

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 11, 2023

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 4950 Jefferson St. NE
Grading and Drainage Plan
Engineer's Stamp Date: 09/05/23
Hydrology File: F17D026A

Dear Mr. Soule:

Based upon the information provided in your submittal received 09/01/2023, the Grading & Drainage Plans **are not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

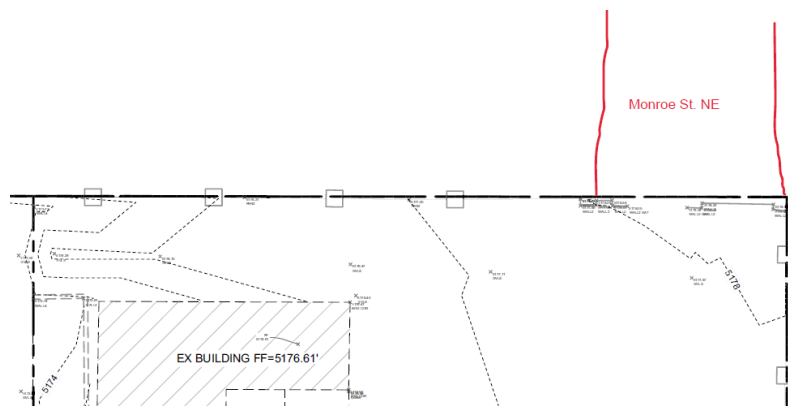
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Please provide all adjacent property legal description.
2. Please show and label Monroe St. NE.



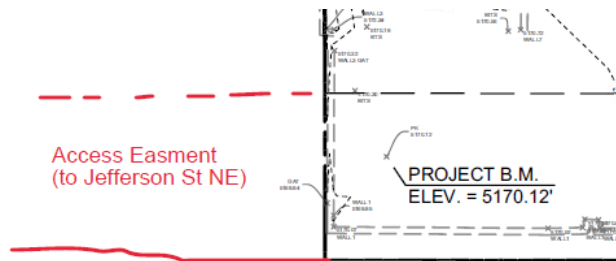
3. Please show the access easement on the adjacent property and label "Exist. Access Easement (To Jefferson St. NE)".

CITY OF ALBUQUERQUE

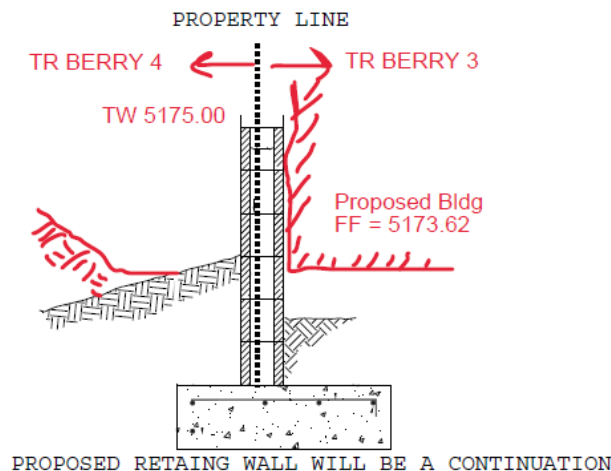
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4. Please provide written. Signed, and notarized permission from the adjoining property owner (Same Owner) for work on that property.
5. Please add some more detail to the section between the two properties as shown.



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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 4950 JEFFERSON NE **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT 3 lands of diversified contractors
City Address: 4950 JEFFERSON NE

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: RAM JACK OF NM DATE: 4/15/22

DEVELOPMENT: COMMERCIAL

LOCATION: 4950 JEFFERSON BLVD NE

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 2980 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 2980 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: SITE IS AN EXISTING CONSTRUCTION
YARD. DUE TO EXISTING USE AND GRADES THE
CAPTURE OF WATER QUALITY VOLUME IS NOT
REASONABLY FEASIBLE

DAVID SOULE, NMPE 14522
Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 516.53

THIS SECTION IS FOR CITY USE ONLY

☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

☐ Waiver is DENIED.

