

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 5, 2023

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 4950 Jefferson St. NE
Grading and Drainage Plan
Engineer's Stamp Date: 09/25/23
Hydrology File: F17D026A

Dear Mr. Soule:

Based upon the information provided in your submittal received 09/25/2023, the Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ 516.53 by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 4950 JEFFERSON NE **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT 3 lands of diversified contractors
City Address: 4950 JEFFERSON NE

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: ___ PLAT ___ RESIDENCE ___ DRB SITE ADMIN SITE

Check all that Apply:

DEPARTMENT:

HYDROLOGY/ DRAINAGE
___ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

BUILDING PERMIT APPROVAL
___ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

___ ENGINEER/ARCHITECT CERTIFICATION
___ PAD CERTIFICATION
___ CONCEPTUAL G & D PLAN
 GRADING PLAN
___ DRAINAGE REPORT
___ DRAINAGE MASTER PLAN
___ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
___ ELEVATION CERTIFICATE
___ CLOMR/LOMR
___ TRAFFIC CIRCULATION LAYOUT (TCL)
___ TRAFFIC IMPACT STUDY (TIS)
___ STREET LIGHT LAYOUT
___ OTHER (SPECIFY) _____
___ PRE-DESIGN MEETING?

___ PRELIMINARY PLAT APPROVAL
___ SITE PLAN FOR SUB'D APPROVAL
___ SITE PLAN FOR BLDG. PERMIT APPROVAL
___ FINAL PLAT APPROVAL

___ SIA/ RELEASE OF FINANCIAL GUARANTEE
___ FOUNDATION PERMIT APPROVAL
___ GRADING PERMIT APPROVAL
___ SO-19 APPROVAL
___ PAVING PERMIT APPROVAL
___ GRADING/ PAD CERTIFICATION
___ WORK ORDER APPROVAL
___ CLOMR/LOMR
___ FLOODPLAIN DEVELOPMENT PERMIT
___ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes ___ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 11, 2023

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 4950 Jefferson St. NE
Grading and Drainage Plan
Engineer's Stamp Date: 09/05/23
Hydrology File: F17D026A

Dear Mr. Soule:

Based upon the information provided in your submittal received 09/01/2023, the Grading & Drainage Plans **are not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

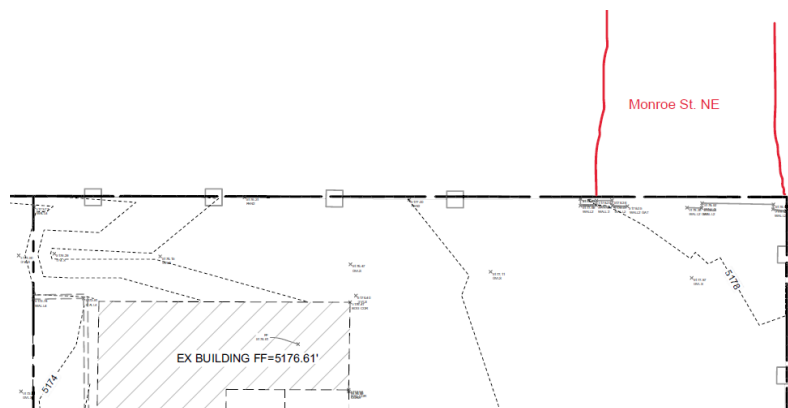
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Please provide all adjacent property legal description. **ADDED**
2. Please show and label Monroe St. NE. **ADDED**



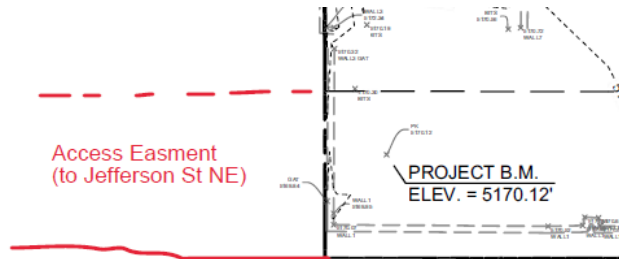
3. Please show the access easement on the adjacent property and label "Exist. Access Easement (To Jefferson St. NE)". **ADDED**

