

CITY OF ALBUQUERQUE



April 20, 2011

Robert Calvani, R.A.
NCA Architects
1306 Rio Grande Blvd. NW
Albuquerque, NM 87104

Re: Miller Bonded Addition, 4420 McLeod Road NE
Permanent Certificate of Occupancy – Transportation Development
Architect's Stamp dated 08-18-09 (F17-D028)
Certification dated 04-15-11

Dear Mr. Calvani,

Based upon the information provided in your submittal received 04-18-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Miller Bonded Addition ZONE MAP: F-17/0028
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 4420 Mcleod Albg. NM 87107

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: MCA CONTACT: _____
 ADDRESS: 1306 Rio Grande PHONE: 505-255-6400
 CITY, STATE: Albg. NM ZIP CODE: 87104

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

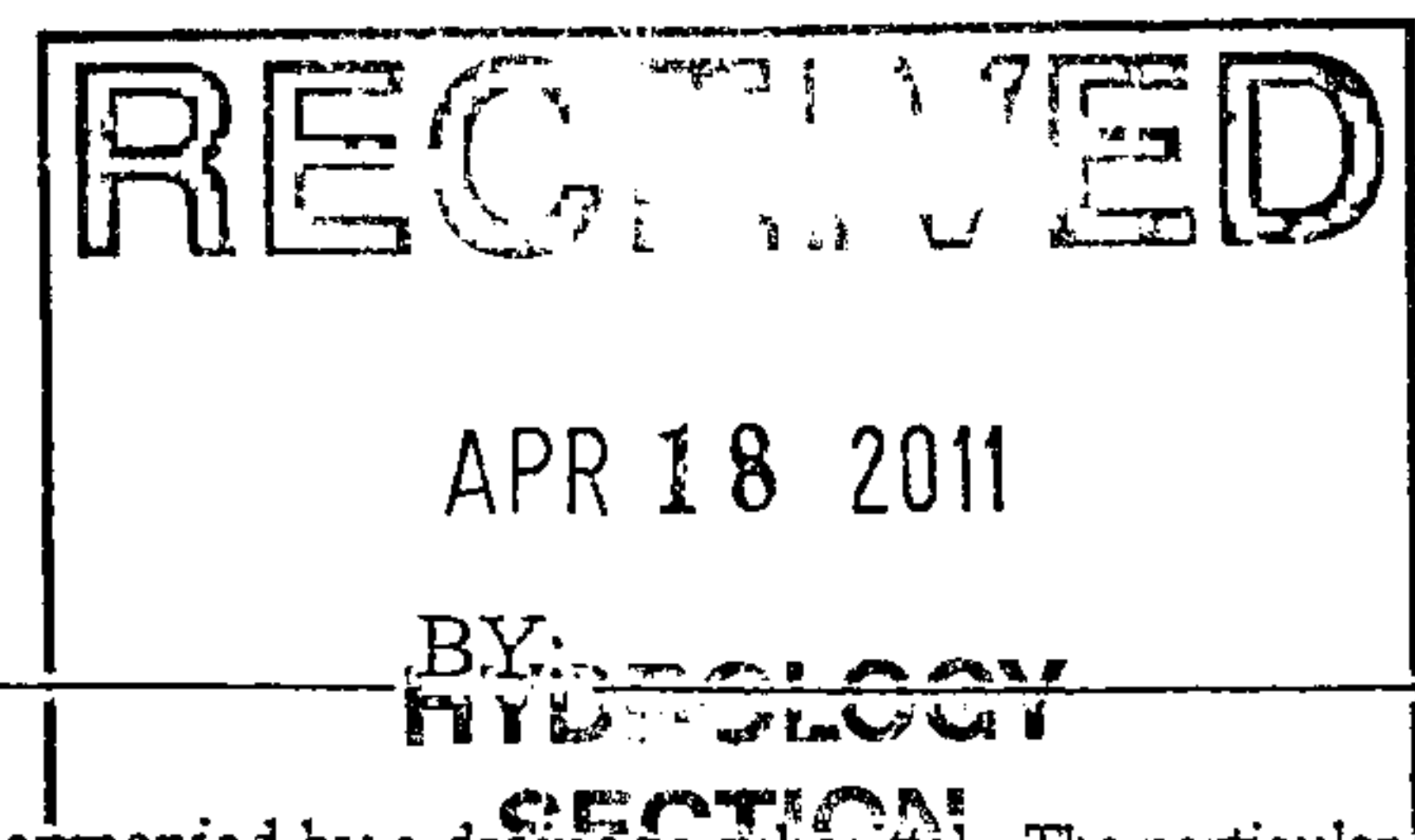
CONTRACTOR: Freemans Finest CONTACT: Earl
 ADDRESS: 1236 Peyton Rd PHONE: _____
 CITY, STATE: 108 Las Alamos NM ZIP CODE: _____

