

PUBLIC R.O.W. CONSTRUCTION NOTES

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2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING LINES.

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

4. BACK FILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE (ARTERIAL/COLLECTOR).

5. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

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APPROVALS	NAME	DATE
HYDROLOGY		
PERMIT NO.	MAP NO.	
	F-17-Z	

LEGEND

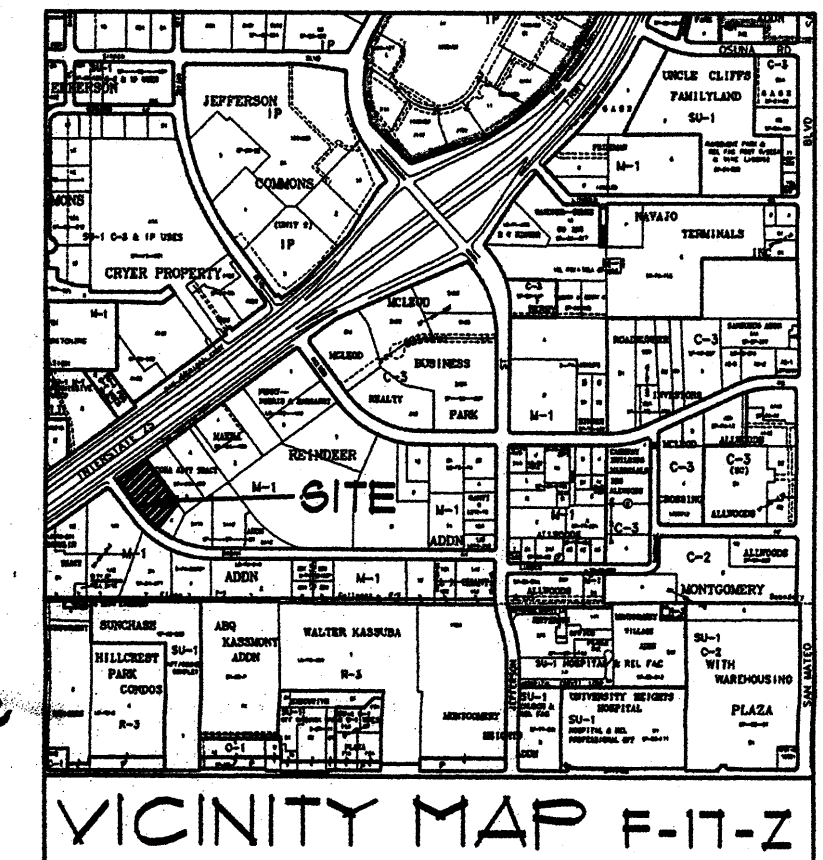
---	EXISTING BUILDING LINE
---	NEW BUILDING LINE
---	EXISTING CONTOUR
---	NEW CONTOUR
---	PROPERTY LINE
---	FENCE LINE
13.00	PROPOSED SPOT ELEVATION
13.00	EXISTING SPOT ELEVATION
→	FLOW DIRECTION ARROW
---	GUTTER
TC	TOP OF CONCRETE
FG	FINISHED GRADE
FL	FLOW LINE
TA	TOP OF ASPHALT
INV	INVERT ELEVATION
F.V.	FIELD VERIFY
TU	TOP OF WALL
BW	BOTTOM OF WALL
▲	INDICATES ROOF DRAIN
---	NEW CONCRETE PAVING
---	NEW ASPHALT PAVING
---	AS-BUILT ELEVATION

I, MIKE WALLA NFFE 18936 OF THE FIRM WALLA ENGINEERING, LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4-11-01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CONTRACTOR REPRESENTATIVE K. SUPPLEMENTAL I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2-15-06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN ANY NECESSARY INFORMATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE: 2/21/06

KEYED NOTES

1. NEW CONCRETE CURB PER DETAIL 2/C2.
2. ASPHALT PAVING PER DETAIL 3/C2.
3. NEW CONCRETE SIDEWALK PER DETAIL 4/C2.
4. EXISTING CURB AND GUTTER.
5. EXISTING CURB.
6. EXISTING SIDEWALK TO REMAIN.
7. EXISTING ASPHALT.
8. CONCRETE GUTTER PER DETAIL 1/C2.
9. MASONRY RETAINING WALL PER DETAIL 5/C2.
10. CONCRETE STAIR PER DETAIL 6/C2.
11. 4'-0" WIDE CURB BREAK FOR DRAINAGE.
12. 6"± GRAVEL LINED RUNDOWN-8'-0" WIDE X 12'-0" LONG.
13. EXISTING SIDEWALK CULVERT TO REMAIN.
14. NEW 12" WIDE SIDEWALK CULVERT PER C.O.A. STD. DRAWING 92236.
15. NEW 4'-0" WIDE ASPHALT RUNDOWN WITH 4" CURB AT EACH SIDE.
16. 6" PVC STORM DRAIN LINE THRU WALL AT ROOF DRAIN LINES.
17. RESHAPE DRAINAGE GUTTER TO 20" DOWNSIDE OF OUTLET.
18. CLEAN AND REMOVE DEBRIS FROM STORM DRAIN CULVERT IN BOGAN AVE. AND OUTLET PIPE, AS WELL AS EXISTING DOUBLE 30"± CULVERTS.
19. BUILD 4000 PSI, AIR-ENTRAINED CONCRETE CURB AND GUTTER TO MATCH EXISTING C & G PROFILE.



HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
			1hr	6hr	24hr	4day	10day		
			2.01	2.35	2.75	3.30	3.95		
EXISTING CONDITIONS									
LAND AREA	AREA	F6	Q	Q	V6	V24	V4DAY	V10DAY	
TRIBUT (ACRE)	(ACRE)	%	(CF6/AC)	(CF6)	(CF)	(CF)	(CF)	(CF)	
A	0.000	0%	0.53	156	0.00	0	0	0	
B	0.000	0%	0.78	228	1.84	2.29	2.29	2.29	
C	0.121	35%	1.13	3.14	2.26	2.55	2.55	2.55	
D	0.509	25%	2.12	4.70	2.39	3.91	4.65	5.67	
TOTALS	2.039	100%		6.50	9.16	9.90	10.92	12.11	
PROPOSED CONDITIONS									
LAND AREA	AREA	F6	Q	Q	V6	V24	V4DAY	V10DAY	
TRIBUT (ACRE)	(ACRE)	%	(CF6/AC)	(CF6)	(CF)	(CF)	(CF)	(CF)	
A	0.100	5%	0.53	156	0.16	192	192	192	
B	0.200	10%	0.78	228	0.46	5.66	5.66	5.66	
C	0.314	15%	1.13	3.14	0.99	1.44	2.31	3.12	
D	1.425	70%	2.12	4.70	6.70	10.96	13.05	15.81	
TOTALS	2.039	100%		8.30	13.03	15.38	16.94	19.59	

ASPHALT RUNDOWN: Q (MANNING), SLOPE=10%, DEPTH=4", CAPACITY=14.71 CF6
POND CAPACITY - NORTH= 480CF
- SOUTH= 1720CF
TOTAL = 2200CF

2- 24" STORM DRAIN LINES: CAPACITY = 26 CF6 • EXISTING DRIVE PAD

Walla Structural Engineering
Civil Engineering
6100 Indian School Road NE • Suite 210
Albuquerque, New Mexico 87110
881-3008 • Facsimile 884-5590

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WEINGARDT RETAIL BUILDING
4800 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

DATE:
11 APRIL 2007

RECEIVED
FEB 22 2008

SHEET NUMBER
C1

NO. 07

ARCHITECTURE

100% PRODUCTION SET BY
ALBUQUERQUE, NEW MEXICO
1000000-0000

100% PRODUCTION SET BY
ALBUQUERQUE, NEW MEXICO
1000000-0000

100% PRODUCTION SET BY
ALBUQUERQUE, NEW MEXICO
1000000-0000

100% PRODUCTION SET BY
ALBUQUERQUE, NEW MEXICO
1000000-0000

100% PRODUCTION SET BY
ALBUQUERQUE, NEW MEXICO
1000000-0000

DESIGN NARRATIVE

DESCRIPTION:
THIS PROJECT IS PHASE 2 OF THE DEVELOPMENT OF THIS SITE WHICH INCLUDES THE CONSTRUCTION OF A 13,000 SF BUILDING AND SOME ADDITIONAL PARKING ON THE UNDEVELOPED SOUTH SIDE OF THE SITE.

OFFSITE FLOW:
THE NEW WORK WILL CONVEY FLOW DEVELOPED ON SITE TO DOWNSIDE FACILITIES BUT NO OFFSITE FLOW AFFECT THE SITE.

DEVELOPED RUNOFF:
RUNOFF DEVELOPED FROM THE NEW BUILDING IS DIRECTED TO BOGAN AVENUE FROM ROOF DRAINS THROUGH SIDEWALK CULVERTS. RUNOFF DEVELOPED ON THE EAST END OF THE SITE WILL CONTINUE TO FLOW TO BOGAN AVE. THRU THE EAST DRIVE ENTRANCE. THE REMAINDER OF ONSITE DEVELOPED FLOW WILL CONTINUE TO DRAIN TO THE DRAINAGE CHANNEL AND PONDING AREA ADJACENT TO THE 1-25 EAST FRONTAGE RD. REGRADING IN THE AREA ADJACENT TO THE FRONTAGE RD. WILL PROVIDE SOME PONDING CAPACITY BUT THE RUNOFF WILL CONTINUE TO FLOW SOUTH THROUGH THE GRATE COVERED TRENCH IN BOGAN AVE. IN THE DRAINAGE CHANNEL ADJACENT TO THE FRONTAGE ROAD TO THE NORTH DIVERSION CHANNEL JUST NORTH OF MONTGOMERY BLVD.

LEGAL DESCRIPTION

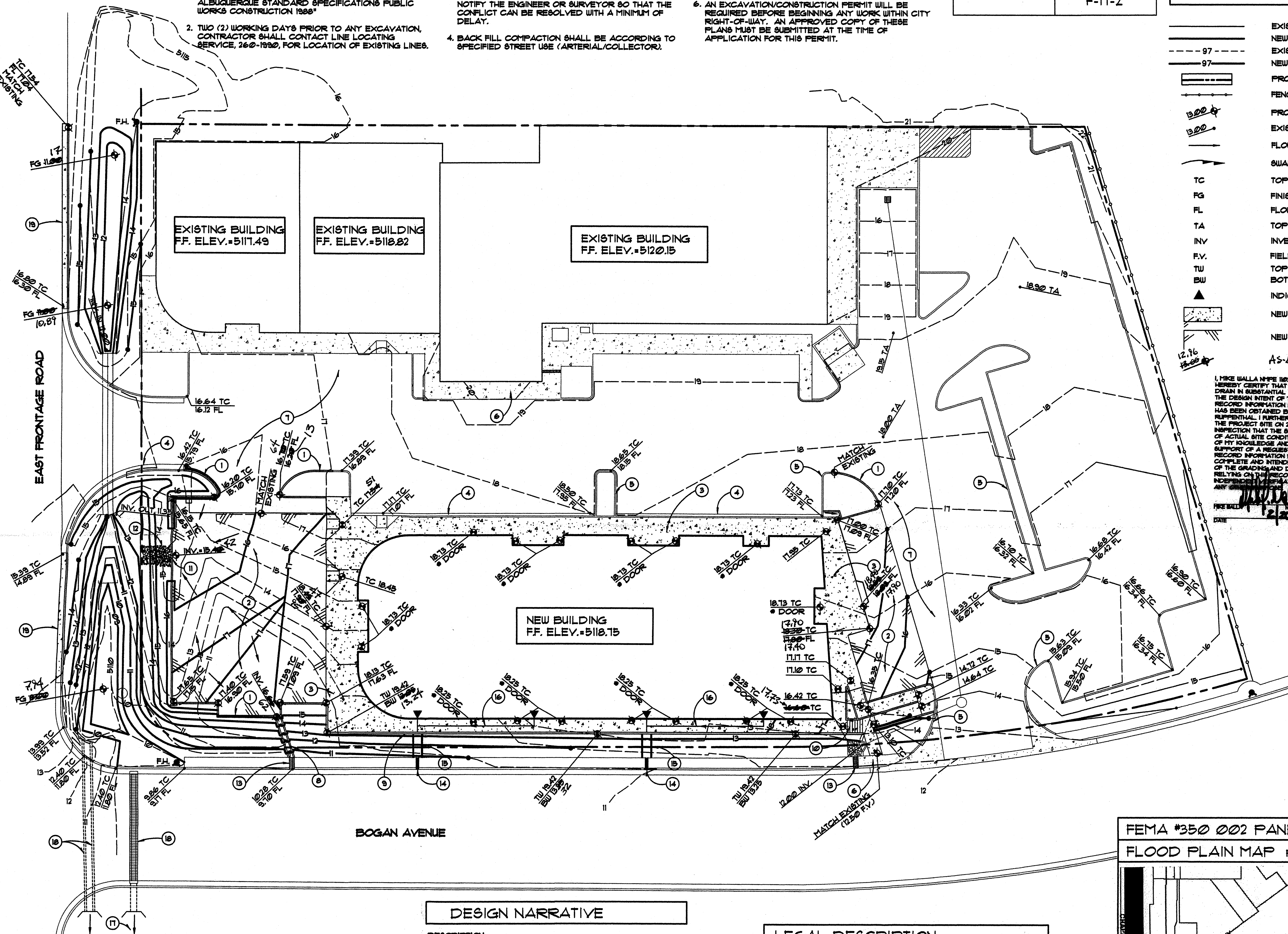
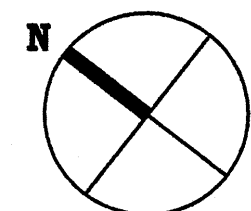
LOT NUMBERED THREE (3) OF PLAT OF REINDEER ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 19, 1912, IN PLAT BOOK C8, FOLIO 82.