CITY OF ALBUQUERQUE

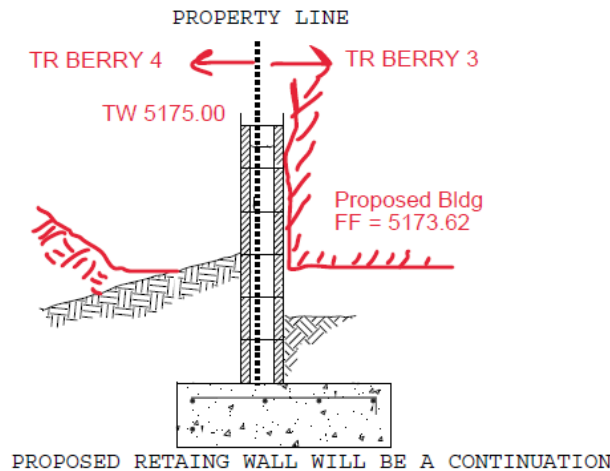
Planning Department
Alan Varela, Director



Mayor Timothy M. Keller



4. Please provide written. Signed, and notarized permission from the adjoining property owner (Same Owner) for work on that property. **PROVIDED DRAFT, ORIGINAL WILL BE SENT**
5. Please add some more detail to the section between the two properties as shown. **ADDED**



PO Box 1293

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: RAM JACK OF NM DATE: 4/15/22

DEVELOPMENT: COMMERCIAL

LOCATION: 4950 JEFFERSON BLVD NE

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 2980 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 2980 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperators existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This projects justification: SITE IS AN EXISTING CONSTRUCTION
YARD. DUE TO EXISTING USE AND GRADES THE
CAPTURE OF WATER QUALITY VOLUME IS NOT
REASONABLY FEASIBLE

DAVID SOULE, NMPE 14522
 Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 516.53

THIS SECTION IS FOR CITY USE ONLY

- Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

- Waiver is DENIED.

Renée C. Brissette

City of Albuquerque
Hydrology Section

10/05/23

TRACT 3 BERRY AND TRACT 4 BERRY

GRADING AGREEMENT

Mission Five Holdings, owner of Tract 3 and Tract 4 Berry of diversified contractor's subdivision agrees to allow grading on Tract 4 for the common benefit of both tracts.

Rauna Davis
MISSION FIVE HOLDINGS, LLC

ACKNOWLEDGEMENTS

Colorado
STATE OF NEW MEXICO)
Pueblo) ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on, September 27, 2023 by Lauren Davis, managing member of Mission Five Holdings a LLC, on behalf of said Company.

Kari D Hribar
Notary Public

My Commission Expires:
March 18, 2025

KARI D HRIBAR
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20094008470
MY COMMISSION EXPIRES MARCH 18, 2025

Weighted E Method

Basin	Area (sq-ft)	Area (acres)	100-Year 6-hr				Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)			
			Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)							
EXISTING	43477.00	0.998	0%	0%	0.000	16%	0.160	84%	0.838	2.122	0.176	4.13	0.288
PROPOSED	43477.00	0.998	0%	0%	0.000	16%	0.160	84%	0.838	2.122	0.176	4.13	0.288

Equations:

Weighted E = E_a*A_a + E_b*A_b + E_c*A_c + E_d*A_d / (Total Area)

Volume = Weighted D * Total Area

Flow = Q_a * A_a + Q_b * A_b + Q_c * A_c + Q_d * A_d

Where for 100-year, 6-hour storm(zone2)

E _a = 0.62	Q _a = 1.71
E _b = 0.8	Q _b = 2.36
E _c = 1.03	Q _c = 3.05
E _d = 2.33	Q _d = 4.34

Developed Conditions

REDEVELOPED AREA FOR FIRST FLUSH	2980.00	X (0.28/12) X 58=	\$516.53 FEE IN LIEU
EXISTING DISCHARGE	4.13 CFS		
PROPOSED DISCHARGE	4.13 CFS		

This site is an existing fully developed lot. The site currently discharges 4.13 cfs to the adjacent tract. The drainage from the upland adjacent lot is collected by an existing pipe a concrete channel along the southernly adjacent tract. The area of new building is 100% impervious, therefore no increase in flow will occur with this development. The same owner owns the adjacent gravel lot, minor grading shall be done to construct a retaining wall at the property line to protect building. The drainage patterns and concept conform to the originally approved plan. The amount of disturbed impervious area generates a 64.6 CF water quality volume which will be resolved with a cash in lieu.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