Renée C. Brissette

09/11/23

City of Albuquerque
Hydrology Section

Weighted E Method												
Basin	Area (sf)	Area (acres)	100-Year 6-hr				Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	100 yr 10-Day		
			Treatment A %	Treatment B %	Treatment C %	Treatment D %				Volume (ac-ft)	Flow cfs	
EXISTING	43477.00	0.998	0%	0%	0.000	16%	0.160	84%	0.838	2.122	0.176	4.13
PROPOSED	43477.00	0.998	0%	0%	0.000	16%	0.160	84%	0.838	2.122	0.176	4.13

Equations:

Weighted E = Ea*As + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

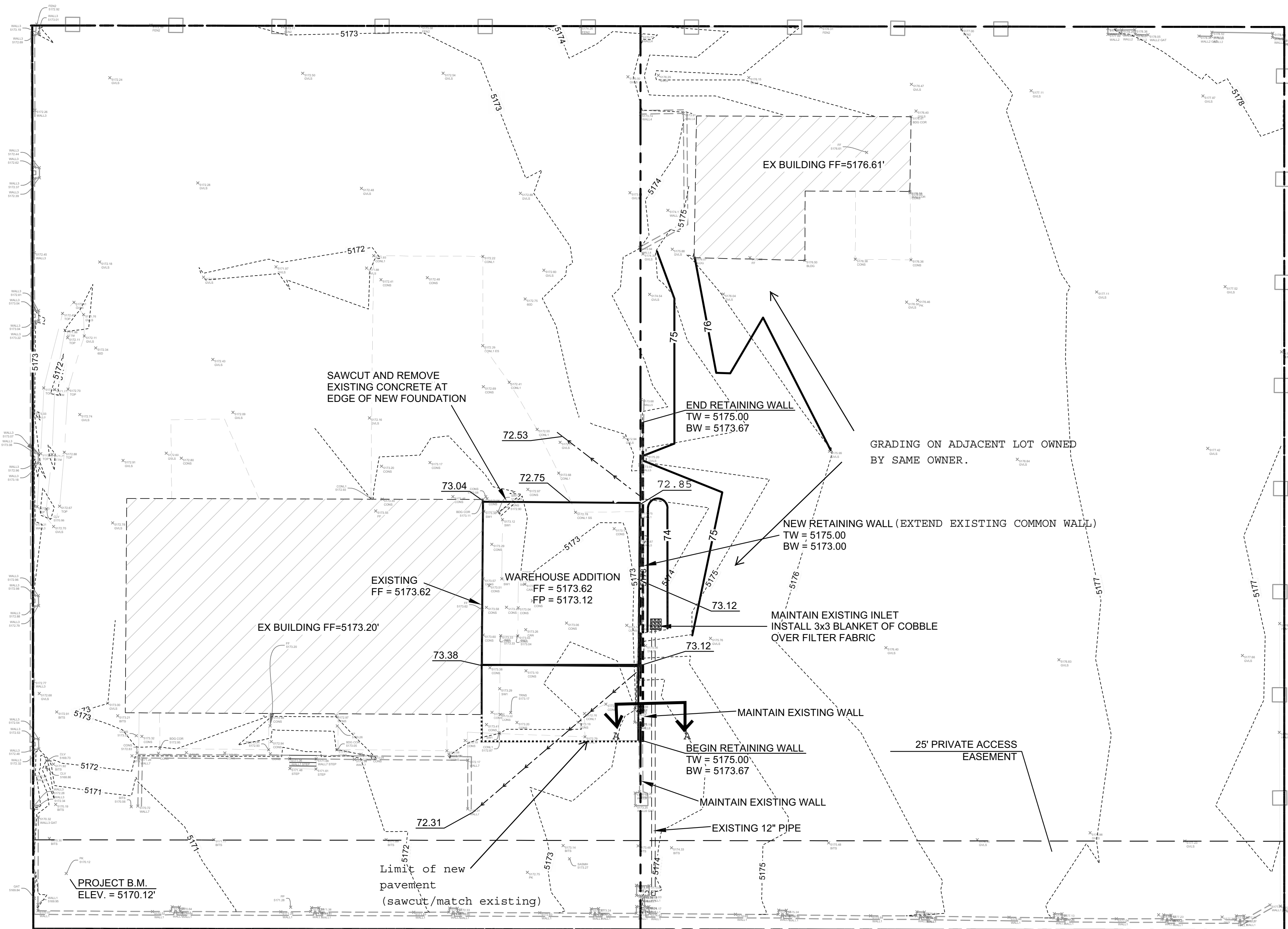
Volume = Weighted D * Total Area

Flow = Qa * As + Qb * Ab + Qc * Ac + Qd * Ad

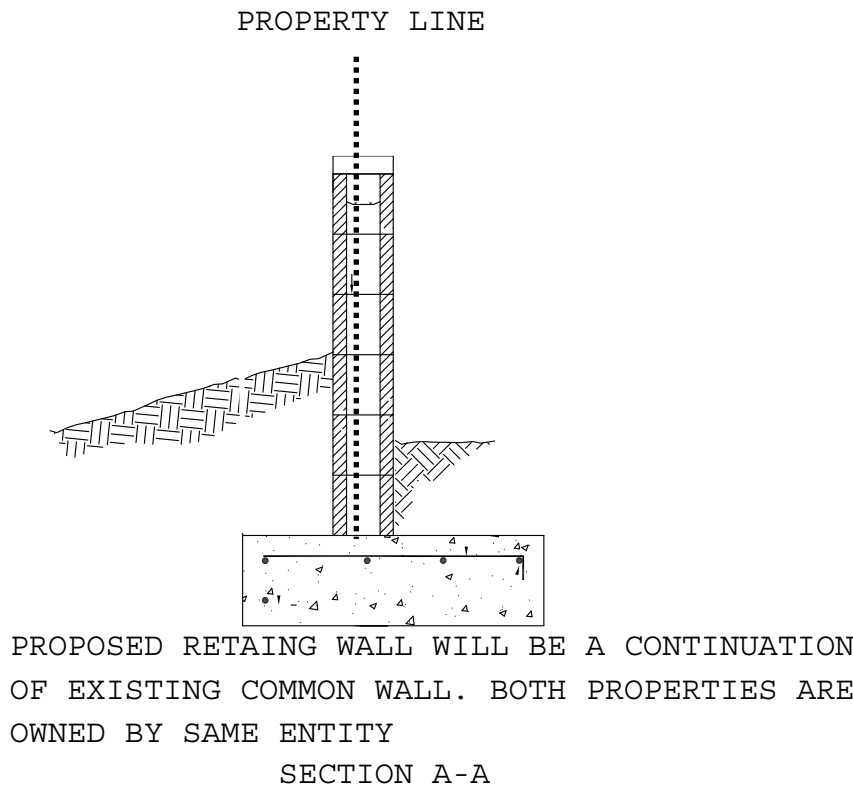
Where for 100-year, 6-hour storm(zone2)
Ea= 0.62 Qa= 1.71
Eb= 0.8 Qb= 2.36
Ec= 1.03 Qc= 3.05
Ed= 2.33 Qd= 4.34

Developed Conditions	REDEVELOPED AREA FOR FIRST FLUSH	2980.00	X (0.26/12) X \$8=	\$516.53 FEE IN LIEU
	EXISTING DISCHARGE	4.13 CFS		
	PROPOSED DISCHARGE	4.13 CFS		

This site is an existing fully developed lot. The site currently free discharges 4.13 cfs to the adjacent tract. The drainage from the upland adjacent lot is collected by an existing pipe a concrete channel along the southerly adjacent tract. The area of new building is 100% impervious, therefore no increase in flow will occur with this development. The same owner owns the adjacent gravel lot, minor grading shall be done to construct a retaining wall a the property line to protect building. The drainage patterns and concept conform to the originally approved plan. The amount of disturbed impervious area generates a 64.6 CF water quality volume which will be resolved with a cash in lieu.