TEMPORARY BENCHMARK

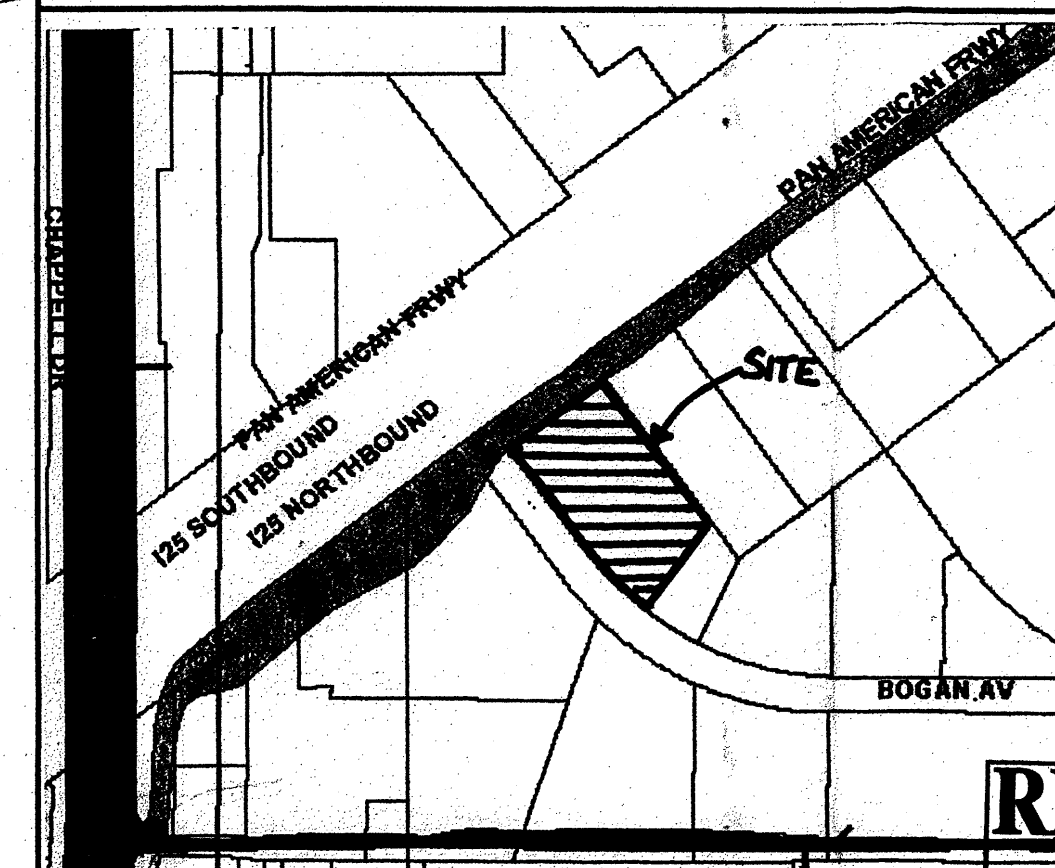
5" REBAR WITH TAG "PS 14269" AT NORTHEAST CORNER OF PROPERTY. ELEV. 5114.15

GRADING & DRAINAGE PLAN

1"=20'



FEMA #350 002 PANEL # 0138E
FLOOD PLAIN MAP
FILED NOV. 19, 2003



RECEIVED
FEB 22 2008

HYDROLOGY
SECTION

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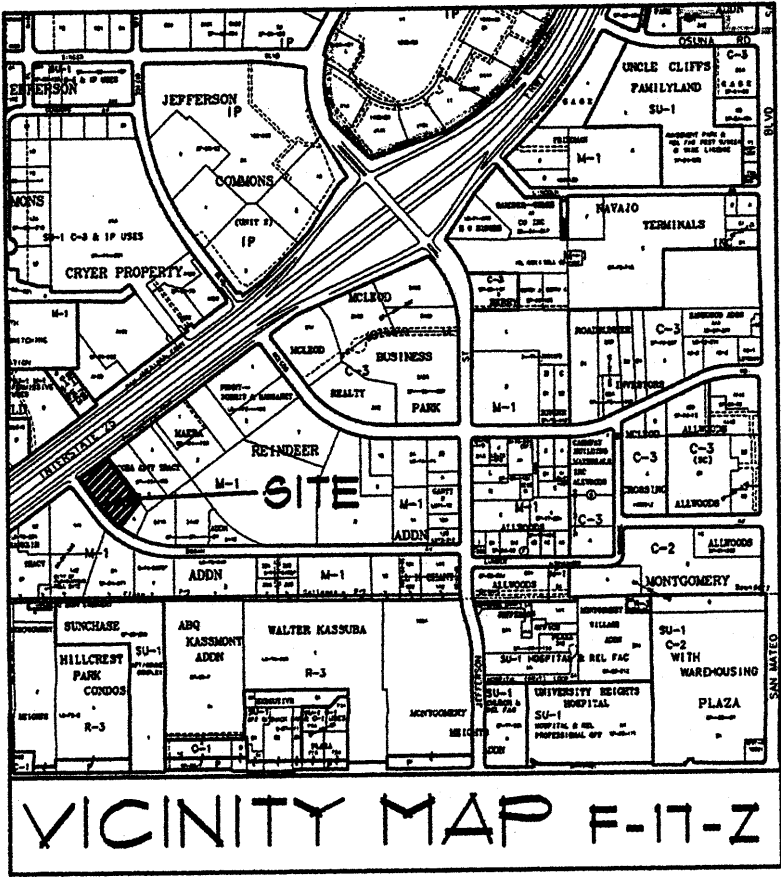
APPROVALS	NAME	DATE
HYDROLOGY		
PERMIT NO.	MAP NO.	F-17-Z

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---	NEW BUILDING LINE
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---	NEW CONTOUR
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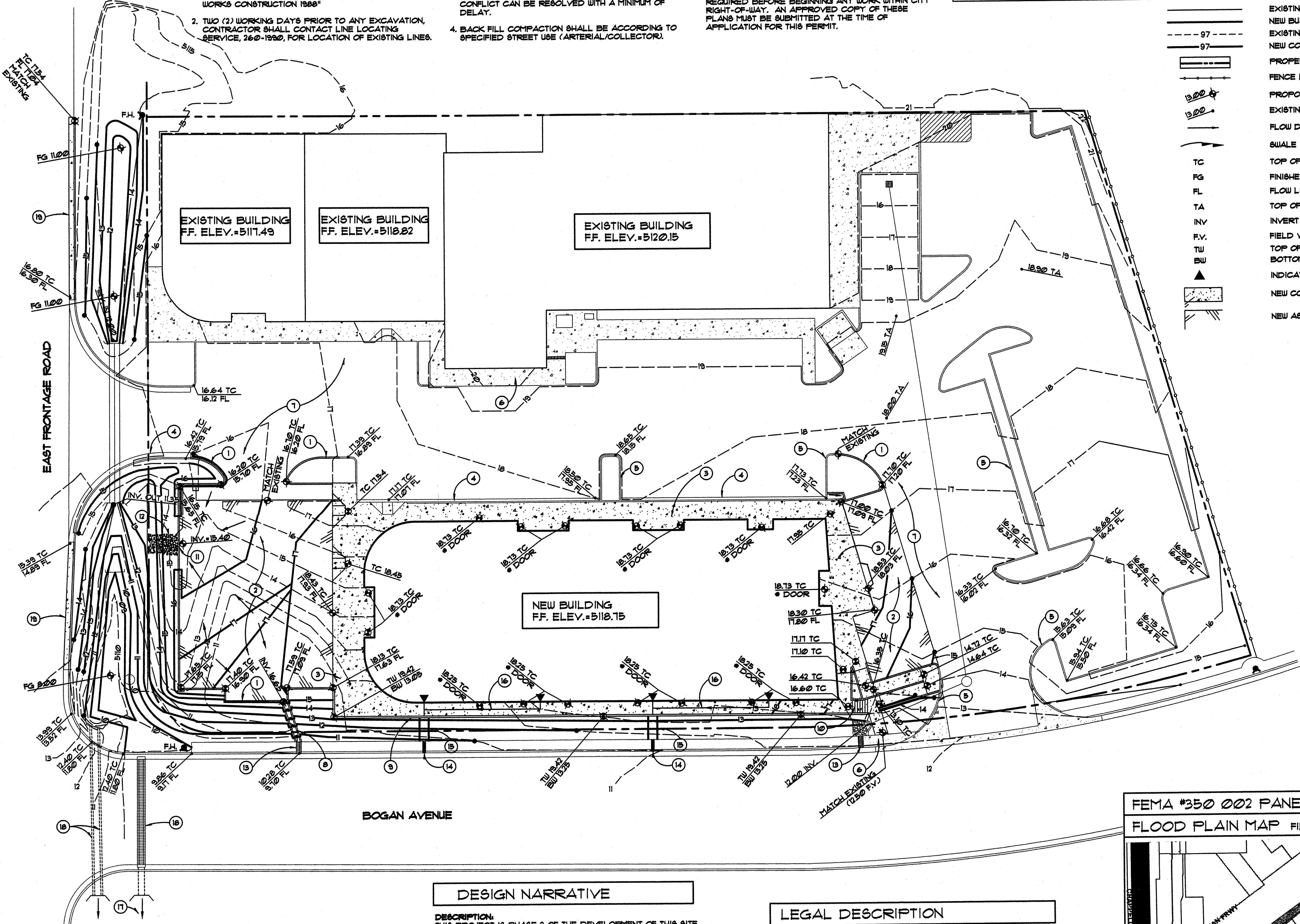
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PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
	1hr	6hr	24hr	4day	10day				
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A	0.000	0%	0.53	156	0.00	0	0	0	0
B	0.000	0%	0.18	228	0.04	228	228	228	228
C	0.121	35%	1.13	3.14	2.26	2,951	2,951	2,951	2,951
D	0.509	25%	2.12	4.10	2.93	9,917	4,856	5,612	6,813
TOTALS	2.039	100%		6.50	9.165	9,924	10,920	12,121	
PROPOSED CONDITIONS									
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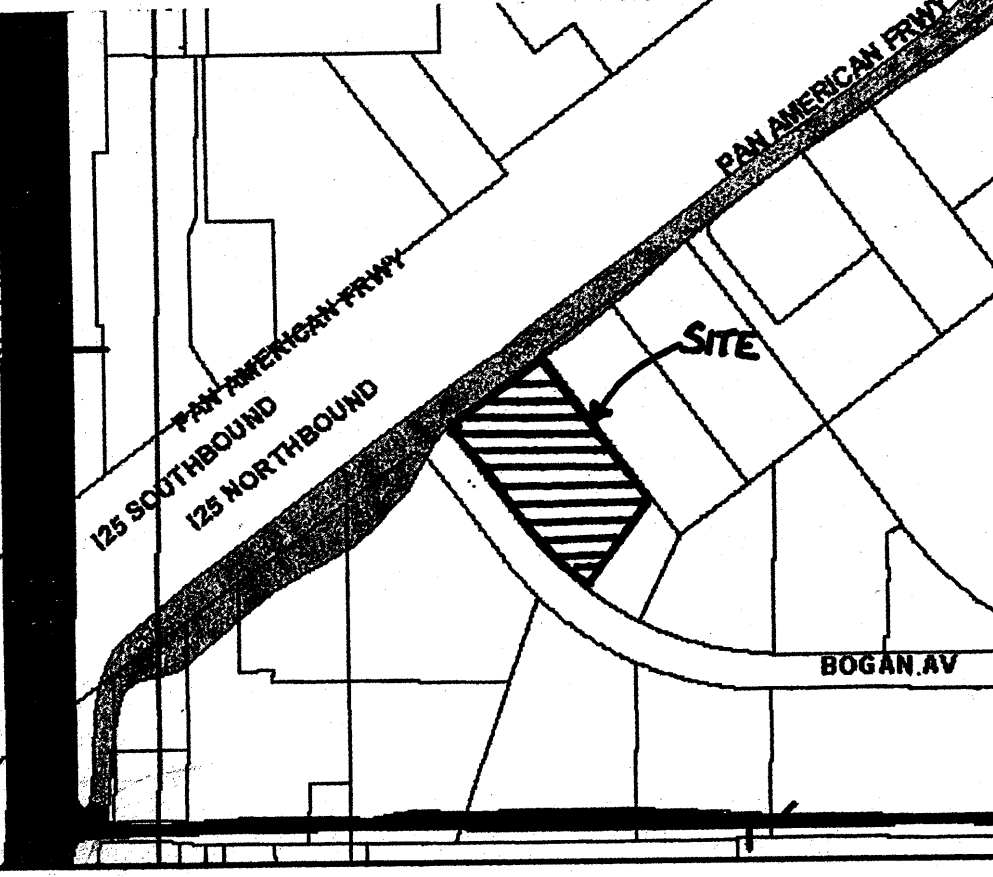
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TEMPORARY BENCHMARK