TYPE OF SUBMITTAL:
 _____ DRAINAGE REPORT
 _____ DRAINAGE PLAN 1st SUBMITTAL
 _____ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL G & D PLAN
 _____ GRADING PLAN
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERT (HYDROLOGY)
 _____ CLOMR/LOMR
 _____ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
 _____ ENGINEER'S CERT (DRB SITE PLAN)
 _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
 _____ SIA/FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D APPROVAL
 _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
 _____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
 _____ CERTIFICATE OF OCCUPANCY (TEMP)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 _____ YES
 _____ NO
 _____ COPY PROVIDED

DATE SUBMITTED: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



ARCHITECTS • PLANNERS • AIA

Robert M. Calvani

4/15/11

John C. Layman

Krystal Metro
Traffic Engineer

Thomas C. Wilber

Development and Building Services
Planning Department
City of Albuquerque

RE: Approval of Certificate of Occupancy for
The Miller Bonded Addition, Permit # 201090335
4420 McLeod
Albuquerque, NM 87107

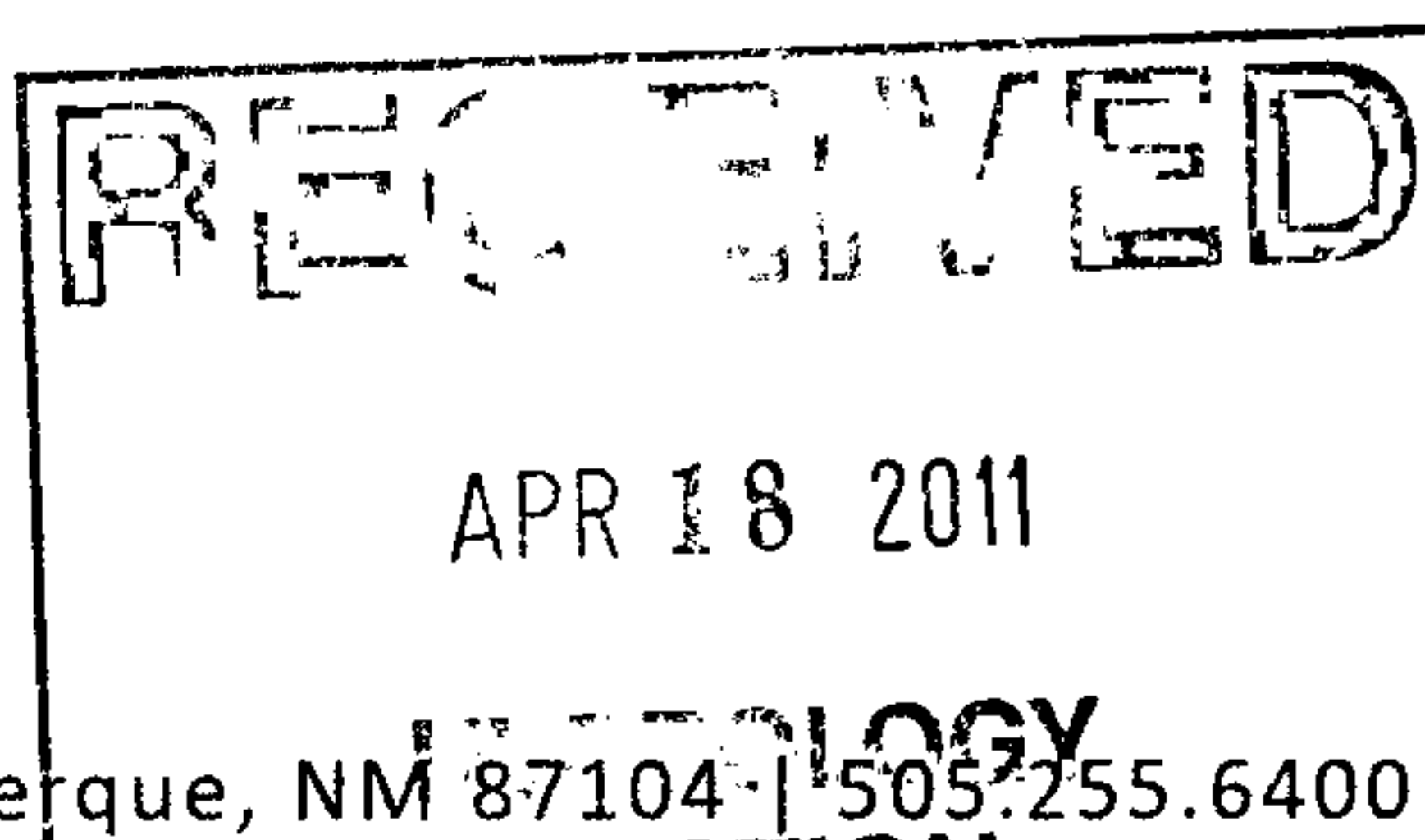
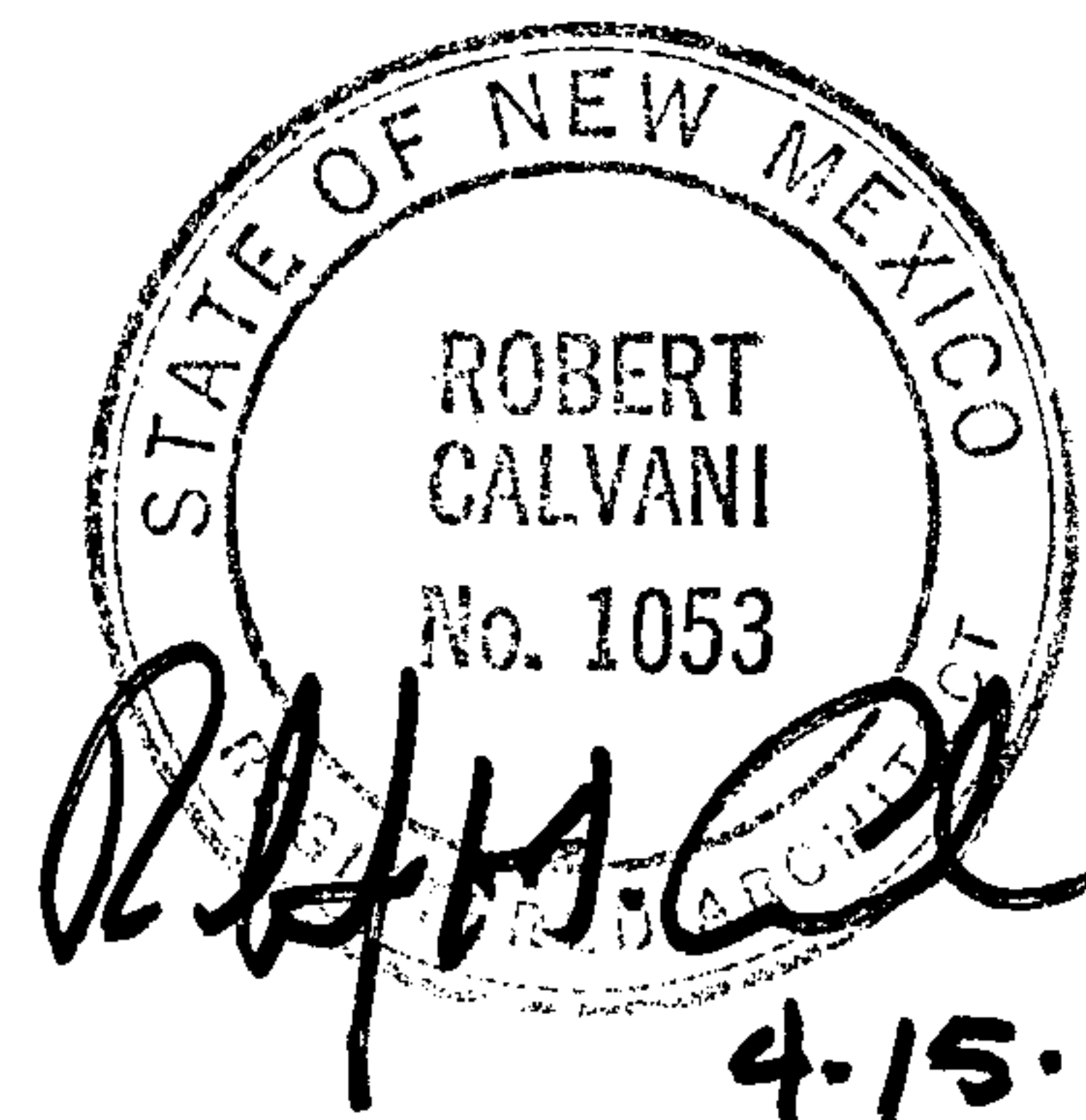
Dear Krystal,

