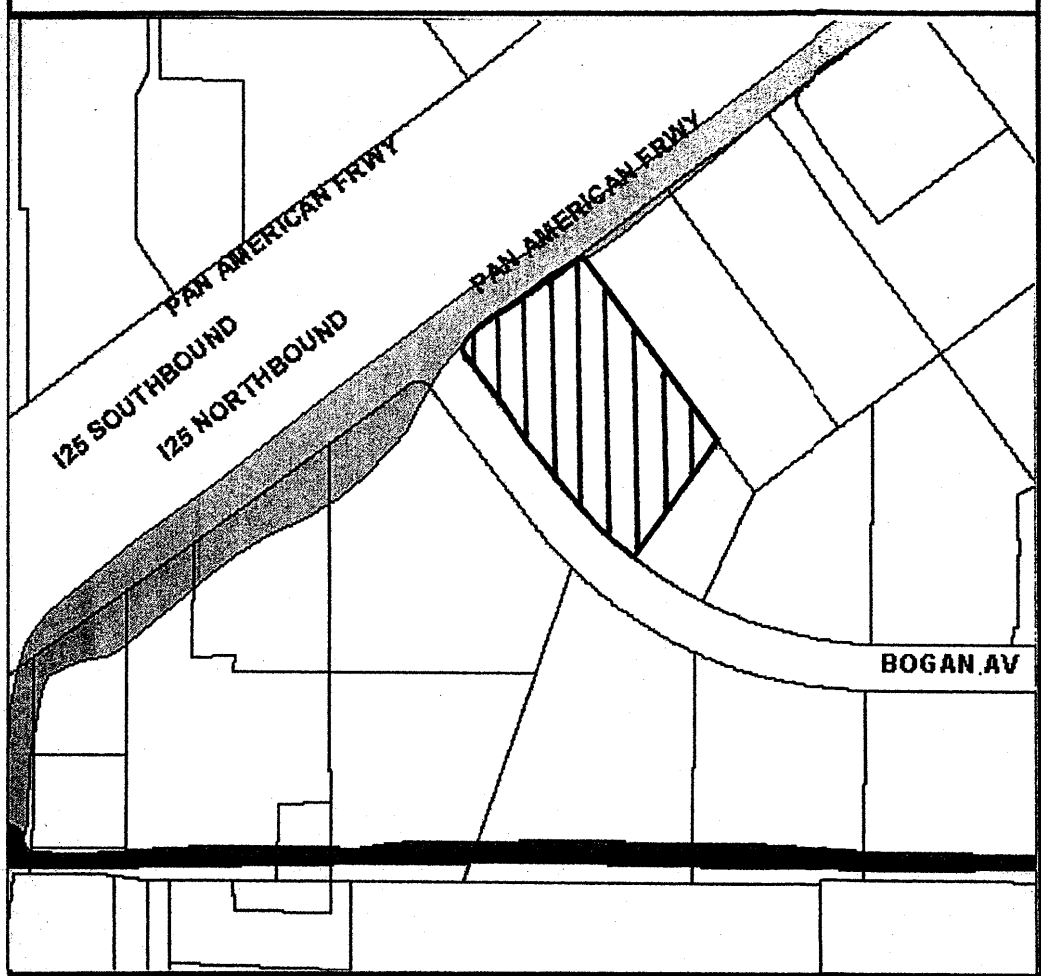
---	EXISTING BUILDING LINE
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ASPHALT RUNDOWN: Q (MANNING), SLOPE=10%, DEPTH=4" : CAPACITY=14.71 CFS

FLOOD PLAIN MAP



LEGAL DESCRIPTION

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TEMPORARY BENCHMARK

5 REBAR WITH TAG "P8 14269" AT NORTHEAST CORNER OF PROPERTY. ELEV. 5114.13

GRADING AND DRAINAGE PLAN

1"=20'

FITNESS SUPERSTORE SHOWROOM ADDITION
4840 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

DATE:
4 AUGUST 2004

REVISIONS:



SHEET NUMBER

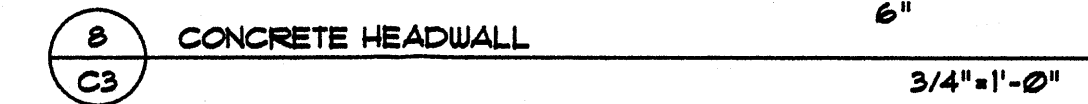
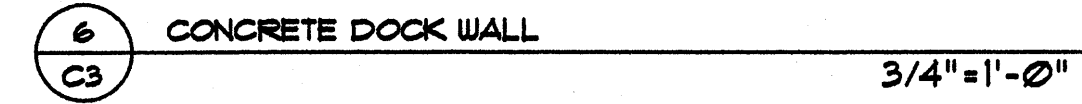
C2

NO. 07

ARCHITECTURE

Wallya ENGINEERING LTD.
Structural Engineering
Civil Engineering
8100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
855-3508 • Facsimile 854-5390

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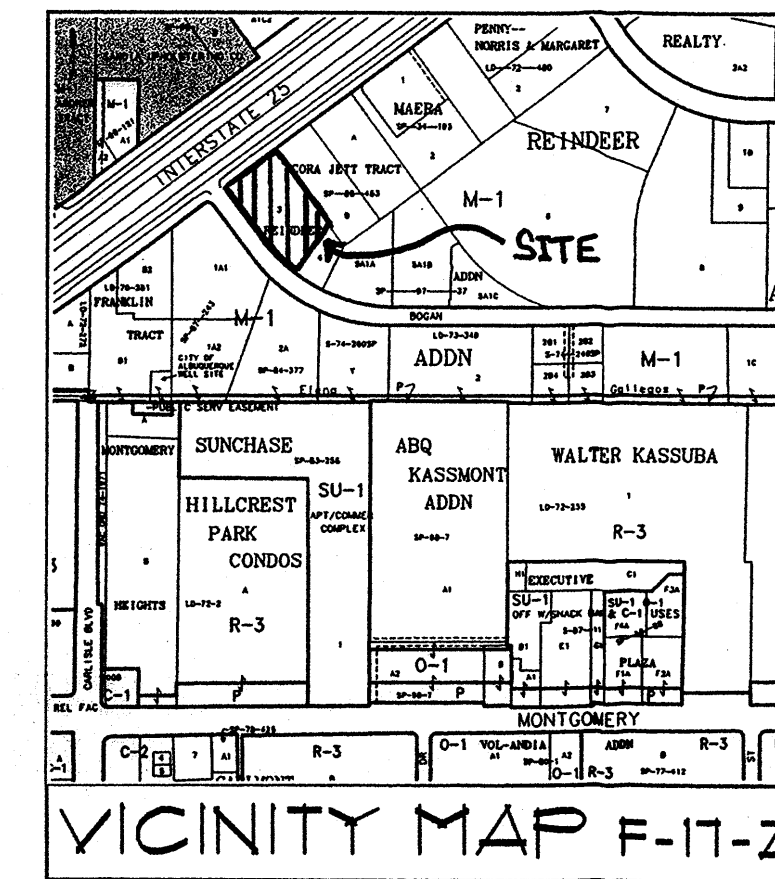
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APPROVALS	NAME	DATE
HYDROLOGY		
PERMIT NO.	MAP NO.	F-17-Z