5 REBAR WITH TAG "P8 14269" AT NORTHEAST CORNER OF PROPERTY. ELEV. 5114.13

FEMA #350 002 PANEL # 0138E
FLOOD PLAIN MAP FILES NOV. 19, 2003



Walla Structural Engineering
Civil Engineering
6100 Indian School Road NE Suite 210
Albuquerque, New Mexico 87110
867-3509 • Facsimile 864-5390

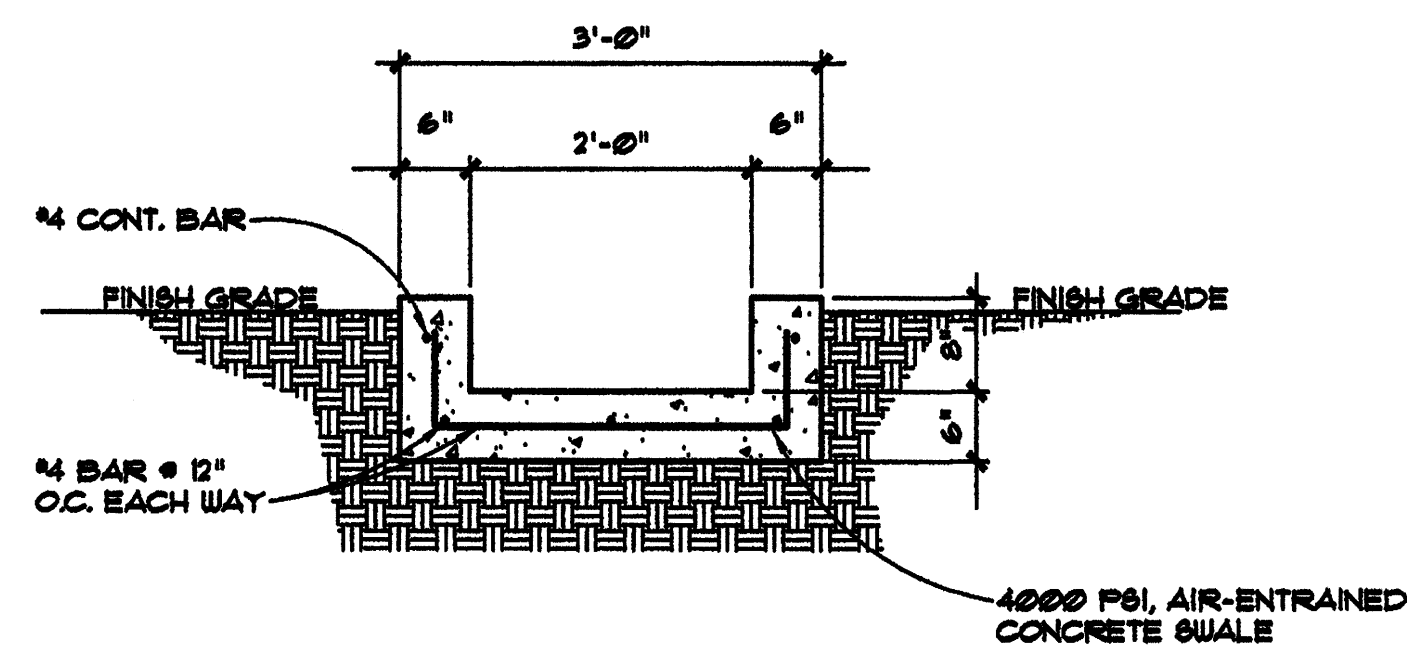
WEINGARDT RETAIL BUILDING
4800 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

DATE:
11 APRIL 2007

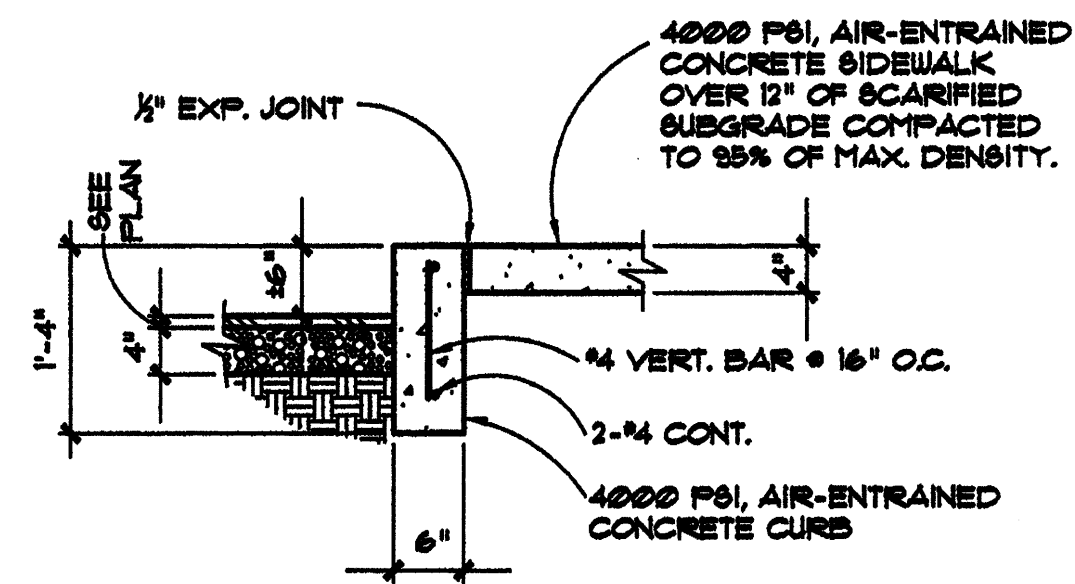
REVISIONS:

NO. OF
C1

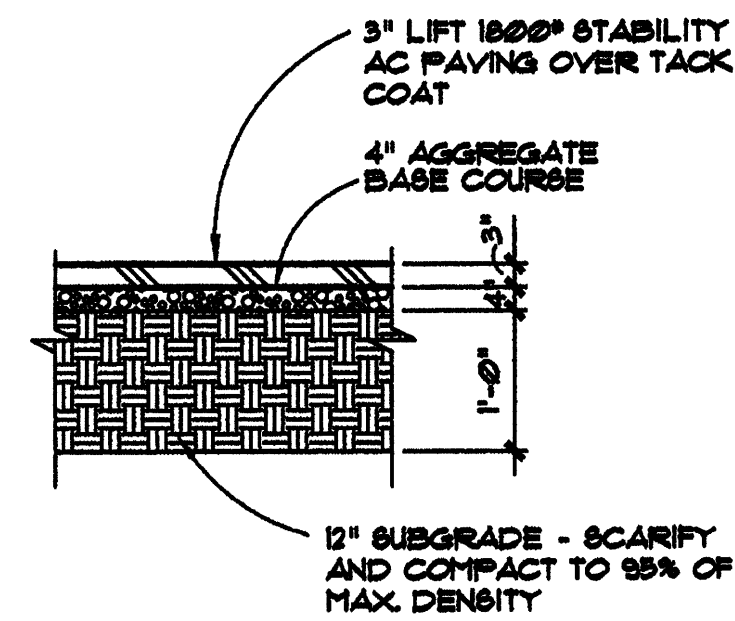
ARCHITECTURE



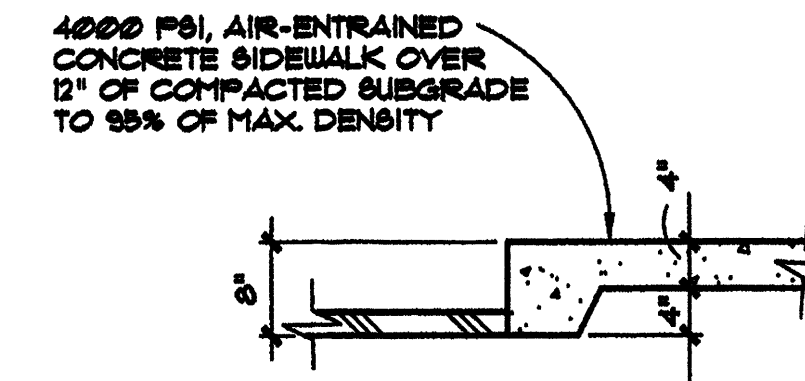
1 CONCRETE SWALE
3/4"=1'-0"



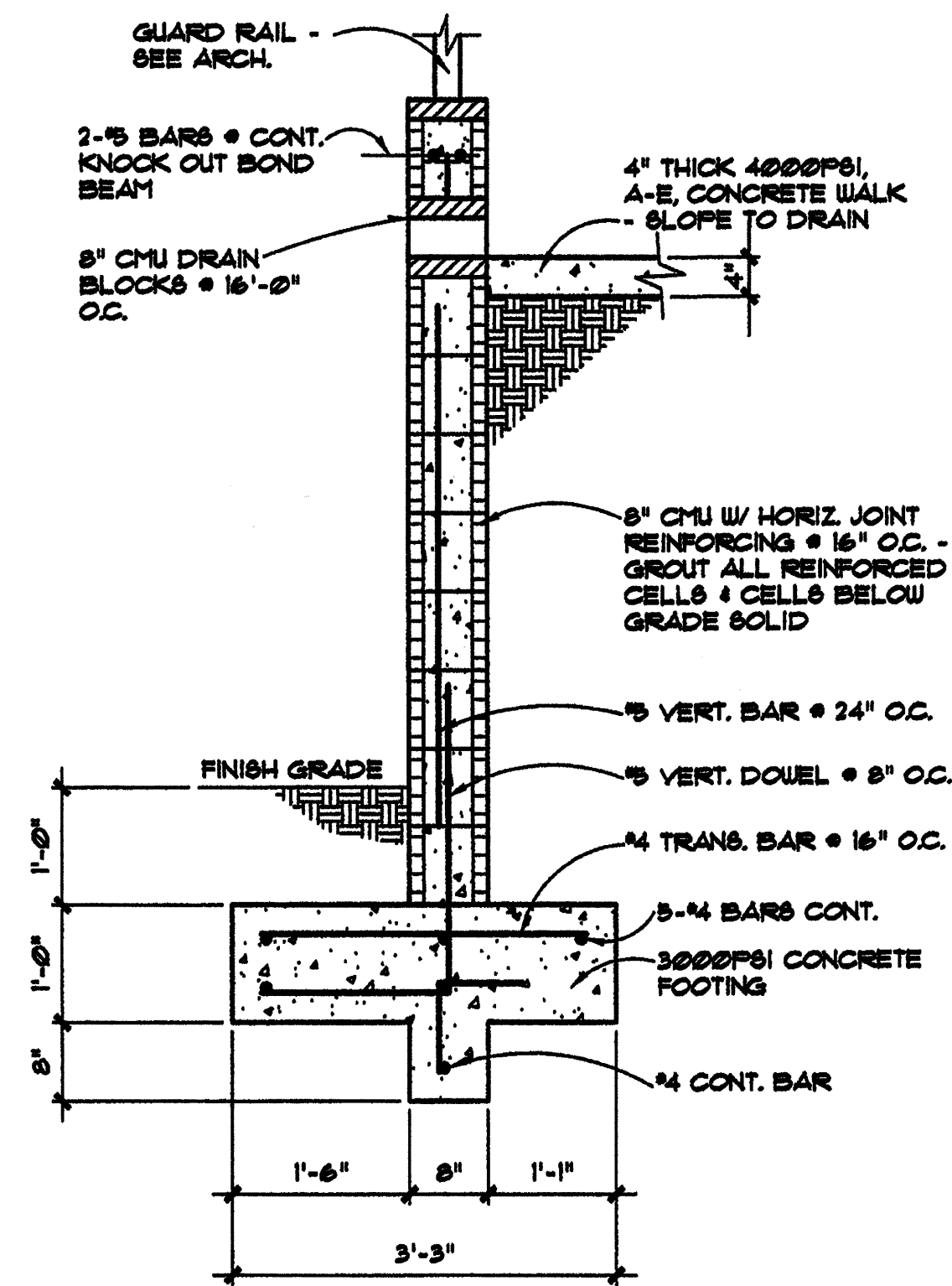
2 TYPICAL CONCRETE CURB DETAIL
3/4"=1'-0"