I Robert Calvani, a registered Architect in the State of New Mexico of the firm NCA Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 8-21-09. The record information edited onto the original design document has been obtained by Dave Puritz of the firm NCA Architects. I further certify that I have personally visited the project site on 4/08/11 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

The record information presented heron is not necessarily completed and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Robert Calvani, AIA
Principal-in-Charge

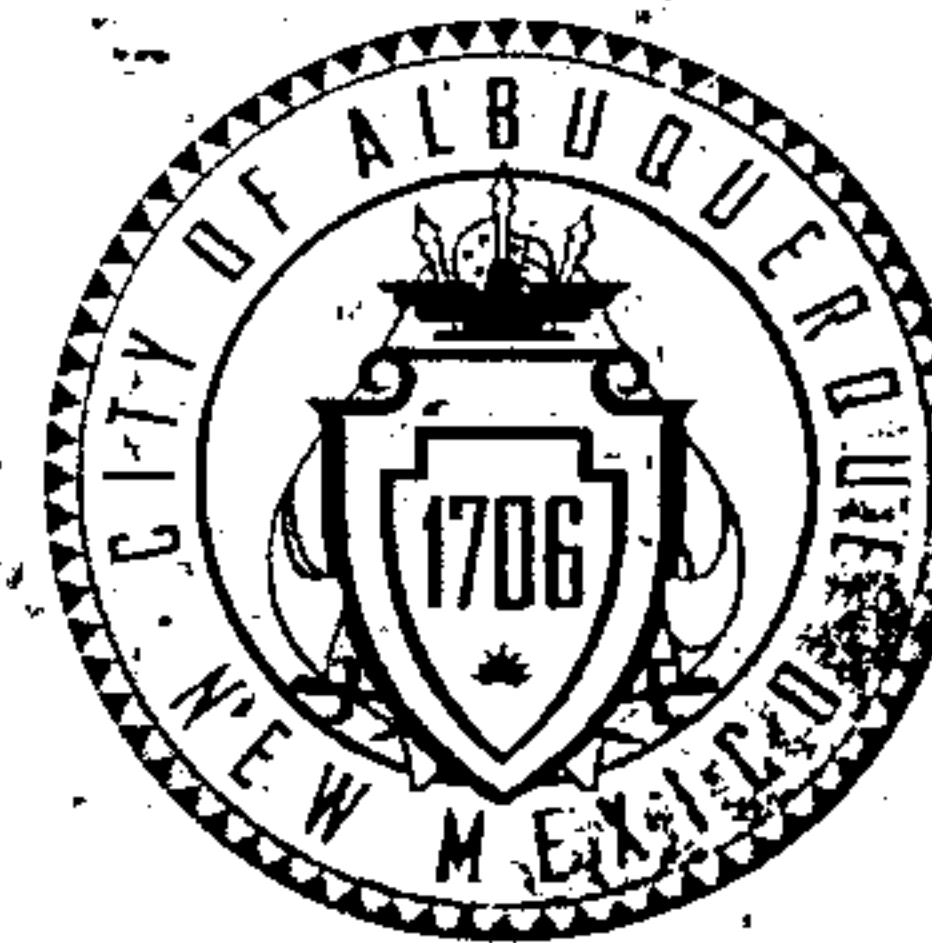


1306 Rio Grande Blvd. NW | Albuquerque, NM 87104 | 505.255.6400 Voice | 505.268.6954 Fax | www.nca-architects.com

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years
1978-2008

Quality
design
& Excellent
client service

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 13, 2011

Robert Calvani, R.A.
NCA Architects
1306 Rio Grande Blvd. NW
Albuquerque, NM 87104

Re: Certification Submittal for Certificate of Occupancy for
Miller Bonded Addition, 4420 McLeod Road NE (F17-D028)
Certification dated 04-08-11

Dear Mr. Calvani,

The Letter of Certification submitted on 04-13-11 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following items need to be addressed prior to approval:

- Provide all as-built information on the approved Traffic Circulation Layout.
- The certification must be signed, stamped, and dated.

Please resubmit a revised certification with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



ARCHITECTS • PLANNERS • AIA

Robert M. Calvani

4/08/11

John C. Layman

Krystal Metro
Traffic Engineer

Thomas C. Wilber

Development and Building Services
Planning Department
City of Albuquerque

RE: Approval of Certificate of Occupancy for
The Miller Bonded Addition, Permit # 201090335
4420 McLeod Road NE
Albuquerque, NM 87107