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LEGEND

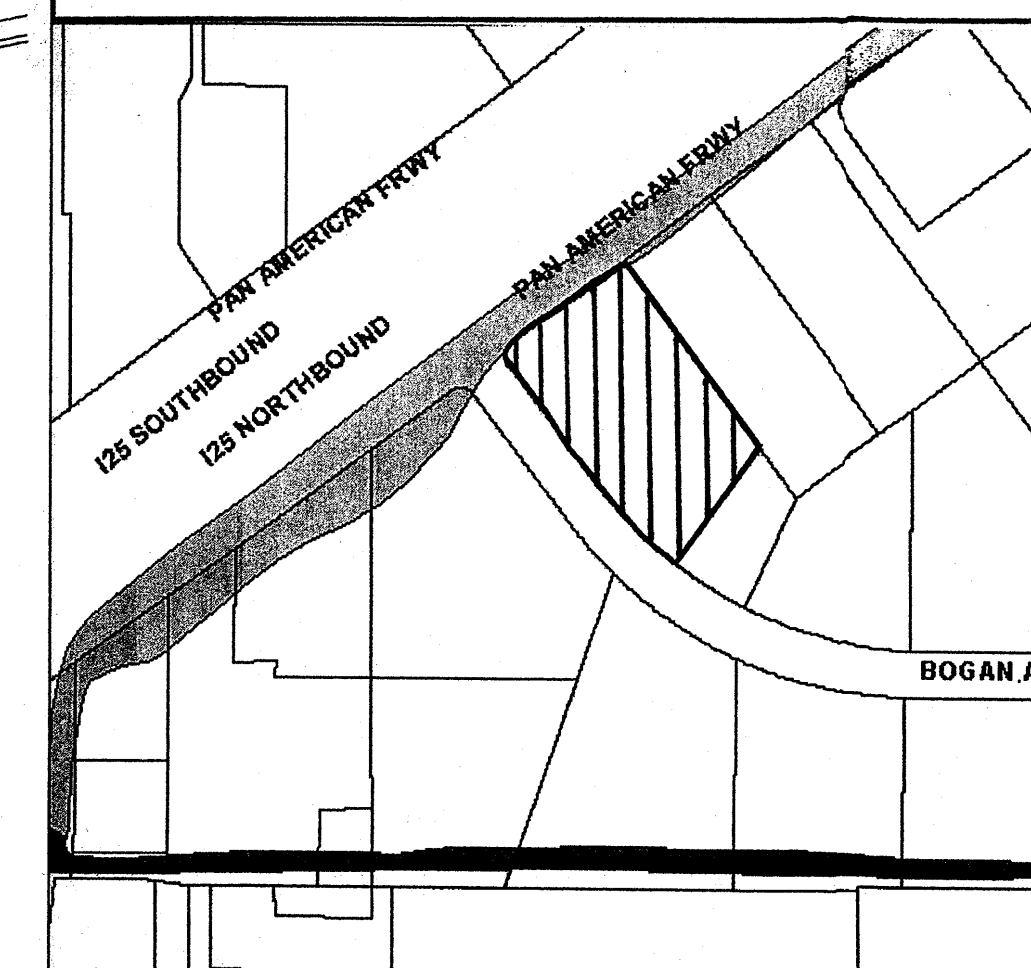
---	EXISTING BUILDING LINE
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13.00	PROPOSED SPOT ELEVATION
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[Pattern]	NEW CONCRETE PAVING
[Pattern]	NEW ASPHALT PAVING

HYDROLOGY CALCULATIONS

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TOTALS	2.039	100%			8.30	13.03	15.38	18.19	21.98

ASPHALT RUNDOWN: Q (MANNING), SLOPE=10%, DEPTH=4" : CAPACITY=14.71 CFS

FLOOD PLAIN MAP



LEGAL DESCRIPTION

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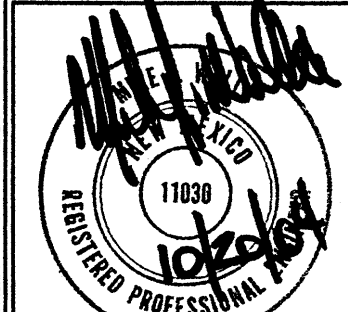
GRADING AND DRAINAGE PLAN

1"=20'

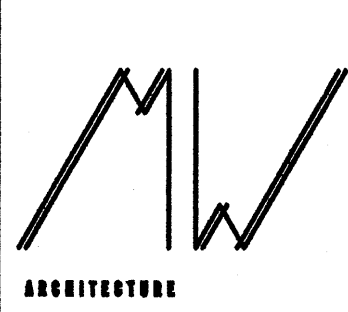
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4840 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

DATE:
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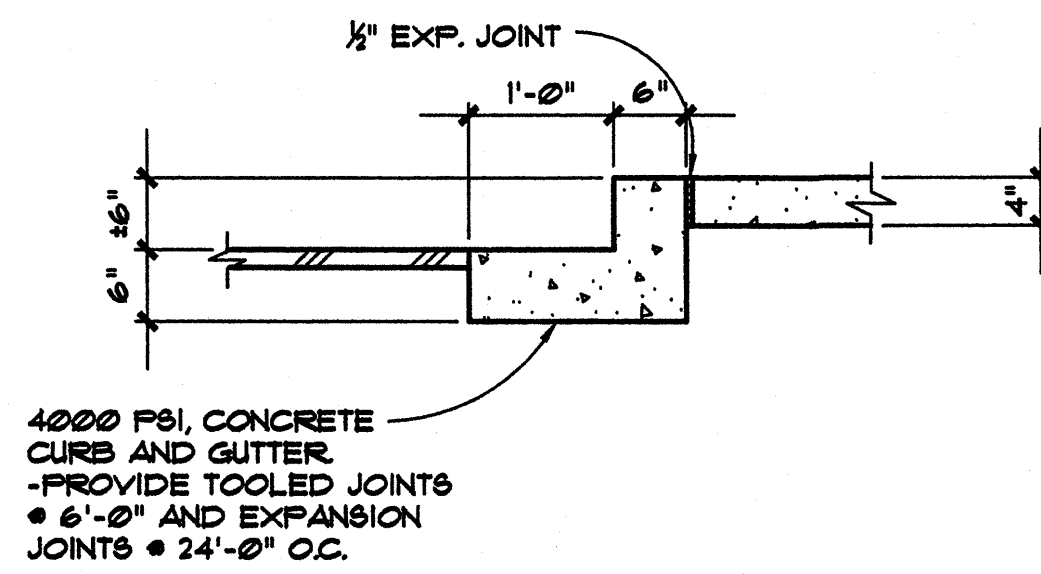
REVISIONS:



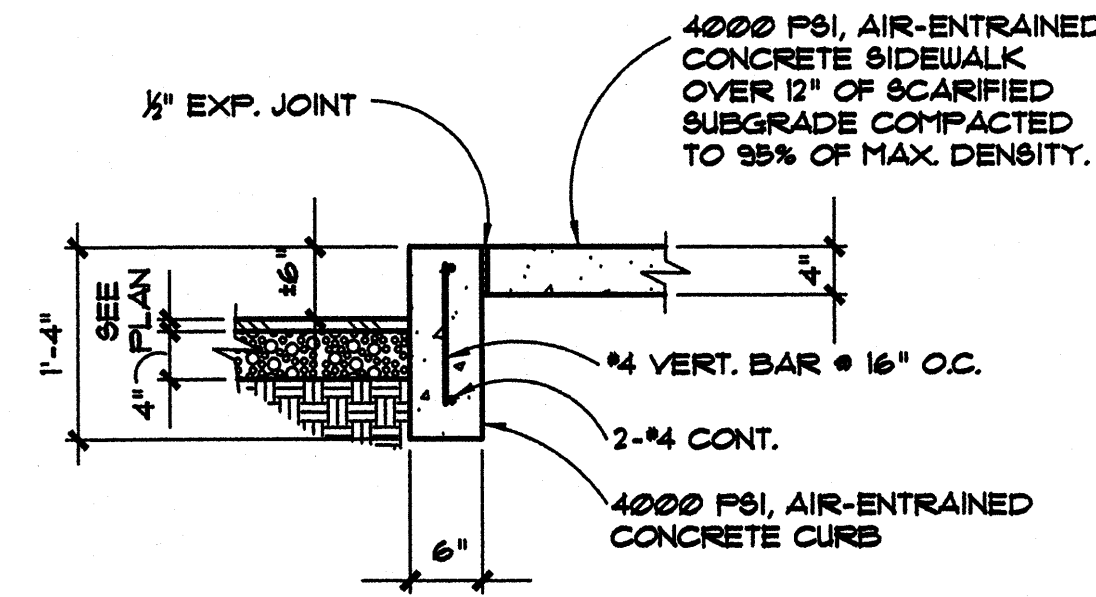
SHEET NUMBER
C2
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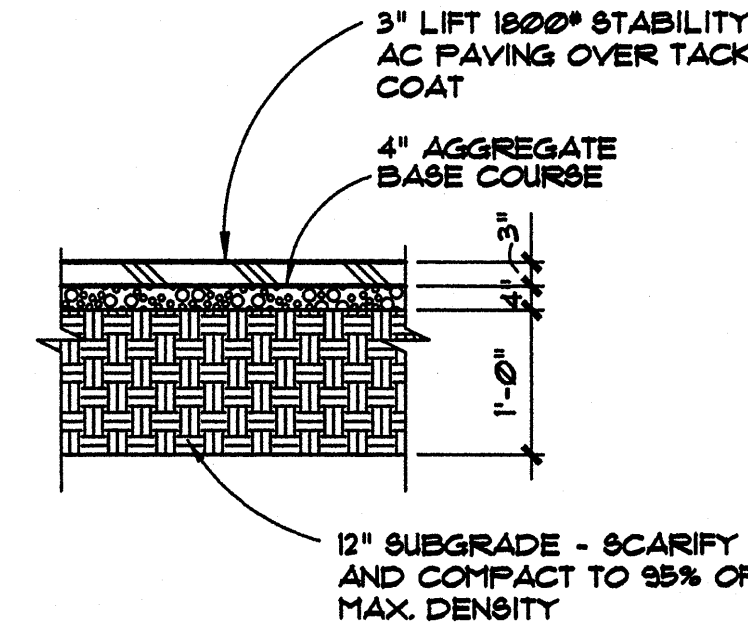
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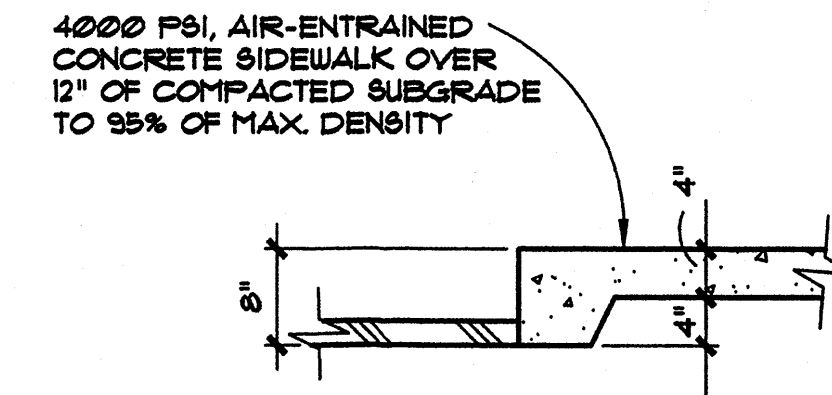
1 TYPICAL CONCRETE CURB & GUTTER DETAIL
C3 3/4"=1'-0"



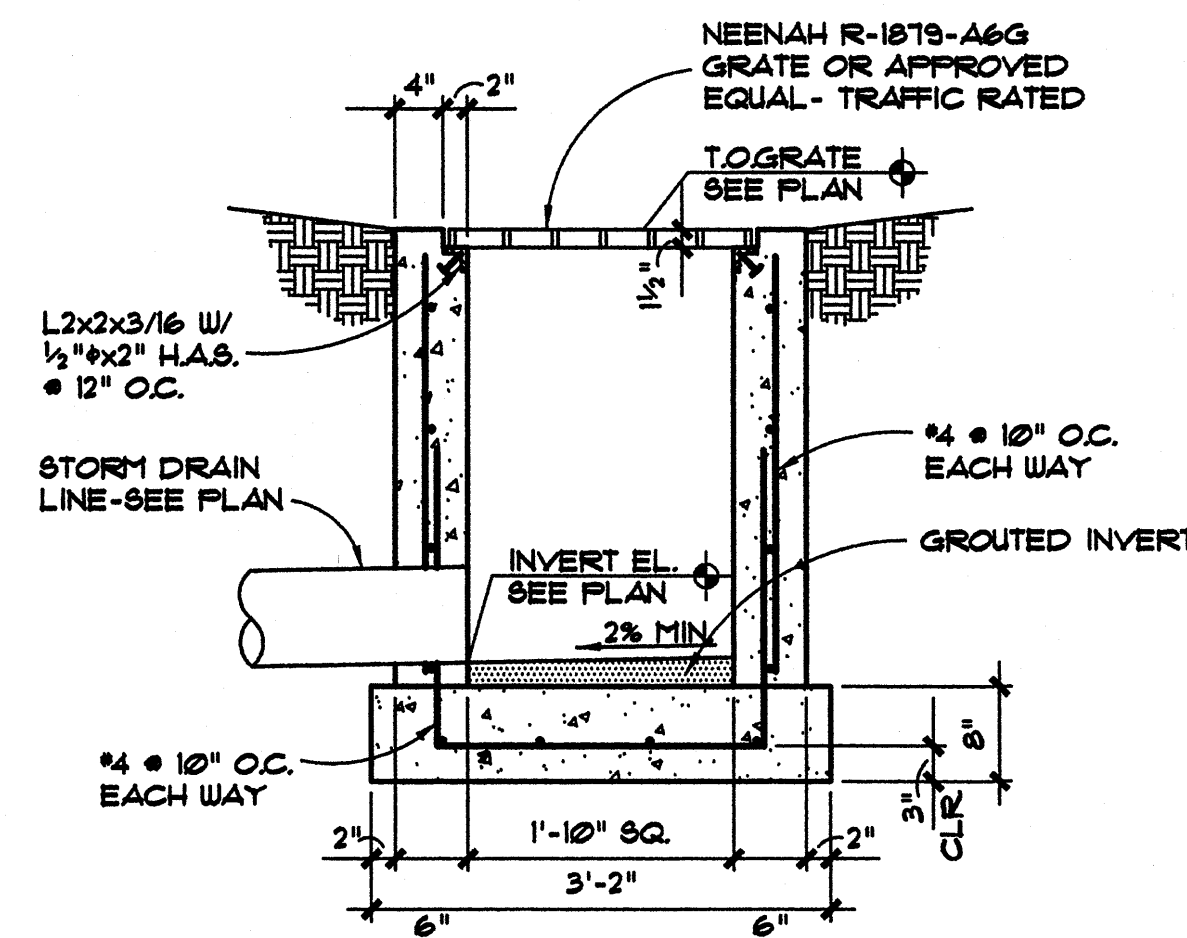
2 TYPICAL CONCRETE CURB DETAIL
C3 3/4"=1'-0"