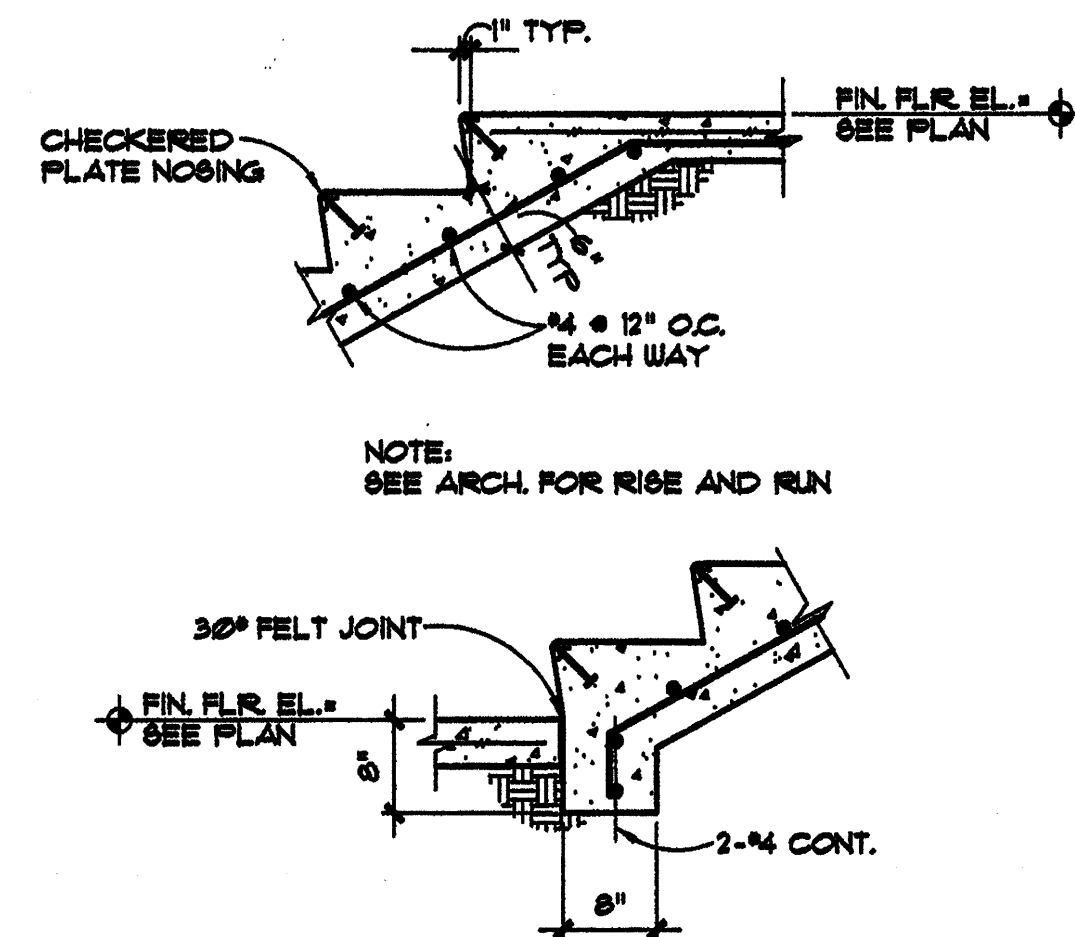
3 TYPICAL ASPHALT PAVING SECTION
3/4"=1'-0"



4 TYPICAL CONCRETE SIDEWALK DETAIL
3/4"=1'-0"



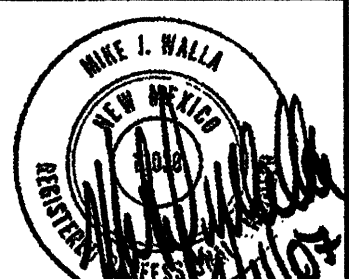
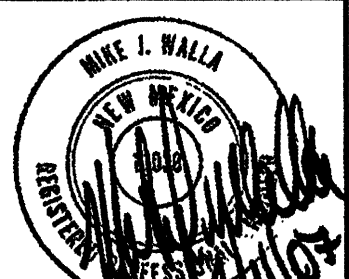
5 MASONRY RETAINING WALL
3/4"=1'-0"



6 TYPICAL CONCRETE STAIR
3/4"=1'-0"

Walla Structural Engineering
Civil Engineering
5100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
881-3608 Pacemile 884-8380

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WEINGARDT RETAIL BUILDING 4800 PAN AMERICAN FRWY NE ALBUQUERQUE, NEW MEXICO		1500 PROJECTIONS IN THE ARCHITECTURE (100) (100) (100)
DATE: 11 APRIL 2007	REVISIONS:	  C2 NO. 07 ARCHITECTURE

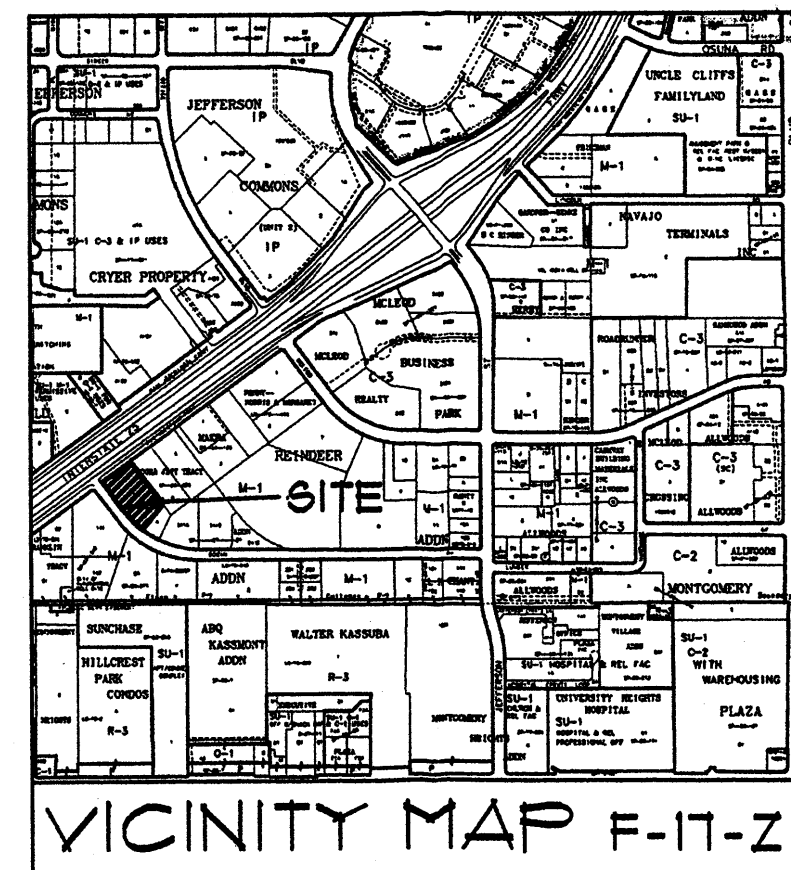
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HYDROLOGY		
PERMIT NO.	MAP NO.	
	F-17-Z	



KEYED NOTES

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- ASPHALT PAVING PER DETAIL 3/C2.
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- 4'-0" WIDE CURB BREAK FOR DRAINAGE.
- 6'-0" GRAVEL LINED RUNDOWN-8'-0" WIDE X 12'-0" LONG.

LEGEND

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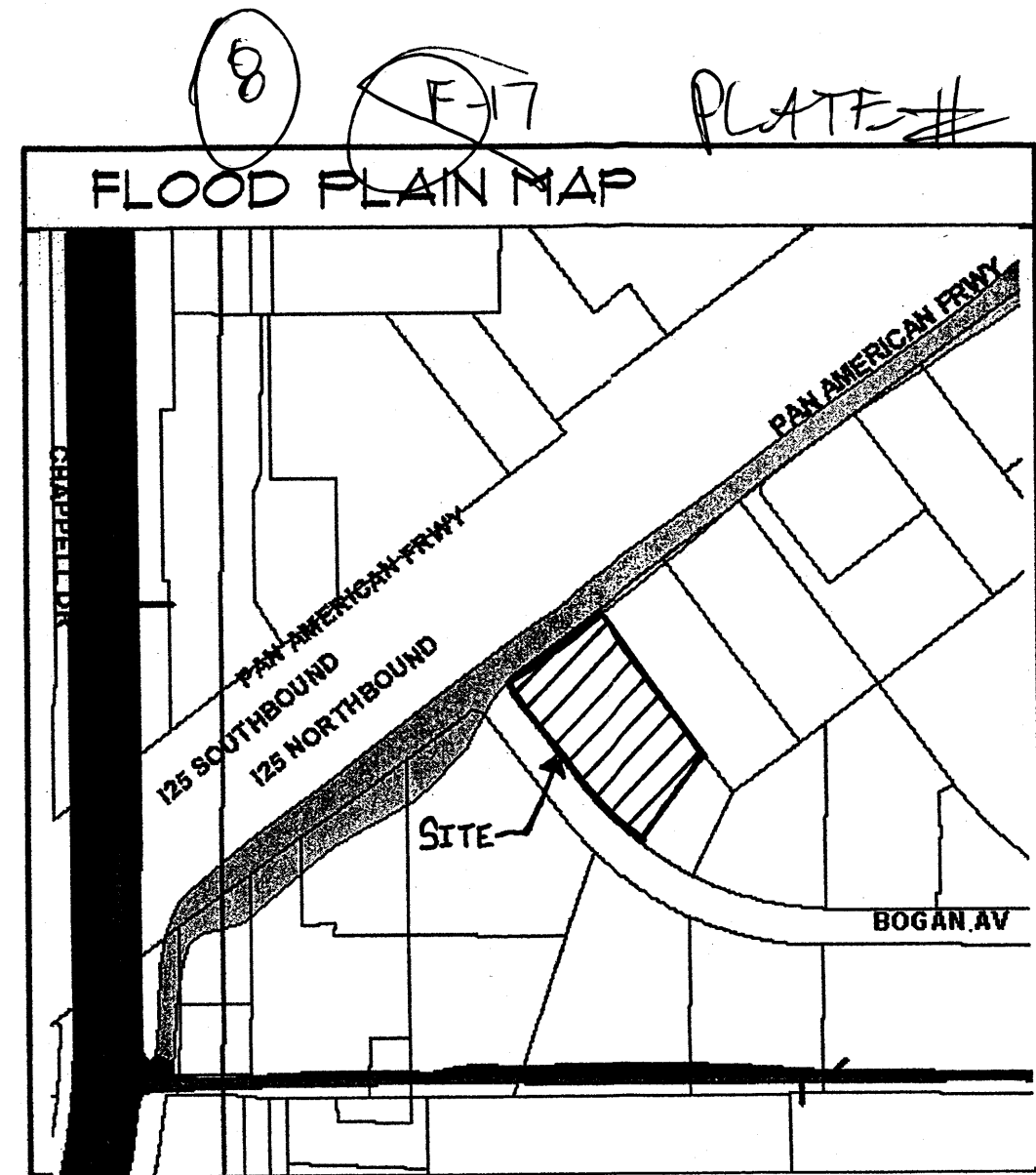
NARRATIVE

- QUANTIFY FLOWS TO BOGAN + TO PAN. Av.
- DETAIL FOR "CURB BREAK" & GRAVEL RUNDOWN
- EX FLOWS? OFFSITE? IN BOGAN?
- RETAINING WALL TYPICAL ELEV
- DOT LETTER DR/APPROVAL
- SO 19 FOR SUMME TO BOGAN CALL OUT AS EXISTING OR OTHERWISE

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)								
		1hr	6hr	24hr	4day	10day		
		2.01	2.35	2.15	3.30	3.95		
EXISTING CONDITIONS								
LAND TRMT	AREA (ACRE)	AREA %	P6 Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.009	40%	0.18	2.28	1.84	2.291	2.291	2.291
C	0.121	35%	1.13	3.14	2.26	2.957	2.957	2.957
D	0.309	25%	2.12	4.10	2.39	3.917	4.656	6.873
TOTALS		2.239	100%		6.30	9.165	9.924	10.920
PROPOSED CONDITIONS								
LAND TRMT	AREA (ACRE)	AREA %	P6 Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.100	5%	0.53	1.56	0.16	192	192	192
B	0.200	10%	0.18	2.28	0.46	566	566	566
C	0.314	15%	1.13	3.14	0.99	1,288	1,744	2,371
D	1.425	70%	2.12	4.10	6.10	10,966	13,035	13,911
TOTALS		2.239	100%		8.30	13.013	15.938	16.941
ASPHALT RUNDOWN: Q (MANNING), SLOPE=10%, DEPTH=4"; CAPACITY=14.71 CF8								

ASPHALT RUNDOWN: Q (MANNING), SLOPE=10%, DEPTH=4" : CAPACITY=14.71 CF8



LEGAL DESCRIPTION

LOT NUMBERED THREE (3) OF PLAT OF REINDEER ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 19, 1912, IN PLAT BOOK C8, FOLIO 82.