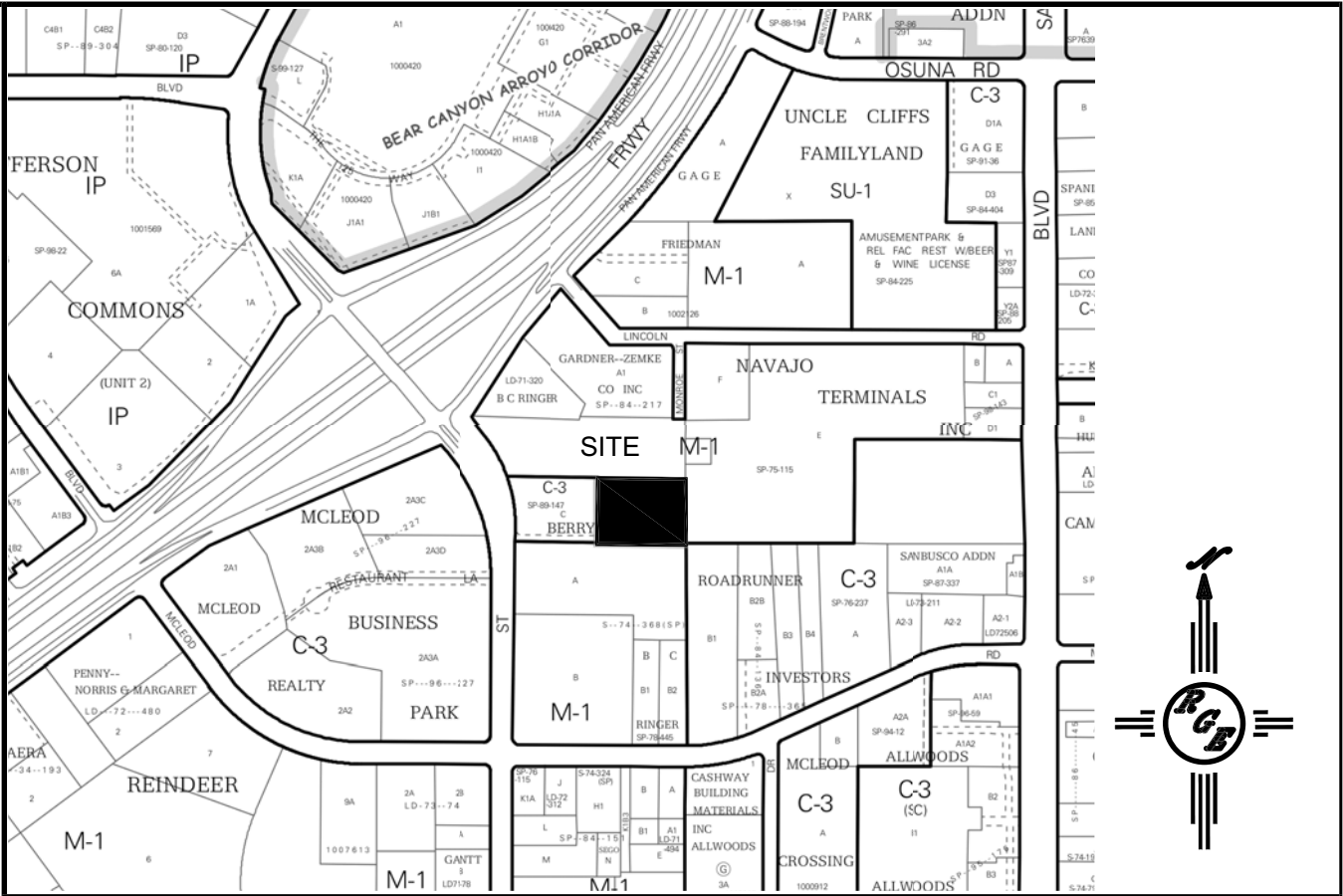


CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

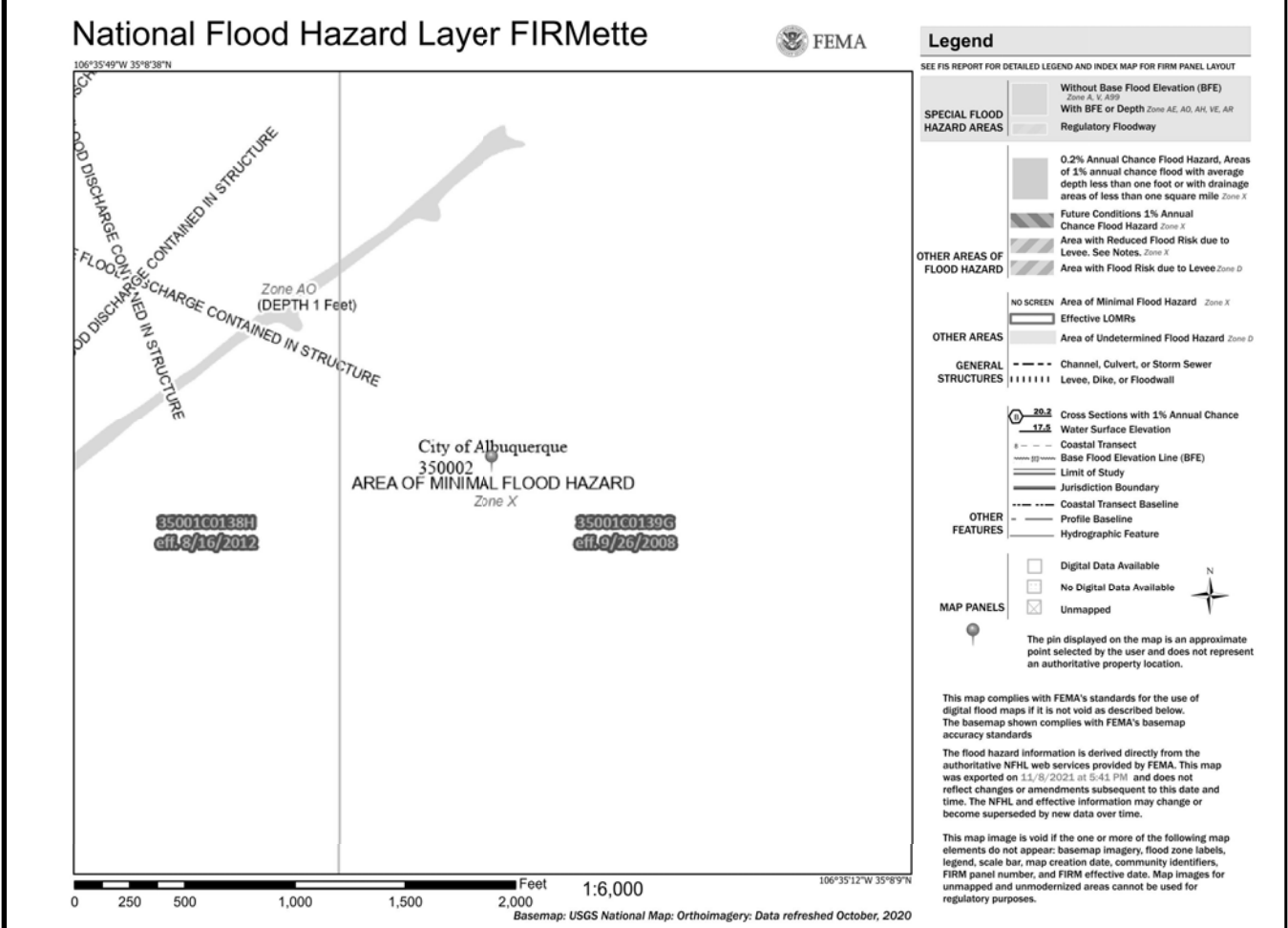


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: F-17-Z



FIRM MAP:

LEGAL DESCRIPTION:

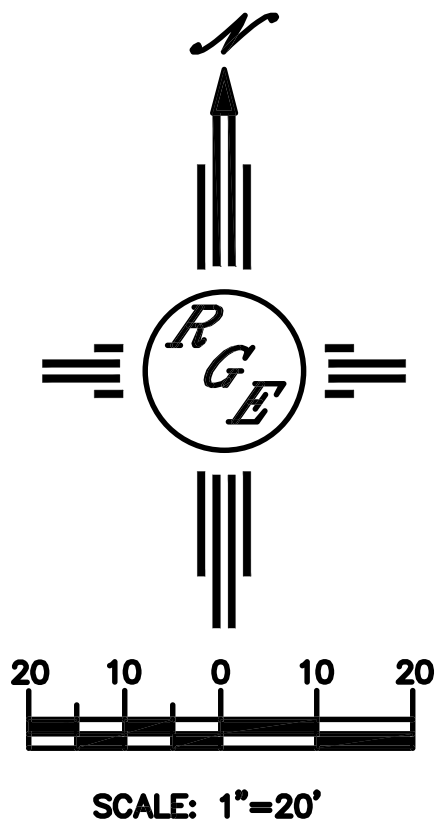
BERRY 3 DIVERSIFIED CONTRACTORS
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO


NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
+ XXXXX	EXISTING SPOT ELEVATION
● XXXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<-----	PROPOSED EARTHEN SWALE
-----	PROPOSED RETAINING WALL



ENGINEER'S SEAL	TRACTY BERRY 3 & 4 LANDS OF DIVERSIFIED CONTRACTORS INC. 4950 JEFFERSON ST.	DRAWN BY DEM
DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 11-9-21
9/5/23	 Rio Grande Engineering P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-8099	BERRY 3 DIVERSIFIED CONTRACTORS, INC.
DAVID SOULE P.E. #14522		SHEET # C1
		JOB #