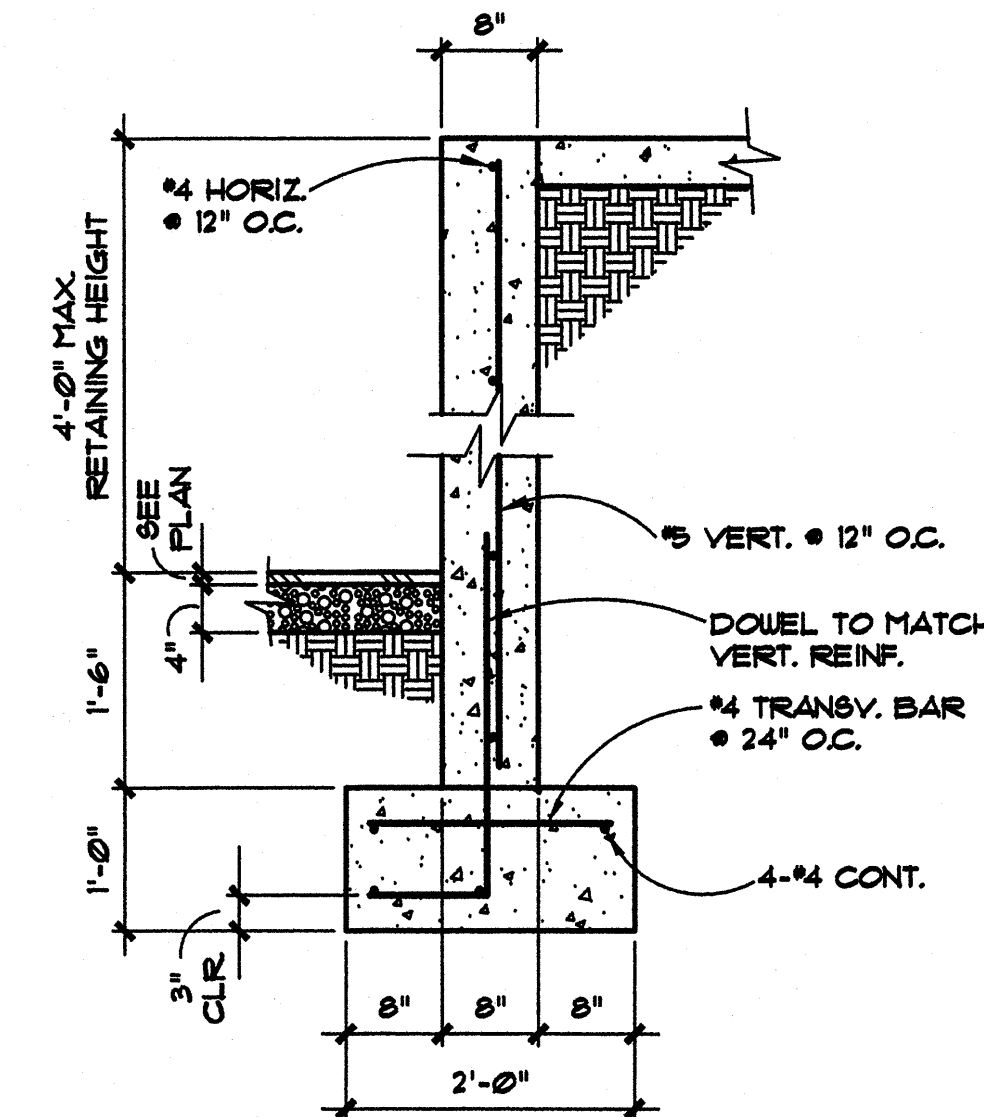
3 TYPICAL DRIVEWAY PAVING SECTION
C3 3/4"=1'-0"



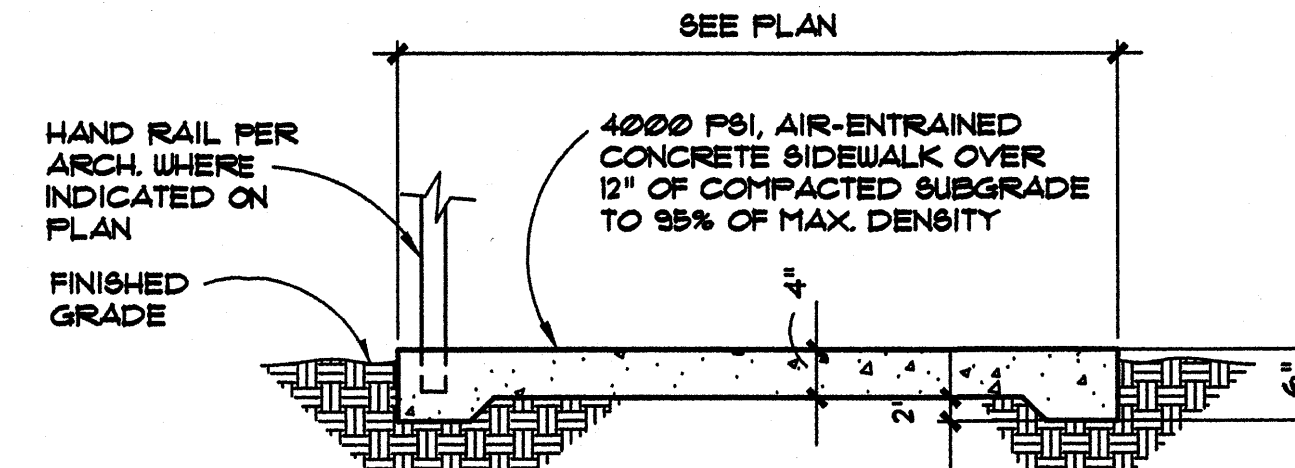
4 TYPICAL SIDEWALK DETAIL
C3 3/4"=1'-0"