TEMPORARY BENCHMARK

5 REBAR WITH TAG "F6 1426-9" AT NORTHEAST CORNER OF PROPERTY. ELEV. 5114.13

GRADING AND DRAINAGE PLAN

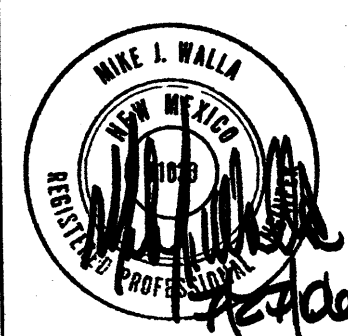
1"=20'

Walla Structural Engineering
Civil Engineering
ENGINEERING LTD.
8100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
881-3508 • Facsimile 884-5390

WEINGARDT RETAIL BUILDING 4800 PAN AMERICAN FRWY NE ALBUQUERQUE, NEW MEXICO

DATE:
27 July 2006

REVISIONS:



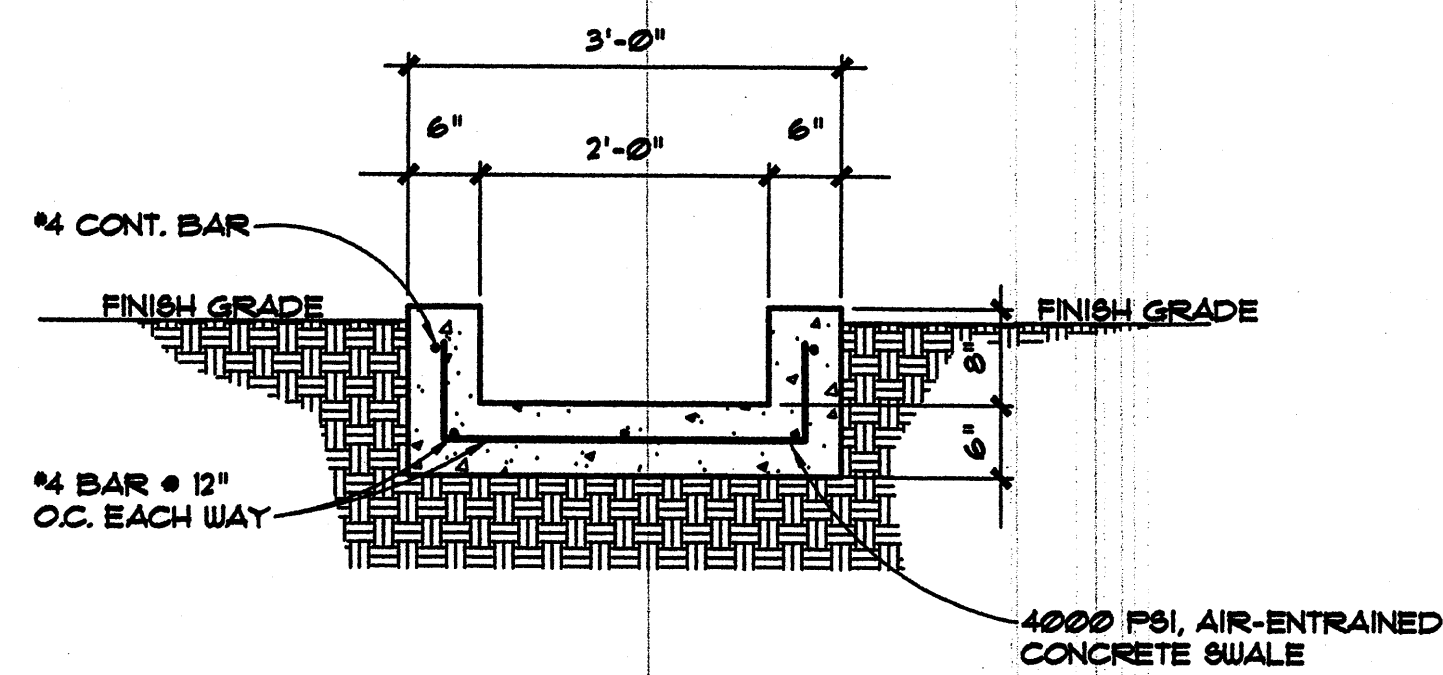
SHEET NUMBER

C1

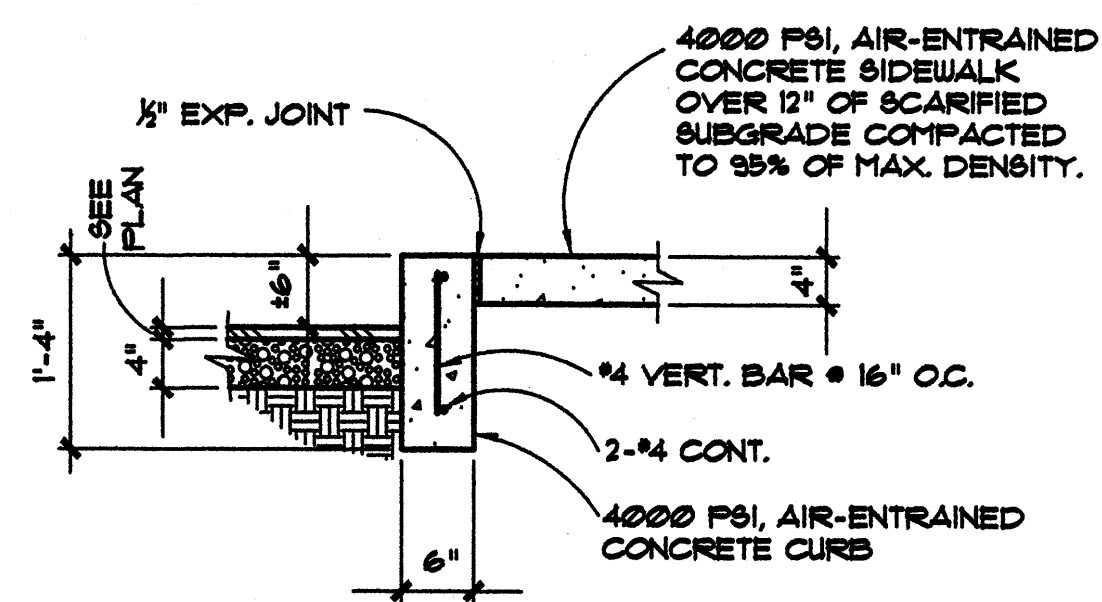
NO. OF

THIS DOCUMENT IS NOT
FOR CONSTRUCTION OR OTHER
PURPOSES WITHOUT THE ARCHITECT'S
PERMISSION

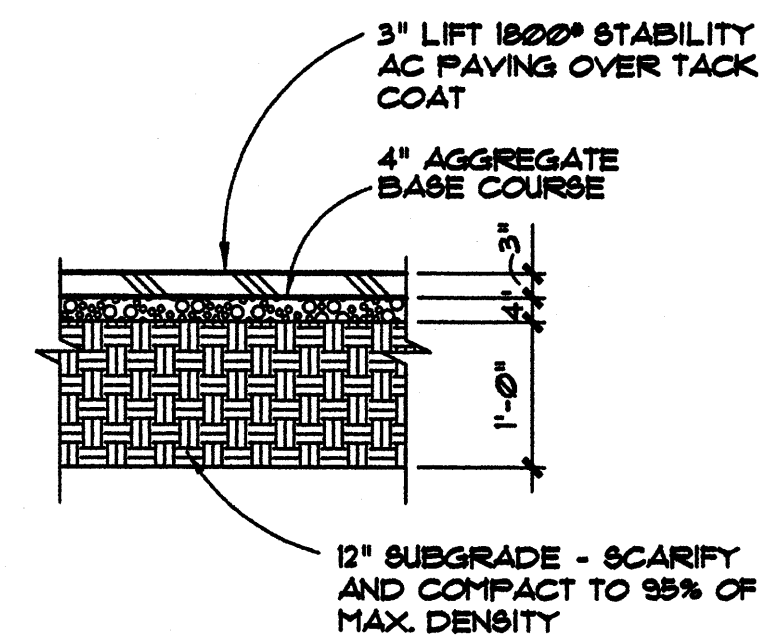




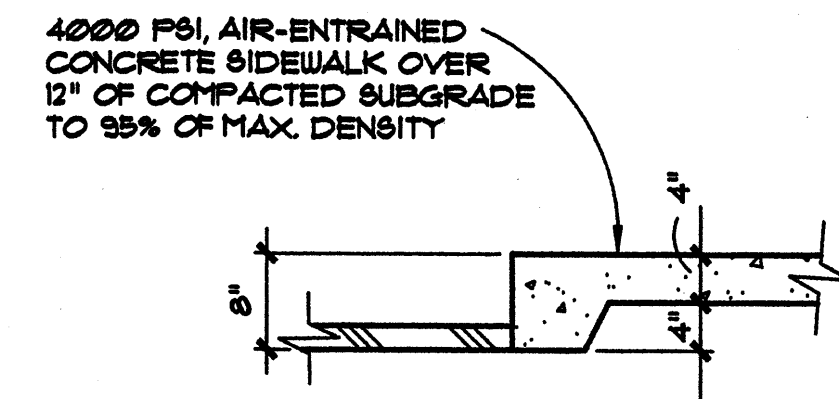
1
C2
CONCRETE SWALE
3/4"=1'-0"