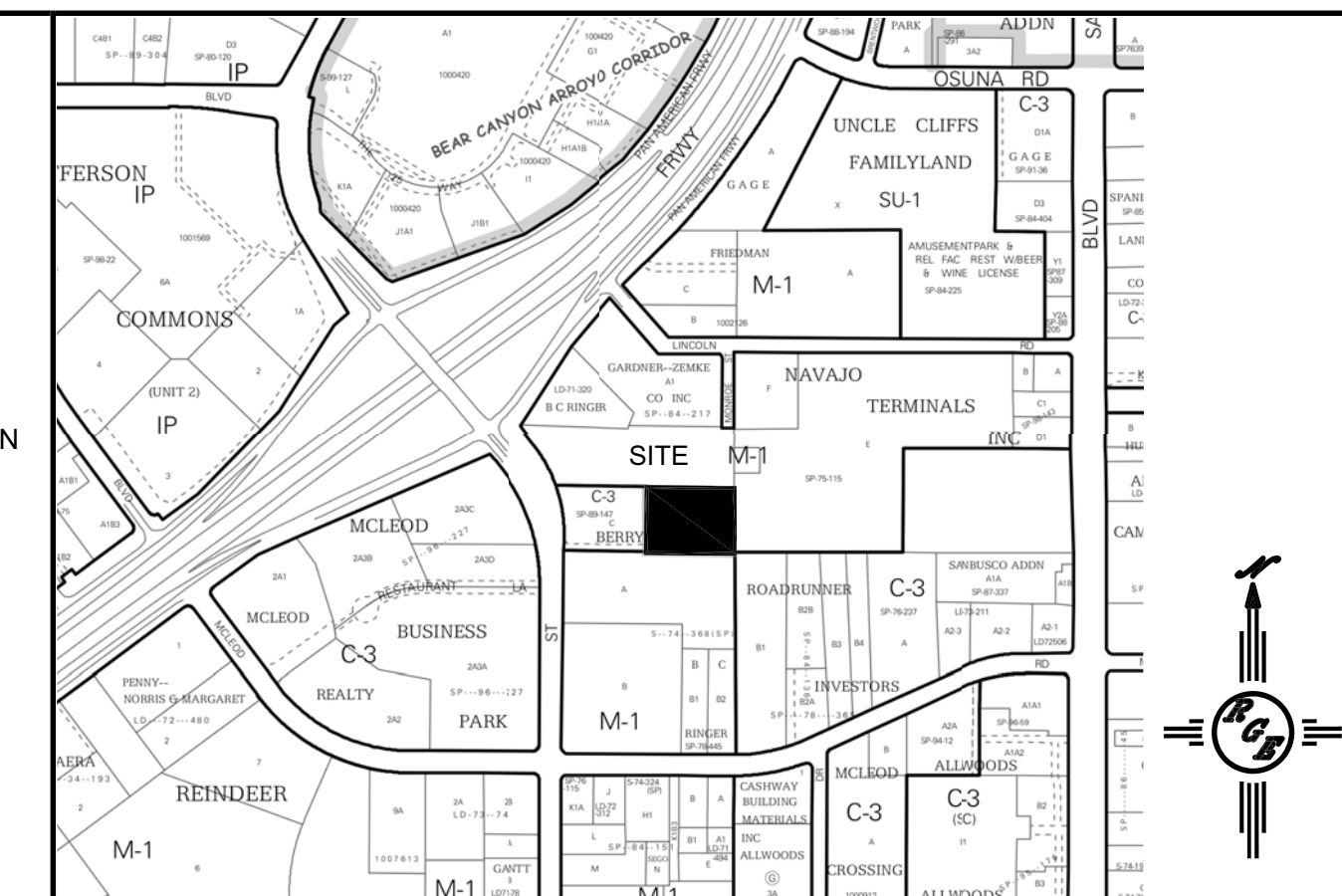
DATE: 10/05/23
BY: *Renee Brissett*
HydroTeam #: F17D026A

THE APPROVAL OF THESE DOCUMENTS SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF ANY CITY EMPLOYEE OR OFFICIAL. ANY AND ALL NOTICES CONCERNING THE CITY OF ALBUQUERQUE, NEW MEXICO, SHALL BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTOMATICALLY.