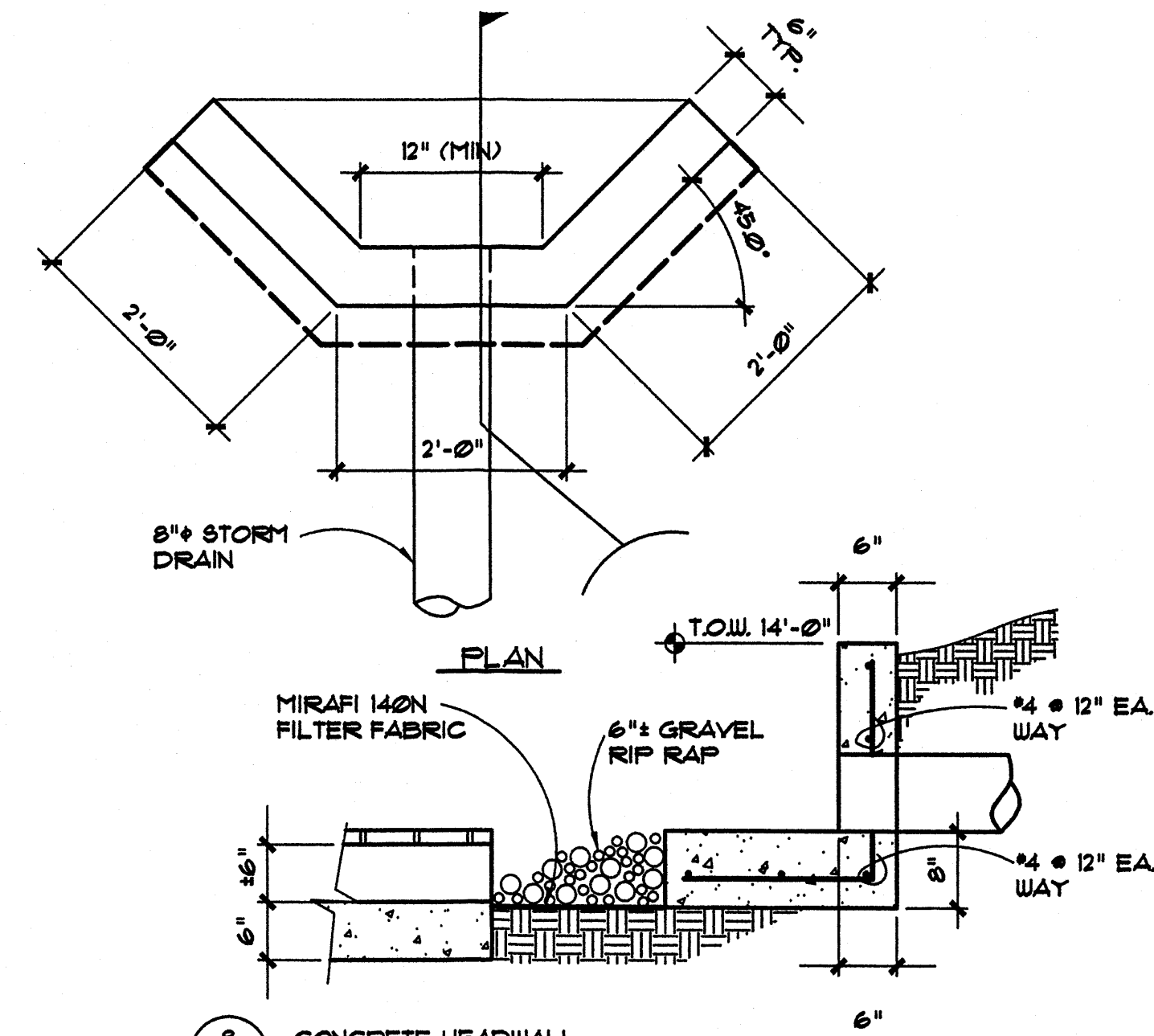
5 DROP INLET SECTION
C3 3/4"=1'-0"



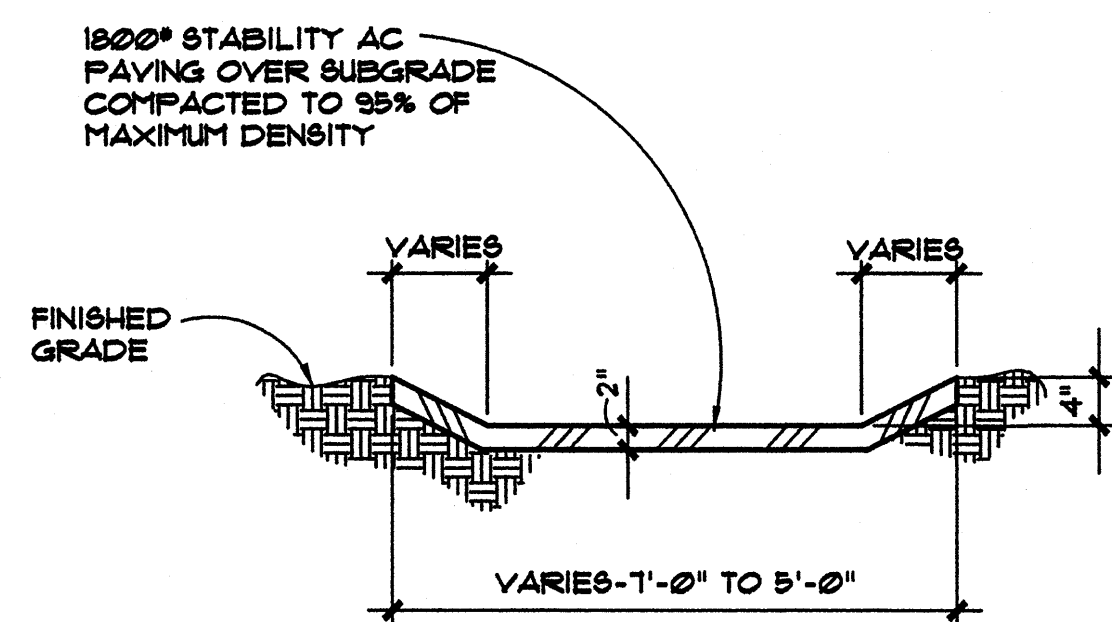
6 CONCRETE DOCK WALL
C3 3/4"=1'-0"



7 EXTERIOR SIDEWALK SECTION
C3 3/4"=1'-0"



8 CONCRETE HEADWALL
C3 3/4"=1'-0"



9 ASPHALT ROUNDOFF DETAIL
C3 N.T.S.

Walla Structural Engineering
Civil Engineering
ENGINEERING LTD.
6100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
505-308-5300 • Facsimile 505-308-5300

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FITNESS SUPERSTORE SHOWROOM ADDITION
4840 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

1500 PROGRESSIVE DR. SE
ALBUQUERQUE, NM 87106
(505) 262-0000

DATE:
30 JULY 2004

REVISIONS:



SHEET NUMBER

C3

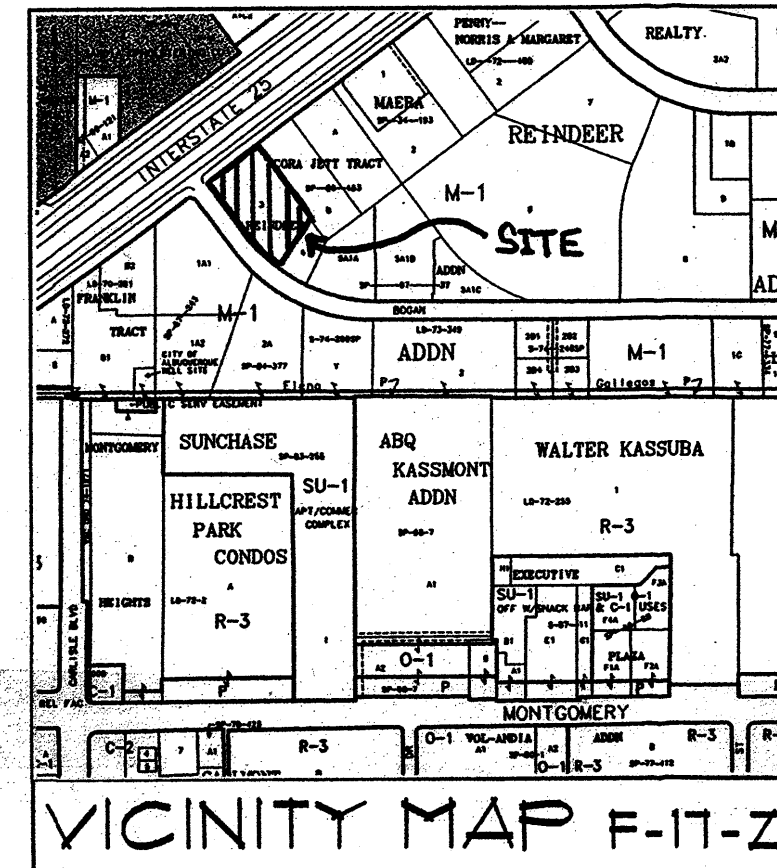
NO. 07



PUBLIC R.O.W. CONSTRUCTION NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THE CONTRACT SHALL, EXCEPT AS OTHERWISE STATED AND PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION 1988.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING LINES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE (ARTERIAL/COLLECTOR).
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

APPROVALS	NAME	DATE
HYDROLOGY		
PERMIT NO.	MAP NO.	F-17-Z



KEYED NOTES

- CONCRETE CURB AND GUTTER PER DETAIL 1/C3.
- CONCRETE CURB PER DETAIL 2/C3.
- ASPHALT PAVING PER DETAIL 3/C3.
- CONCRETE SIDEWALK PER DETAIL 4/C3.
- 4'-0" WIDE CURB BREAK.
- 2'-24" HDPE STORM DRAIN CULVERTS.
- PREFABRICATED END SECTION.
- 24" WIDE SIDEWALK CULVERT PER C.O.A. STANDARD DETAIL #2236.
- 2" THICK ASPHALT RUNDOWN. CONSTRUCT PER DETAIL 3/C3.
- CONCRETE VALLEY GUTTER PER C.O.A. STANDARD #2420.
- ASPHALT PAVED RAMP.
- 8" HDPE STORM DRAIN.
- STORM DRAIN DROP INLET PER DETAIL 5/C3. TOP OF GRATE ELEVATION=15.15 AND INVERT ELEVATION=14.40.
- CONCRETE DOCK WALL PER DETAIL 6/C3.
- CONCRETE SIDEWALK PER DETAIL 1/C3.
- 6'-0"x6'-0"x12" THICK RIP RAP W/ CONCRETE HEADWALL PER DETAIL 8/C3.
- 6" THICK CONCRETE WALK REINFORCED W/4 BARS @ 16" O.C. EACH WAY.
- 4'-0" DIAMETER PRECAST CONCRETE MANHOLE PER C.O.A. STD. DETAIL #2102, INV. IN=12.40, INV. OUT=12.36.
- 12" WIDE SIDEWALK CULVERT PER C.O.A. STD. DETAIL #2236.

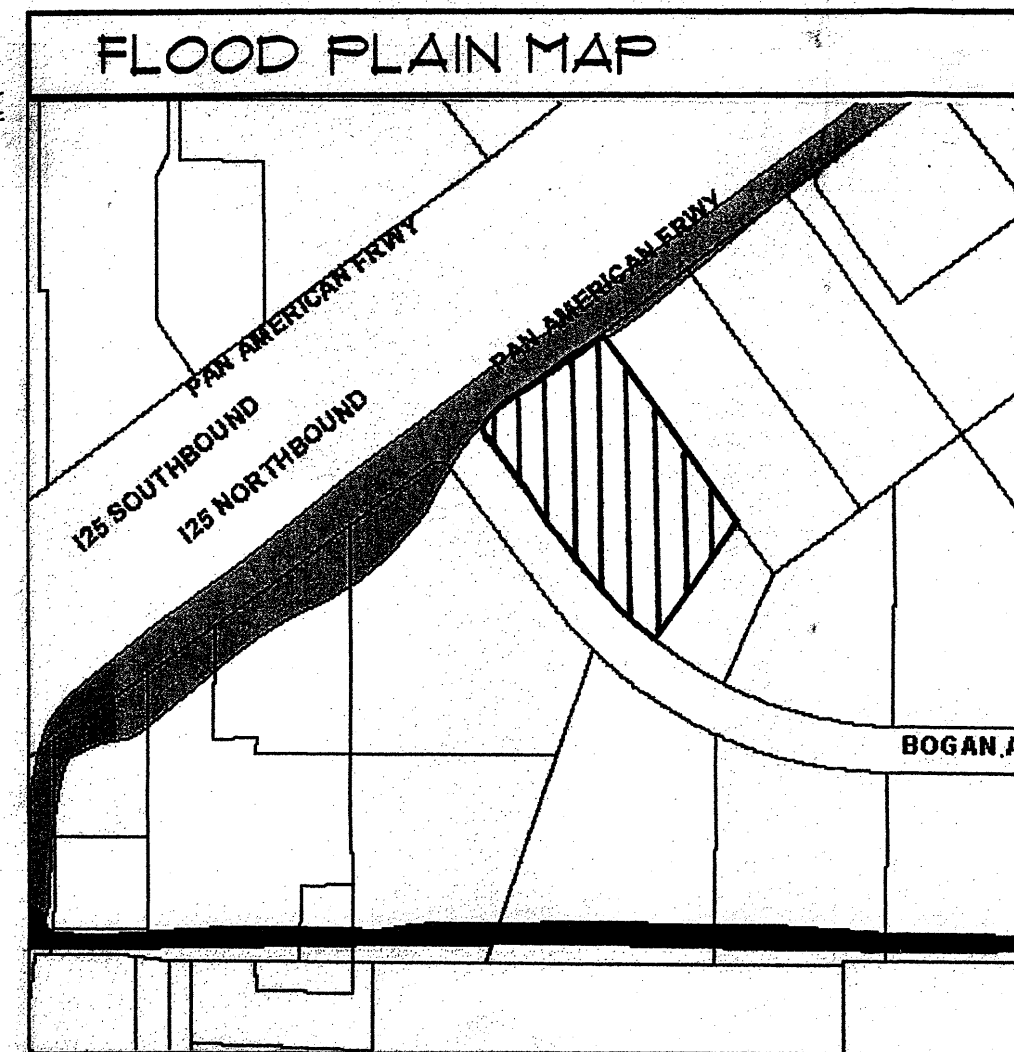
LEGEND

---	EXISTING BUILDING LINE
---	NEW BUILDING LINE
---	EXISTING CONTOUR
---	NEW CONTOUR
---	PROPERTY LINE
---	FENCE LINE
15.00	PROPOSED SPOT ELEVATION
15.00	EXISTING SPOT ELEVATION
→	FLOW DIRECTION ARROW
→	SWALE
TC	TOP OF CONCRETE
FG	FINISHED GRADE
FL	FLOW LINE
TA	TOP OF ASPHALT
INV	INVERT ELEVATION
---	NEW CONCRETE PAVING
---	NEW ASPHALT PAVING