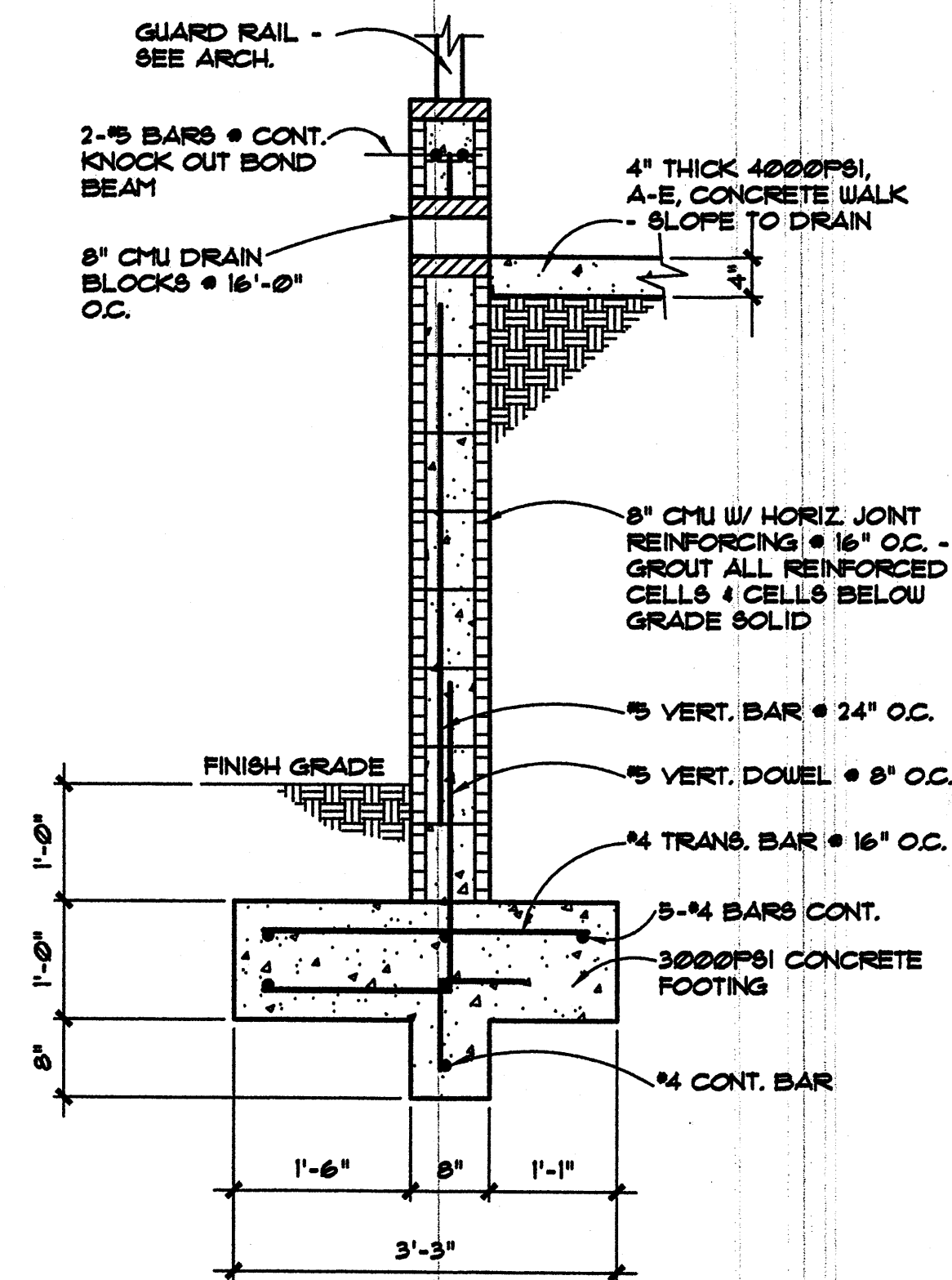
2
C2
TYPICAL CONCRETE CURB DETAIL
3/4"=1'-0"



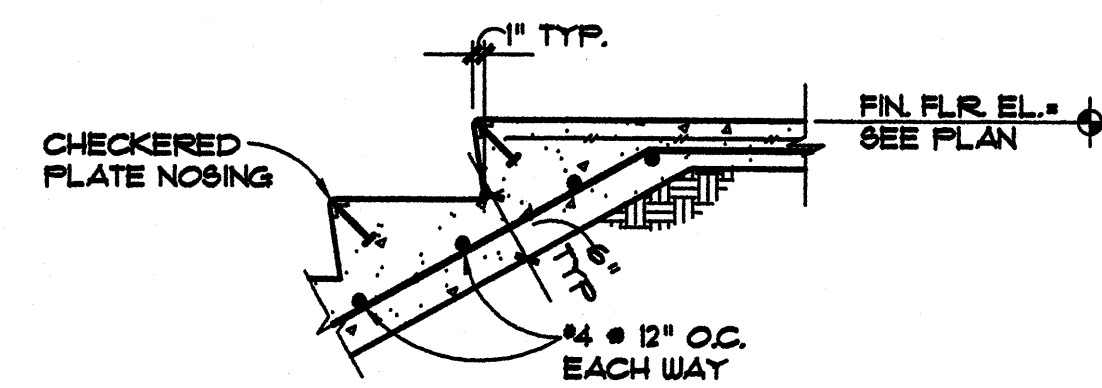
3
C2
TYPICAL ASPHALT PAVING SECTION
3/4"=1'-0"



4
C2
TYPICAL CONCRETE SIDEWALK DETAIL
3/4"=1'-0"



5
C2
MASONRY RETAINING WALL
3/4"=1'-0"



6
C2
TYPICAL CONCRETE STAIR
3/4"=1'-0"

Walla
ENGINEERING LTD
2100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
505-508-5008 • Facsimile 505-508-5009

Structural Engineering
Civil Engineering

RECEIVED
JUL 27 2006

THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THESE DRAWINGS AND THE DESIGNER'S RESPONSIBILITY. THE CLIENT SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THESE DRAWINGS AND THE DESIGNER'S RESPONSIBILITY. THE CLIENT SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THESE DRAWINGS AND THE DESIGNER'S RESPONSIBILITY.

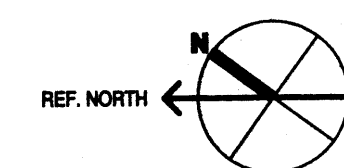
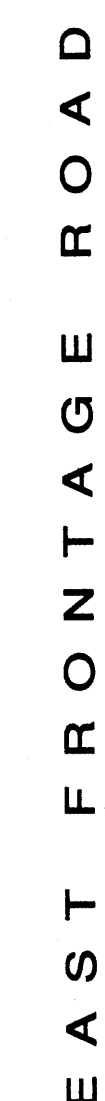
WEINGARDT RETAIL BUILDING
4800 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

DATE:
27 July 2006

REVISIONS:

WALLA
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
No. 12406

SHEET NUMBER
C2
NO. OF
ARCHITECTURE

 $1/8" = 1'-0"$ $1/20'' = 1'-0''$

NEW ASPHALT PAVING

NEW CONCRETE PAVING

LANDSCAPE AREA

 _____
Signed

9/1/00
Date

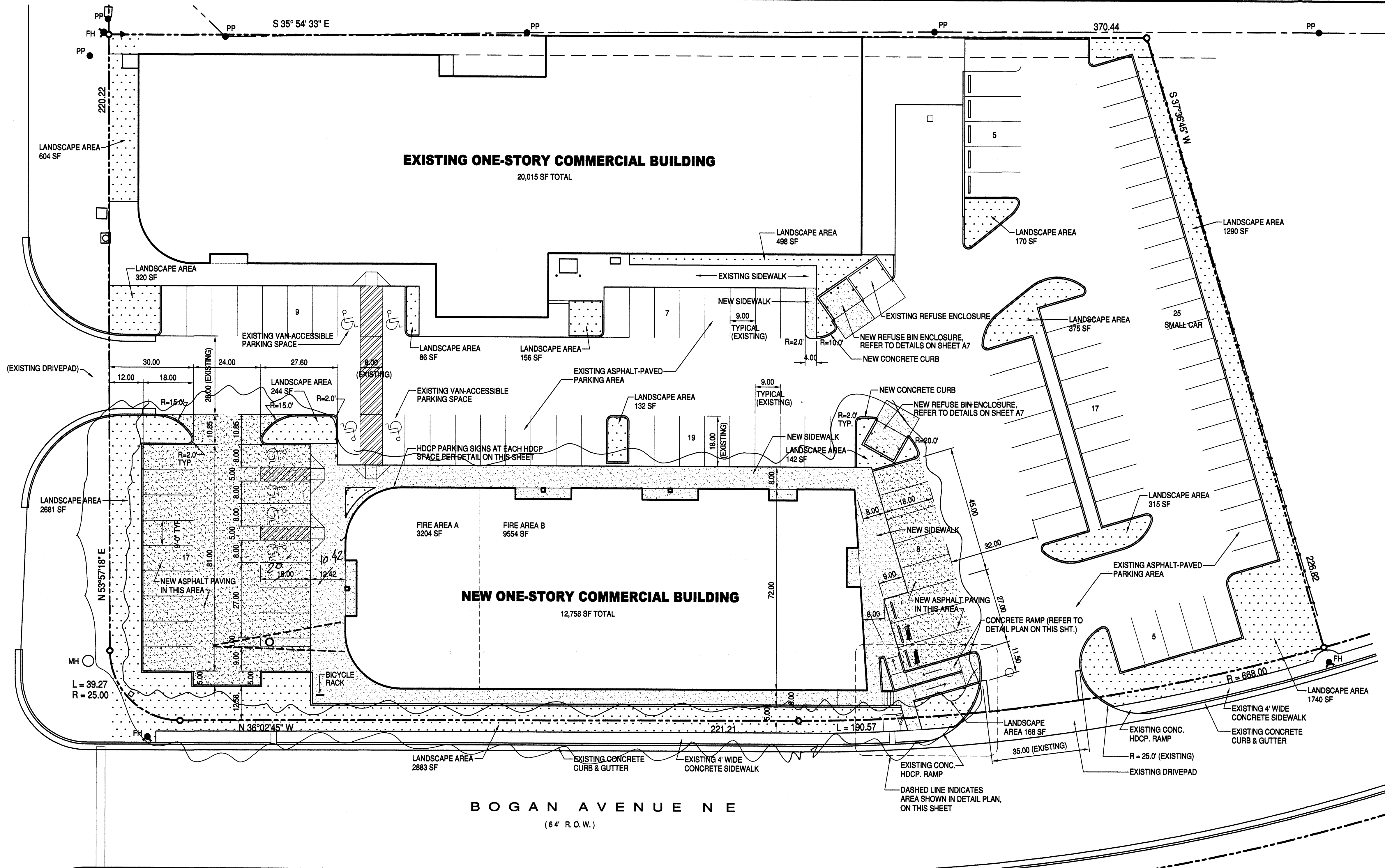


TOTAL LOT AREA	89,172 SF
TOTAL BUILDING AREA	<u>32,773 SF</u>
NET LOT AREA	56,399 SF
LANDSCAPE AREA REQUIRED (15%)	8,460 SF
LANDSCAPE AREA PROVIDED	11,804 SF



PAN AMERICAN FREEWAY

EAST FRONTAGE ROAD



PROJECT DATA

PROJECT DESCRIPTION
NEW ONE-STORY MULTI-TENANT (RETAIL) COMMERCIAL BUILDING (SHELL ONLY, NOT INCLUDING TENANT BUILD-OUT), INCLUDING RELATED SITE WORK.

LEGAL DESCRIPTION OF SITE PROPERTY
LOT 3, REINDEER ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

ZONING CLASSIFICATION: M-1
(ZONE ATLAS PAGE F-17)

OCCUPANCY GROUP CLASSIFICATION: M
(RETAIL USE)

CONSTRUCTION TYPE: II-B

FLOOR AREA CALCULATIONS

EXISTING BUILDING	
SHOWROOM (RETAIL)	11,239 SF
WAREHOUSE	8,776 SF
TOTAL FLOOR AREA	20,015 SF

NEW BUILDING	
SHOWROOM (RETAIL)	12,758 SF
TOTAL FLOOR AREA	12,758 SF

NOTE: THE TOTAL FLOOR AREA IS DIVIDED INTO TWO FIRE AREAS, AS SHOWN ON THE FLOOR PLAN
FIRE AREA A: 3204 SF
FIRE AREA B: 9584 SF

ALLOWABLE AREA CALCULATION	
GENERAL ALLOWABLE AREA PER TABLE 503	12,500 SF
INCREASE FOR FRONTAGE ON PUBLIC WAY(S) PER I.B.C. SECTION 506.2:	25%
TOTAL ALLOWABLE BUILDING FLOOR AREA	15,625 SF