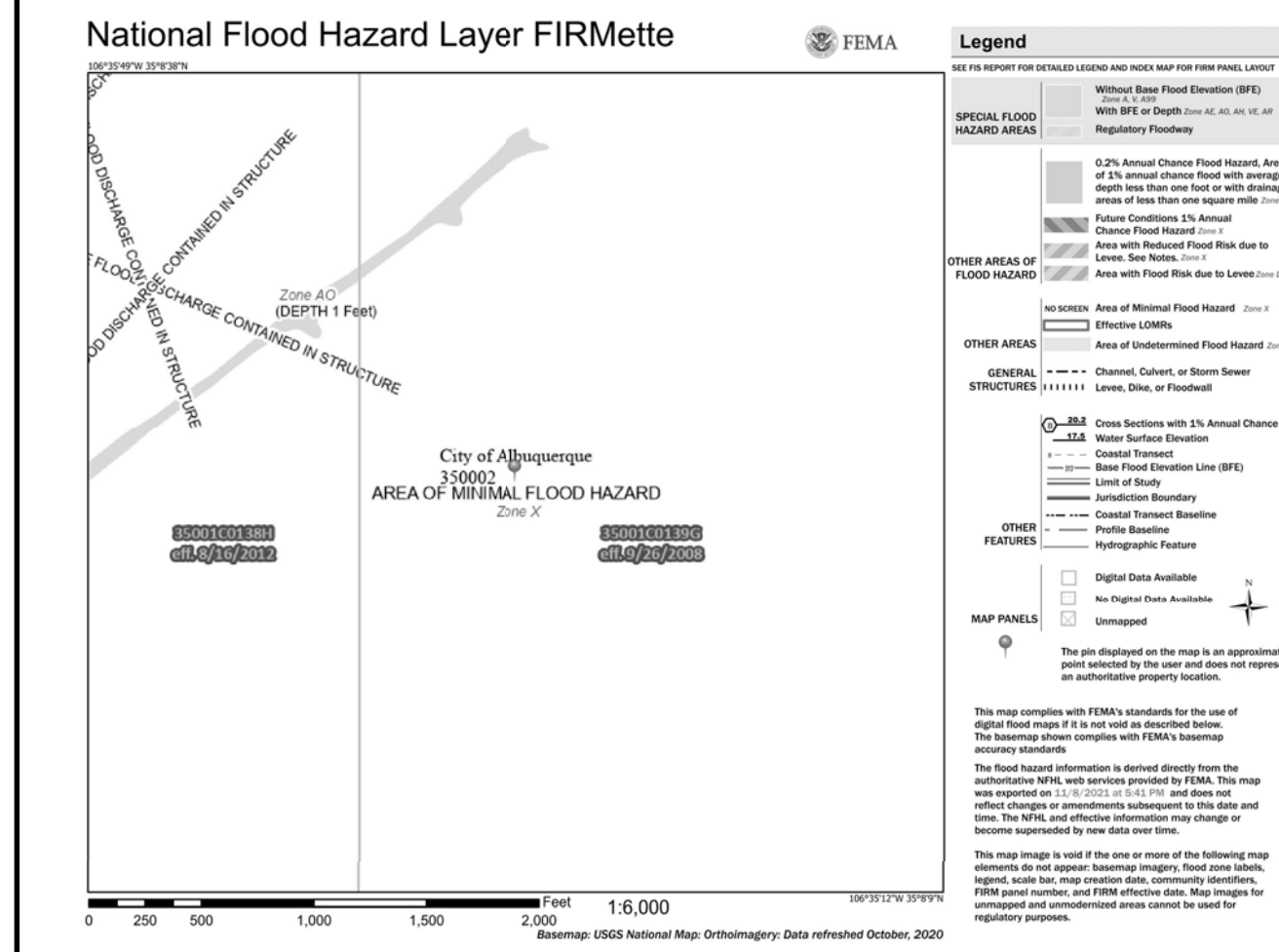
APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: F-17-Z



FIRM MAP:

LEGAL DESCRIPTION:

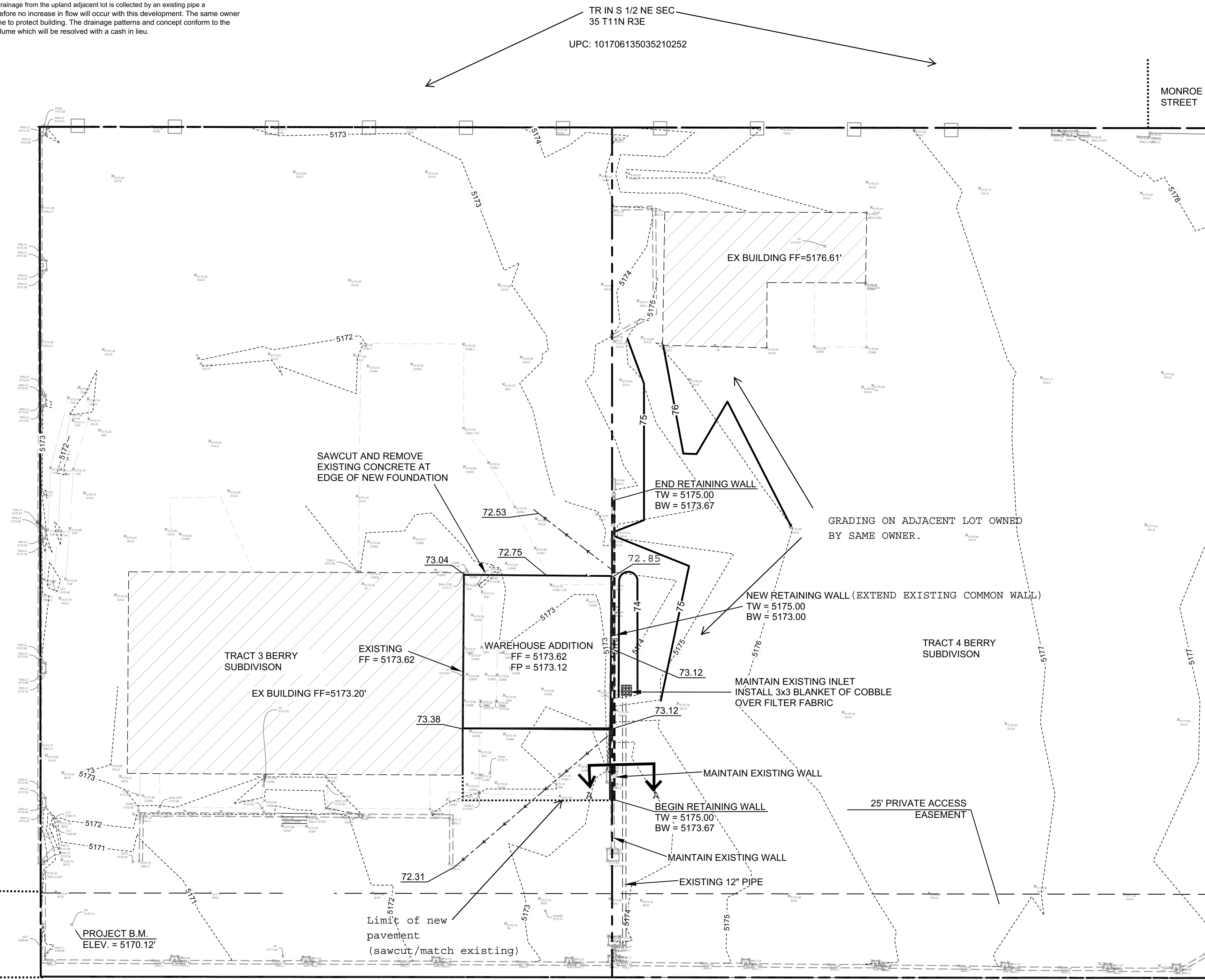
BERRY 3 DIVERSIFIED CONTRACTORS
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
+ XXXXX	EXISTING SPOT ELEVATION
● XXXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<	PROPOSED EARTHEN SWALE
-----	PROPOSED RETAINING WALL