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
			1hr	6hr	24hr	4day	10day		
			2.01	2.35	2.75	3.30	3.95		
EXISTING CONDITIONS									
LAND TRIBUT	AREA (ACRE)	AREA %	P6	Q (CF8/AC)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	156	0.00	0	0	0	0
B	0.003	40%	0.18	228	184	2,291	2,291	2,291	2,291
C	0.121	35%	1.13	3.14	2.26	2,951	2,951	2,951	2,951
D	0.503	25%	2.12	4.70	2.35	3,911	4,836	5,672	6,873
TOTALS	2.033	100%			6.50	9,165	9,504	10,920	12,121
PROPOSED CONDITIONS									
LAND TRIBUT	AREA (ACRE)	AREA %	P6	Q (CF8/AC)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.100	5%	0.53	156	0.16	192	192	192	192
B	0.200	10%	0.18	228	0.46	566	566	566	566
C	0.314	15%	1.13	3.14	0.93	1,144	1,144	1,144	1,144
D	1.425	70%	2.12	4.70	6.70	10,966	13,235	15,811	18,329
TOTALS	2.039	100%			8.30	13,013	15,538	16,941	19,199

ASPHALT RUNDOWN: Q (MANNING), SLOPE=10%, DEPTH=4" : CAPACITY=14.71 CF8



LEGAL DESCRIPTION

Lot numbered Three (3) of Plat of REINDEER ADDITION to the City of Albuquerque, New Mexico, as the same is shown and designated on the Plat of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 19, 1972, in Plat Book C8, folio 82.

TEMPORARY BENCHMARK

REBAR WITH TAG "F8 14263" AT NORTHEAST CORNER OF PROPERTY. ELEV. 5114.13

I, MIKE WALLA NFFE 11030, OF THE FIRM WALLA ENGINEERING LTD, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-20-04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY HARRIS SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 6-30-05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MIKE WALLA NFFE 11030
DATE 6/30/05



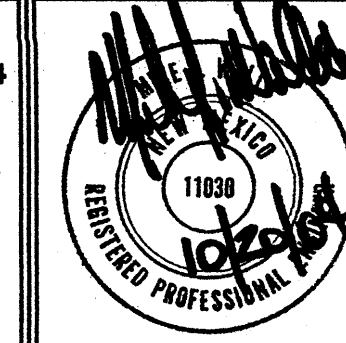
GRADING AND DRAINAGE PLAN

1"=20'

FITNESS SUPERSTORE SHOWROOM ADDITION
4840 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

DATE:
4 AUGUST 2004

REVISIONS:



SHEET NUMBER

C2

NO. 07



PROJECT DATA

PROJECT DESCRIPTION

NEW ONE-STORY FITNESS EQUIPMENT SHOWROOM ADDITION TO EXISTING COMMERCIAL BUILDING, INCLUDING RELATED DEMOLITION AND SITE DEVELOPMENT WORK. THE PROJECT INCLUDES A COMPLETE FIRE SPRINKLER SYSTEM THROUGHOUT THE EXISTING AND NEW PORTIONS OF THE BUILDING.

LEGAL DESCRIPTION OF SITE PROPERTY

LOT NUMBERED THREE (3) OF PLAT OF REINDEER ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JAN. 19, 1972 IN PLAT BOOK C8, FOLIO 82.

ZONING CLASSIFICATION:

M-1
(ZONE ATLAS PAGE F-17)

BUILDING FLOOR AREA CALCULATIONS:

TOTAL BUILDING AREA 20,363 sf

SHOWROOM (RETAIL) 11,587 sf
WAREHOUSE 8,776 sf

EXISTING BUILDING AREA TO REMAIN 12,153 sf
NEW SHOWROOM ADDITION 8,210 sf

OCCUPANCY GROUP CLASSIFICATION:

M (retail) and S-2 (storage)

CONSTRUCTION TYPE: V-N (sprinklered)

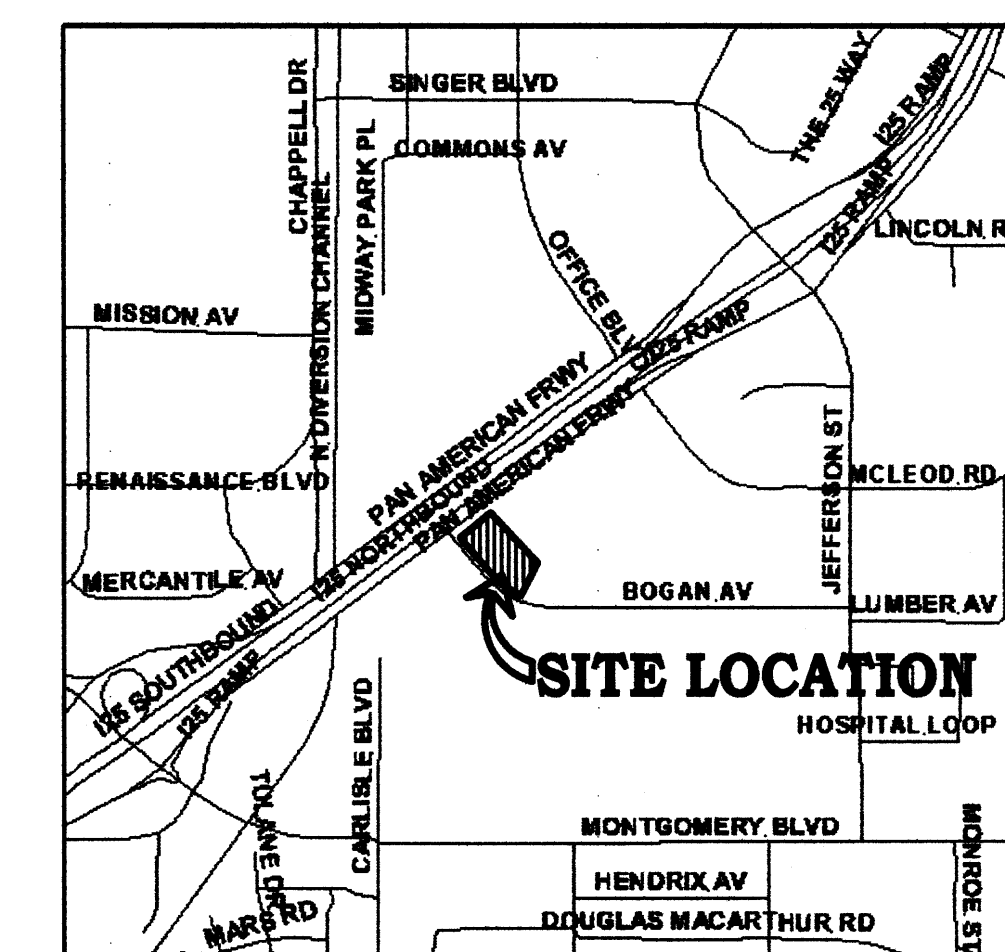
PARKING CALCULATIONS:

SHOWROOM (RETAIL) 11,587 sf x 1/200 = 57.94
WAREHOUSE 8,776 sf x 1/2000 = 4.39
SUBTOTAL BASIC PARKING SPACE REQMT 62.33
62.33 x 90% (BUS ROUTE DISCOUNT) = 56.10
PARKING SPACES REQUIRED = 57

PARKING SPACES PROVIDED = 95
(INCL 4 HDPC SPACES AND 25 SMALL CAR SPACES)

LANDSCAPE AREA CALCULATIONS:

TOTAL LOT AREA 89,173 sf
TOTAL BUILDING AREA 20,363 sf
NET LOT AREA 68,809 sf
LANDSCAPE AREA REQUIRED (1.5%) 10,321 sf
LANDSCAPE AREA PROVIDED 10,342 sf



LOCATION PLAN

(NOT TO SCALE) ZONE ATLAS PAGE F-17

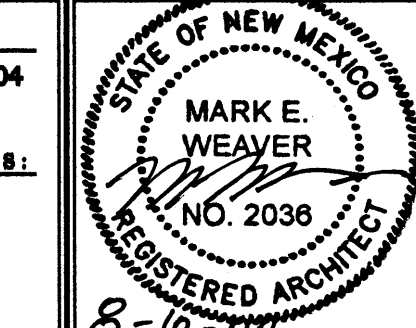
THE ARCHITECT AND HIS CONSULTANTS RETAIN OWNERSHIP OF THESE DRAWINGS AND THE DESIGNS DEPICTED HEREON. THE CLIENT IS GRANTED A NON-EXCLUSIVE LICENSE TO USE THESE DOCUMENTS FOR THE PURPOSE OF CONSTRUCTING, USING, AND MAINTAINING THE PROJECT. COPYING OR USING THESE DRAWINGS WITHOUT THE PERMISSION OF THE ARCHITECT IS AN INFRINGEMENT OF COPYRIGHT.

FITNESS SUPERSTORE SHOWROOM ADDITION
4840 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

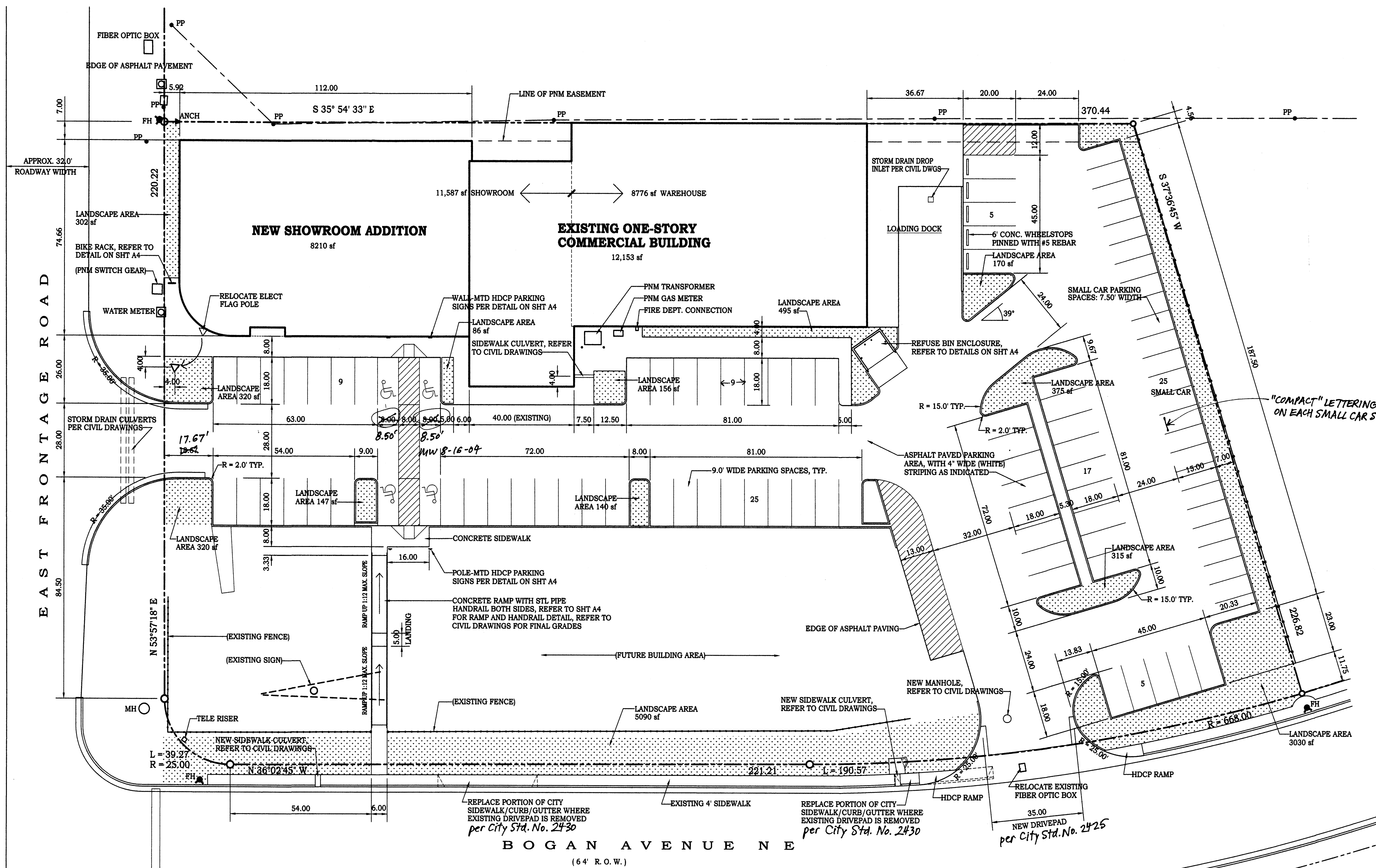
1245 PRINCETON DR. NE
ALBUQUERQUE, NM 87106
(505) 255-8046

DATE:
30 JULY 2004

REVISIONS:



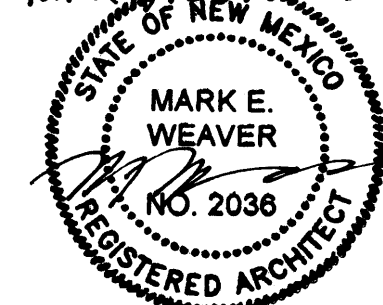
SHEET NUMBER
A1
NO. 2 OF 23



SITE PLAN

1/20" = 1'-0"

I hereby certify that this project was constructed in substantial compliance with this approved Traffic Circulation Layout.
Mark Weaver 6-28-05



TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 8/19/04