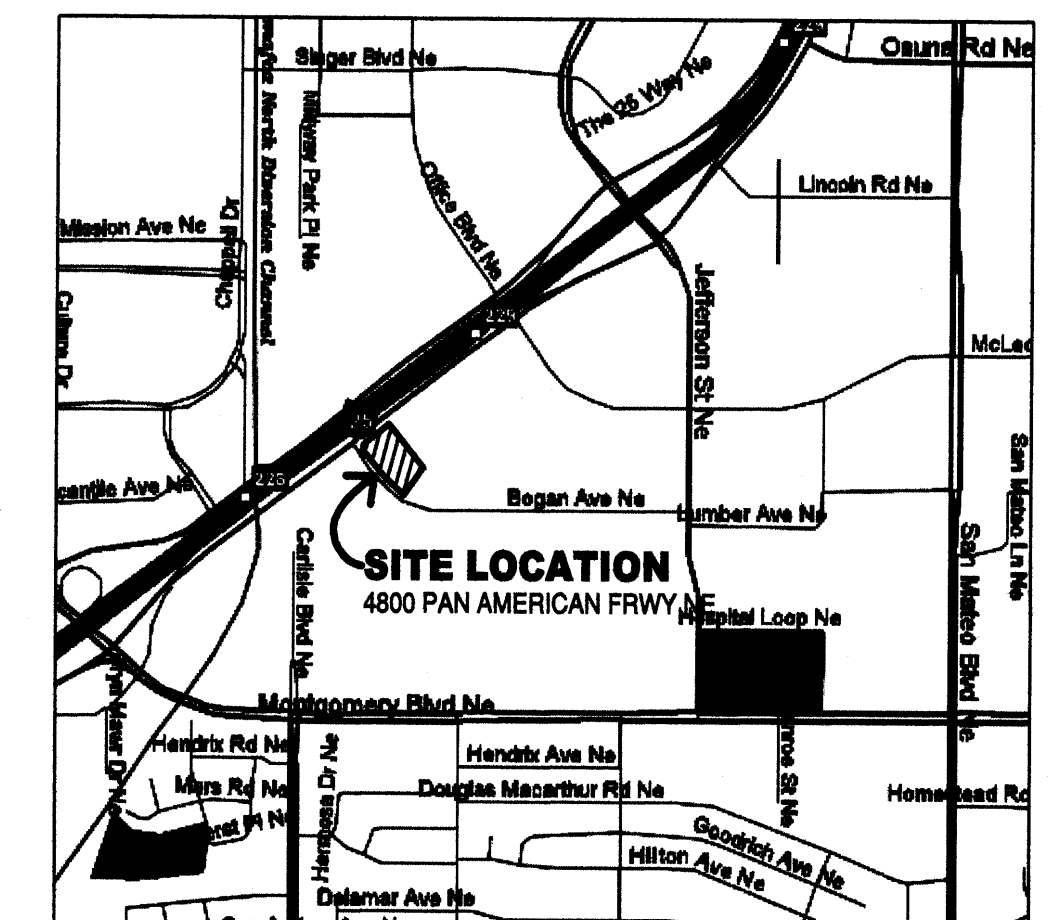
PARKING CALCULATIONS

TOTAL SHOWROOM (RETAIL) AREA	23,997 SF x 1/2000 = 119.99
TOTAL WAREHOUSE AREA	8,776 SF x 1/2000 = 4.39
SUBTOTAL BASIC PARKING SPACE REQMT	124.38
124.42 x 90% (BUS ROUTE DISCOUNT)	111.94
PARKING SPACES REQUIRED =	112

PARKING SPACES PROVIDED = 112
(INCL 8 HDOP SPACES, INCL 25 SMALL CAR SPACES)

LANDSCAPE AREA CALCULATIONS

TOTAL LOT AREA	89,172 SF
TOTAL BUILDING AREA	32,773 SF
NET LOT AREA	56,399 SF
LANDSCAPE AREA REQUIRED (15%)	8,460 SF
LANDSCAPE AREA PROVIDED	11,804 SF



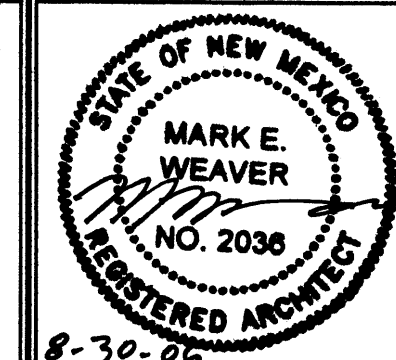
LOCATION PLAN
(NOT TO SCALE) ZONE ATLAS PAGE F-17

THE ARCHITECT AND HIS CONSULTANTS RETAIN OWNERSHIP OF THESE DRAWINGS AND THE DESIGNS DEPICTED HEREIN. THE CLIENT IS GRANTED A NON-EXCLUSIVE LICENSE TO USE THESE DOCUMENTS FOR THE PURPOSES OF CONSTRUCTING, USING, AND MAINTAINING THE PROJECT. COPYING OR USING THESE DRAWINGS WITHOUT THE PERMISSION OF THE ARCHITECT IS AN INFRINGEMENT OF COPYRIGHT.

WEINGARDT RETAIL BUILDING
4800 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

DATE:
30 AUG 2006

REVISIONS:



SHEET NUMBER

A1

NO. OF /

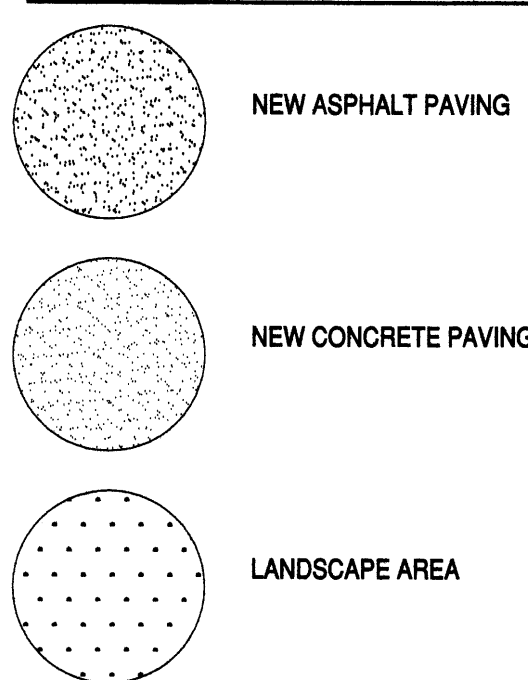


1248 PRINCETON DR. NE
ALBUQUERQUE, NM 87106
(505) 255-8046

TCL PLAN

1/20" = 1'-0"

LEGEND



HDOP PARKING SIGNS

1-1/2" = 1'-0"

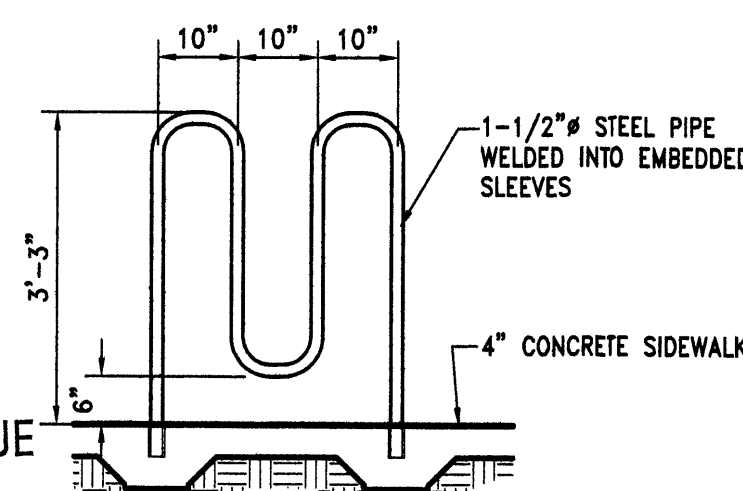
(WALL-MTD OR POLE-MTD AS SHOWN ON SITE PLAN)



CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 8/30/06

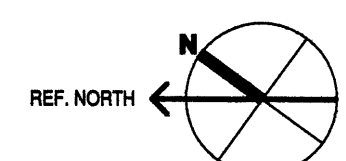
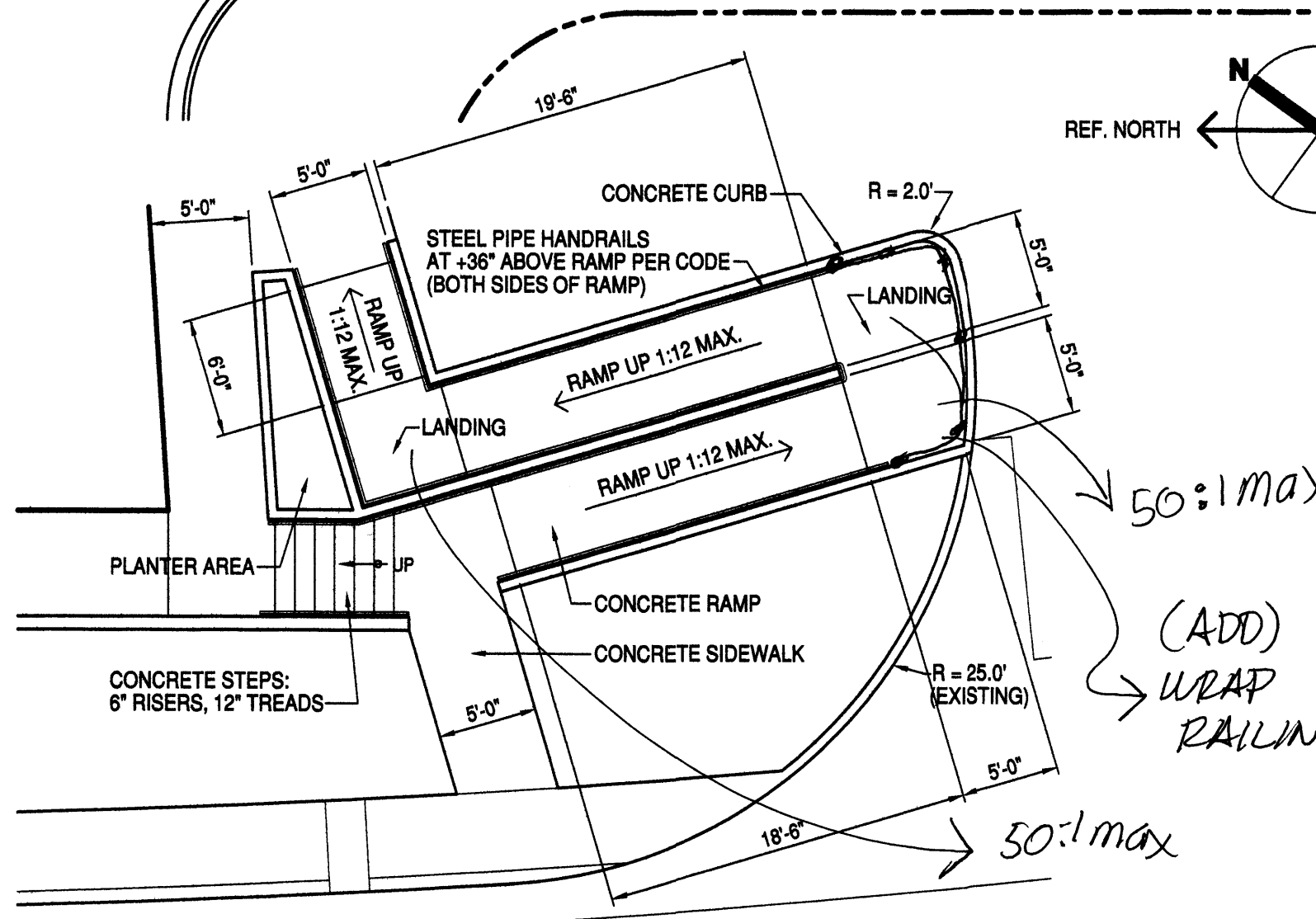
BICYCLE RACK

1/2" = 1'-0"

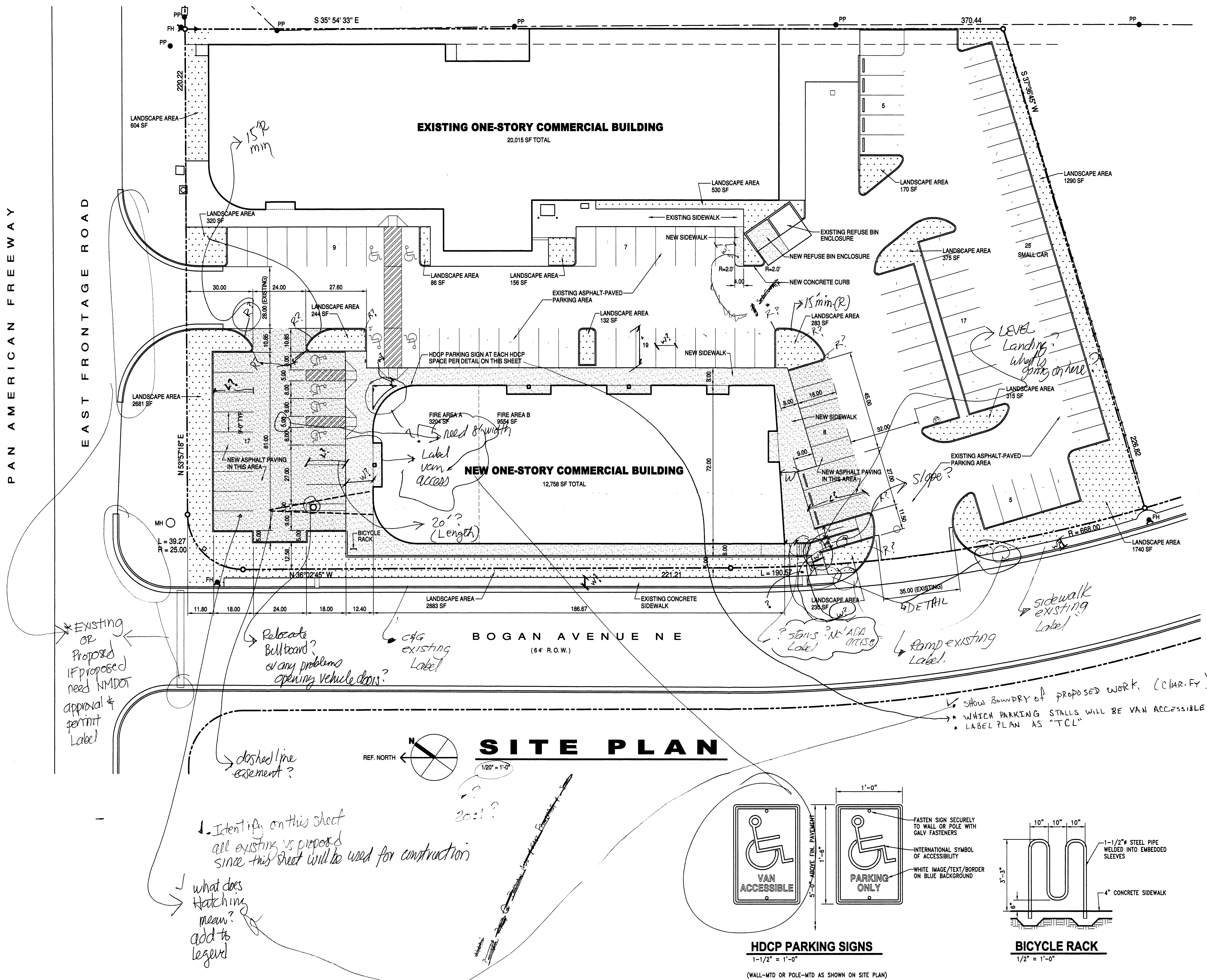


DETAIL PLAN AT RAMP

1/8" = 1'-0"