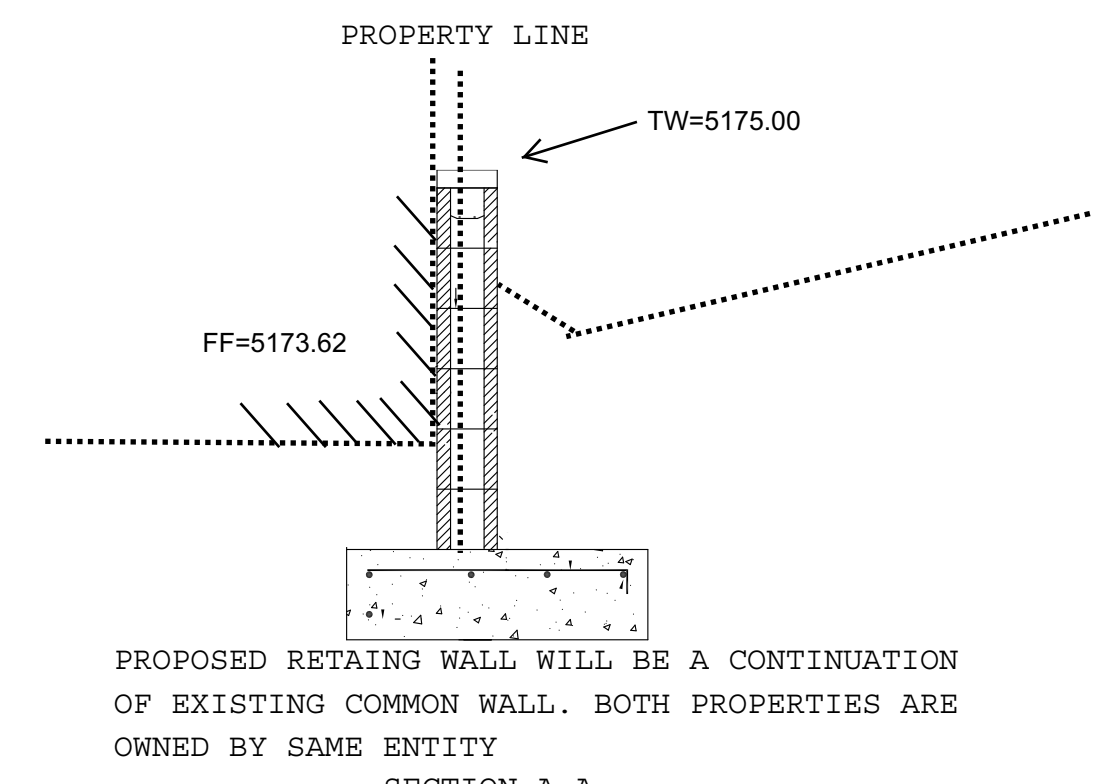


TR E PLAT OF PORT OF LANDS OF NAVAJO TERMINALS INC
UPC: 101706145436210253

TR IN S 1/2 NE SEC 35 T11N R3E
UPC: 101706135035210252

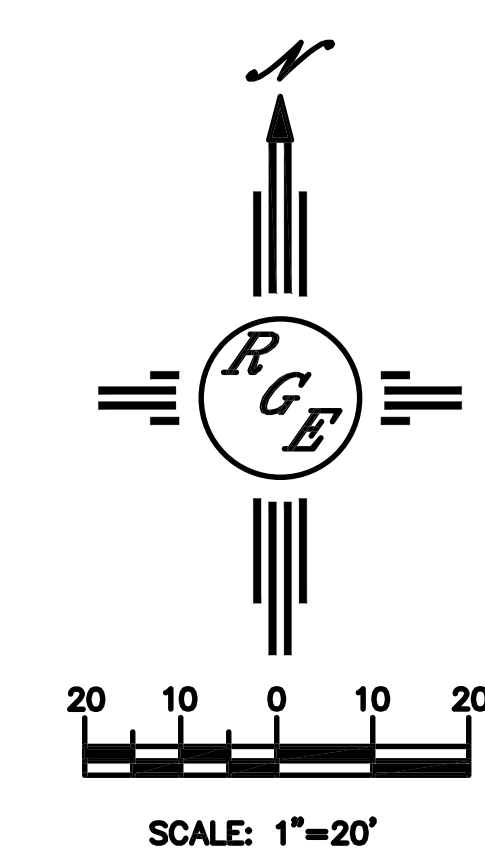
TR A SUMMARY PLAT OF A TR OF LAND SITUATE WITHIN ELENA GALLEGOS GRANT
UPC: 101706135730910270

EXISTING ACCESS EASEMENT CONNECTION TO JEFFERSON



PROPOSED RETAINING WALL WILL BE A CONTINUATION OF EXISTING COMMON WALL. BOTH PROPERTIES ARE OWNED BY SAME ENTITY
SECTION A-A

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL 	<p>TRACY BERRY 3 & 4 LANDS OF DIVERSIFIED CONTRACTORS INC. 4950 JEFFERSON ST.</p> <p>GRADING AND DRAINAGE PLAN</p> <p><i>Rio Grande Engineering</i> P.O. BOX 93904 ALBUQUERQUE, NM 87199 (505) 321-8099</p>	<p>DRAWN BY: DEM</p> <p>DATE: 11-9-21</p> <p>BERRY 3 DIVERSIFIED CONTRACTORS INC</p> <p>SHEET #: C1</p> <p>JOB #:</p>
9/25/23		
DAVID SOULE P.E. #14522		