MW
ARCHITECTURE



PUBLIC ROW. CONSTRUCTION NOTES

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THE CONTRACT SHALL, EXCEPT AS OTHERWISE STATED, AND PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION 1988.

2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE, 262-1992, FOR LOCATION OF EXISTING LINES.

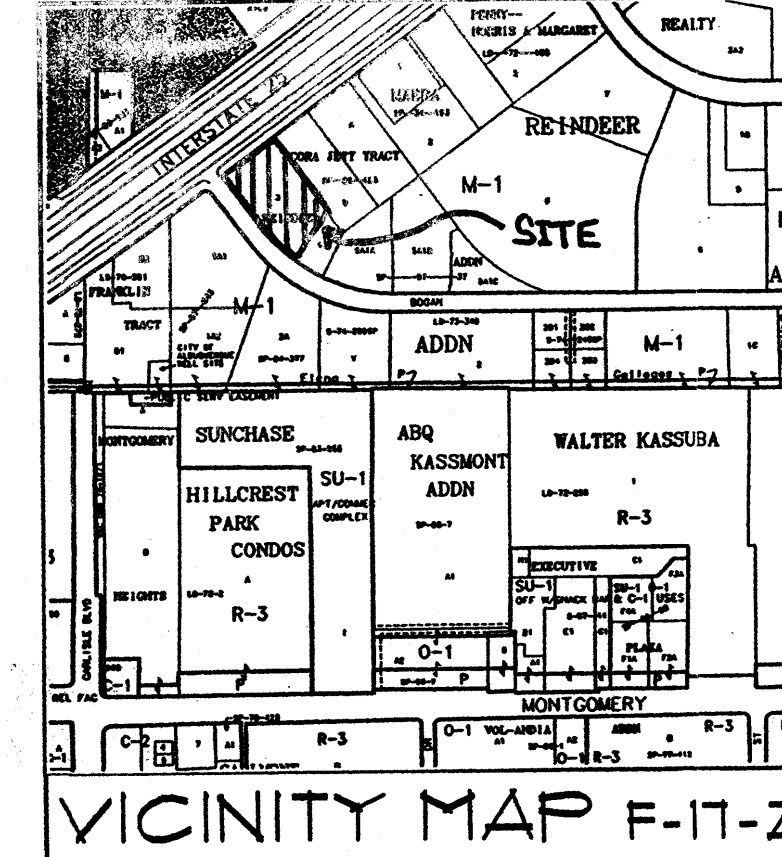
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

4. BACK FILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE (ARTERIAL/COLLECTOR).

5. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

6. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

APPROVALS	NAME	DATE
HYDROLOGY		
PERMIT NO.	MAP NO.	F-17-Z



KEYED NOTES

1. CONCRETE CURB AND GUTTER PER DETAIL 1/C3.
2. CONCRETE CURB PER DETAIL 2/C3.
3. ASPHALT PAVING PER DETAIL 3/C3.
4. CONCRETE SIDEWALK PER DETAIL 4/C3.
5. 4'-0" WIDE CURB BREAK.
6. 2'-24" HDPE STORM DRAIN CULVERTS.
7. PREFABRICATED END SECTION.
8. 24" WIDE SIDEWALK CULVERT PER C.O.A. STANDARD DETAIL #2236.
9. 2" THICK ASPHALT RUNDOWN, CONSTRUCT PER DETAIL 3/C3.
10. CONCRETE VALLEY GUTTER PER C.O.A. STANDARD #2420.
11. ASPHALT PAVED RAMP.
12. 8" HDPE STORM DRAIN.
13. STORM DRAIN DROP INLET PER DETAIL 5/C3. TOP OF GRATE ELEVATION=15.15 AND INVERT ELEVATION=14.40.
14. CONCRETE DOCK WALL PER DETAIL 6/C3.
15. CONCRETE SIDEWALK PER DETAIL 7/C3.
16. 6'-0"x6'-0"x12" THICK RIP RAP W/ CONCRETE HEADWALL PER DETAIL 8/C3.
17. 6" THICK CONCRETE WALK REINFORCED W/ #4 BARS @ 16" O.C. EACH WAY.
18. 4'-0" DIAMETER PRECAST CONCRETE MANHOLE PER C.O.A. STD. DETAIL #2102, INV. IN=12.40, INV. OUT=12.36.
19. 12" WIDE SIDEWALK CULVERT PER C.O.A. STD. DETAIL #2236.

LEGEND

	EXISTING BUILDING LINE
	NEW BUILDING LINE
	EXISTING CONTOUR
	NEW CONTOUR
	PROPERTY LINE
	FENCE LINE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	FLOW DIRECTION ARROW
	SWALE
	TOP OF CONCRETE
	FINISHED GRADE
	FLOW LINE
	TOP OF ASPHALT
	INVERT ELEVATION
	NEW CONCRETE PAVING
	NEW ASPHALT PAVING

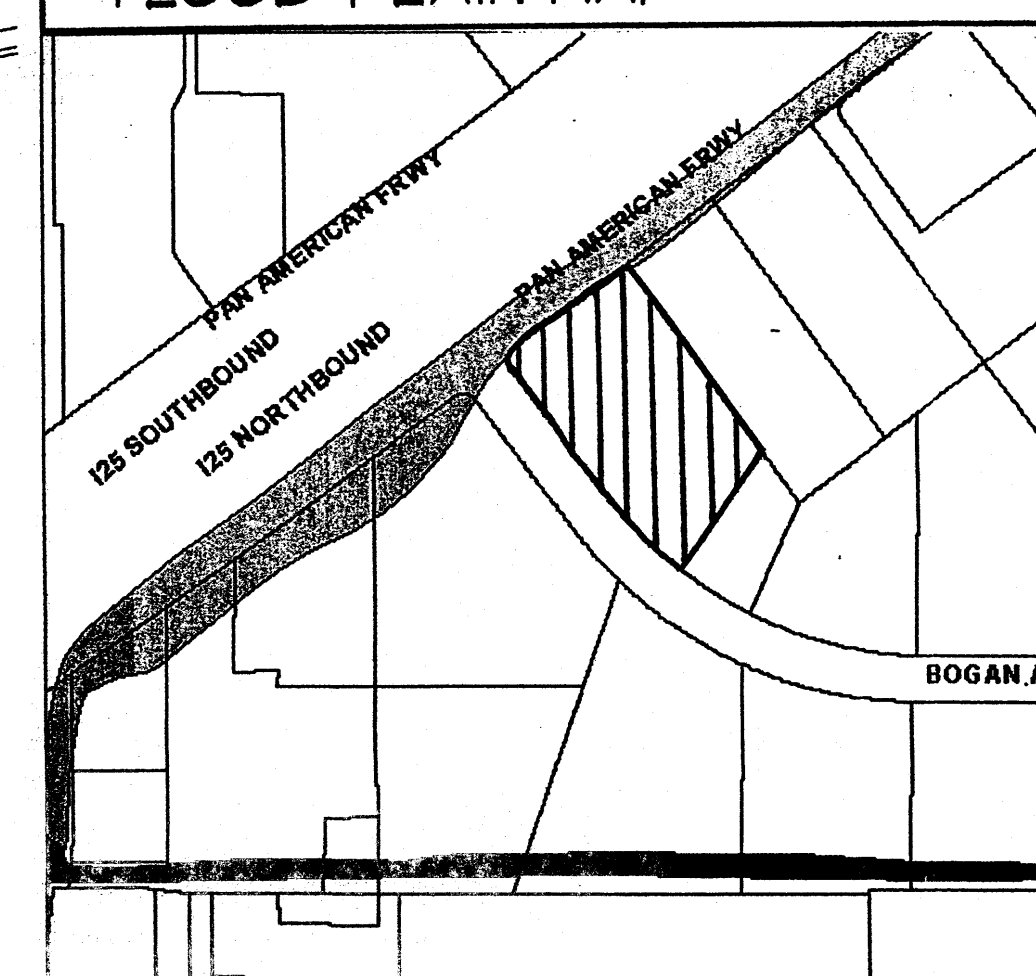
HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)									
	1hr	6hr	24hr	4day	10day				
	2.01	2.35	2.75	3.30	3.95				
EXISTING CONDITIONS									
LAND AREA TRIBUT	AREA (ACRE)	AREA %	F6	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.53	156	0.00	0	0	0	0
B	0.003	40%	0.78	228	1.84	2.29	2.29	2.29	2.29
C	0.121	35%	1.13	3.14	2.26	2.35	2.35	2.35	2.35
D	0.509	25%	2.12	4.10	2.39	3.91	4.65	5.62	6.83
TOTALS	2.033	100%			6.50	9.16	9.94	10.92	12.1
PROPOSED CONDITIONS									
LAND AREA TRIBUT	AREA (ACRE)	AREA %	F6	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.100	5%	0.53	156	0.16	192	192	192	192
B	0.200	10%	0.78	228	0.46	566	566	566	566
C	0.314	15%	1.13	3.14	0.93	1.28	1.74	2.31	3.12
D	1.425	70%	2.12	4.10	6.10	10.36	13.03	13.81	14.32
TOTALS	2.039	100%			8.30	13.01	15.38	16.94	18.99

ASPHALT RUNDOWN: G (MANING), SLOPE=10%, DEPTH=4"; CAPACITY=14.71 CF8

ASPHALT RUNDOWN: Q (MANNING), SLOPE=10%, DEPTH=4" : CAPACITY=14.71 CF8

FLOOD PLAIN MAP



LEGAL DESCRIPTION

Lot numbered Three (3) of Plat of REINDEER ADDITION to the City of Albuquerque, New Mexico, as the same is shown and designated on the Plat of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 18, 1912, in Plat Book C8, folio 82.

TEMPORARY BENCHMARK

#5 REBAR WITH TAG "P8 14269" AT NORTHEAST CORNER OF PROPERTY. ELEV. 5114.13

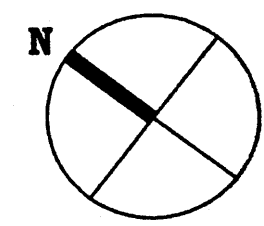
I, MIKE WALLA, NFFE 10230 OF THE FIRM WALLA ENGINEERING LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-10-04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY HARRIS SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 6-30-05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MIKE WALLA NFFE 10230
DATE 6/30/05



GRADING AND DRAINAGE PLAN

1"=20'



APPROVED G&D PLAN FOR
FITNESS SUPERSTORE

Walla ENGINEERING LTD.
Structural Engineering
Civil Engineering
8100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
881-3508 • Fax 881-3380

FITNESS SUPERSTORE SHOWROOM ADDITION
4840 PAN AMERICAN FRWY NE
ALBUQUERQUE, NEW MEXICO

DATE:
4 AUGUST 2004

REVISIONS:

11030
REGISTERED PROFESSIONAL

SHEET NUMBER
C2

NO. OF

ARCHITECTURE

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