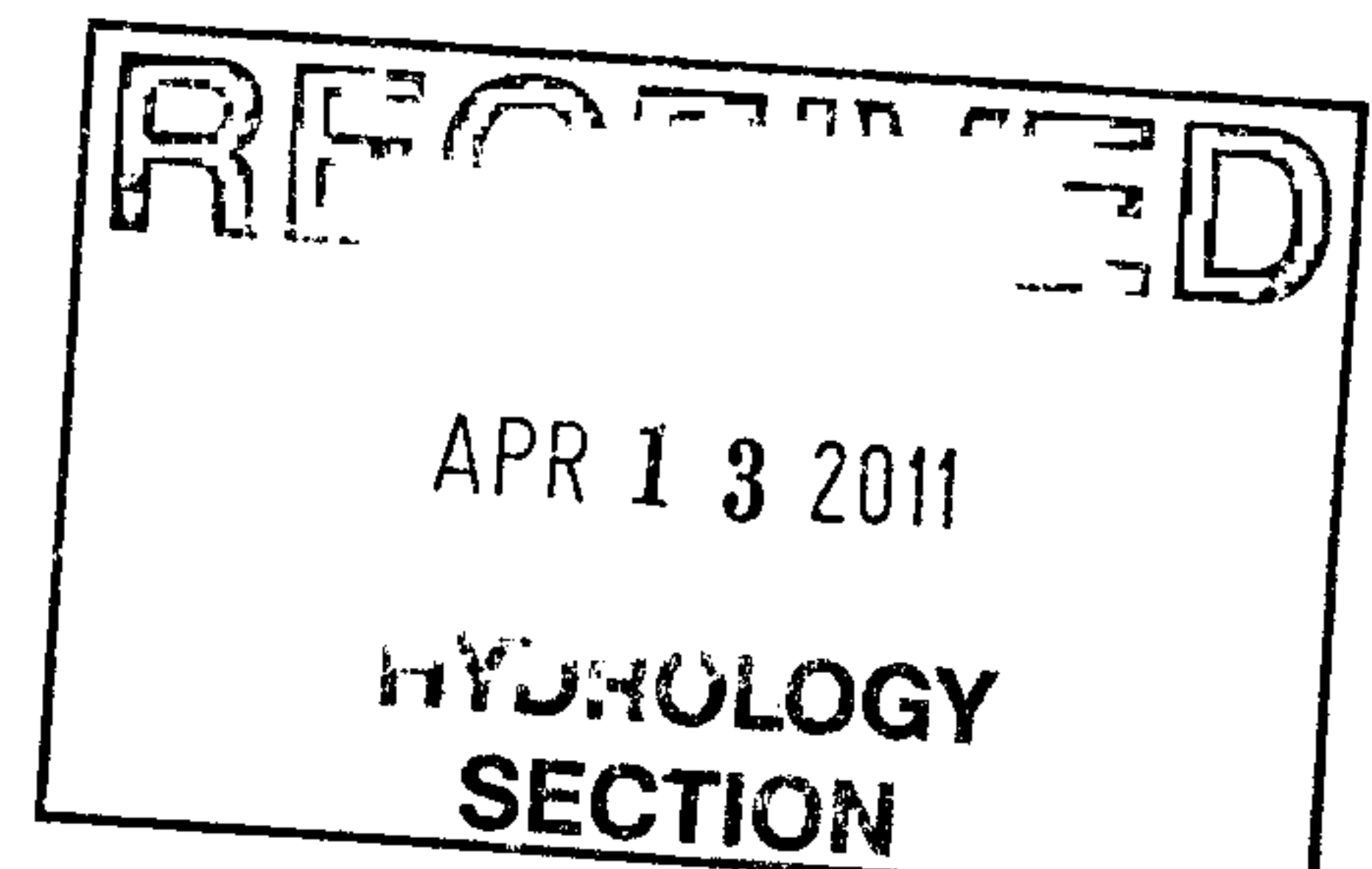
Dear Krystal,

I Robert Calvani, a registered Architect in the State of New Mexico of the firm NCA Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 8-21-09. The record information edited onto the original design document has been obtained by Dave Puritz of the firm NCA Architects. I further certify that I have personally visited the project site on 4/08/11 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

The record information presented heron is not necessarily completed and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Robert Calvani, AIA
Principal-in-Charge



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Miller Bonded ZONE MAP: F-17/0028
 DRB#: _____ EPC#: 101706 126122 WORK ORDER#: _____

LEGAL DESCRIPTION: Reindven addition 030918
 CITY ADDRESS: 4420 maccloude NE

ENGINEERING FIRM: NCA CONTACT: Dave
 ADDRESS: 1306 Rio grande N-W PHONE: 255 6400
 CITY, STATE: Albuquerque ZIP CODE: 87104

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
 ____ DRAINAGE PLAN 1st SUBMITTAL
 ____ DRAINAGE PLAN RESUBMITTAL
 ____ CONCEPTUAL G & D PLAN
 ____ GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERT (HYDROLOGY)
 ____ CLOMR/LOMR
 ____ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT.(TCL)
 ____ ENGINEER'S CERT (DRB SITE PLAN)
 ____ OTHER (SPECIFY) _____

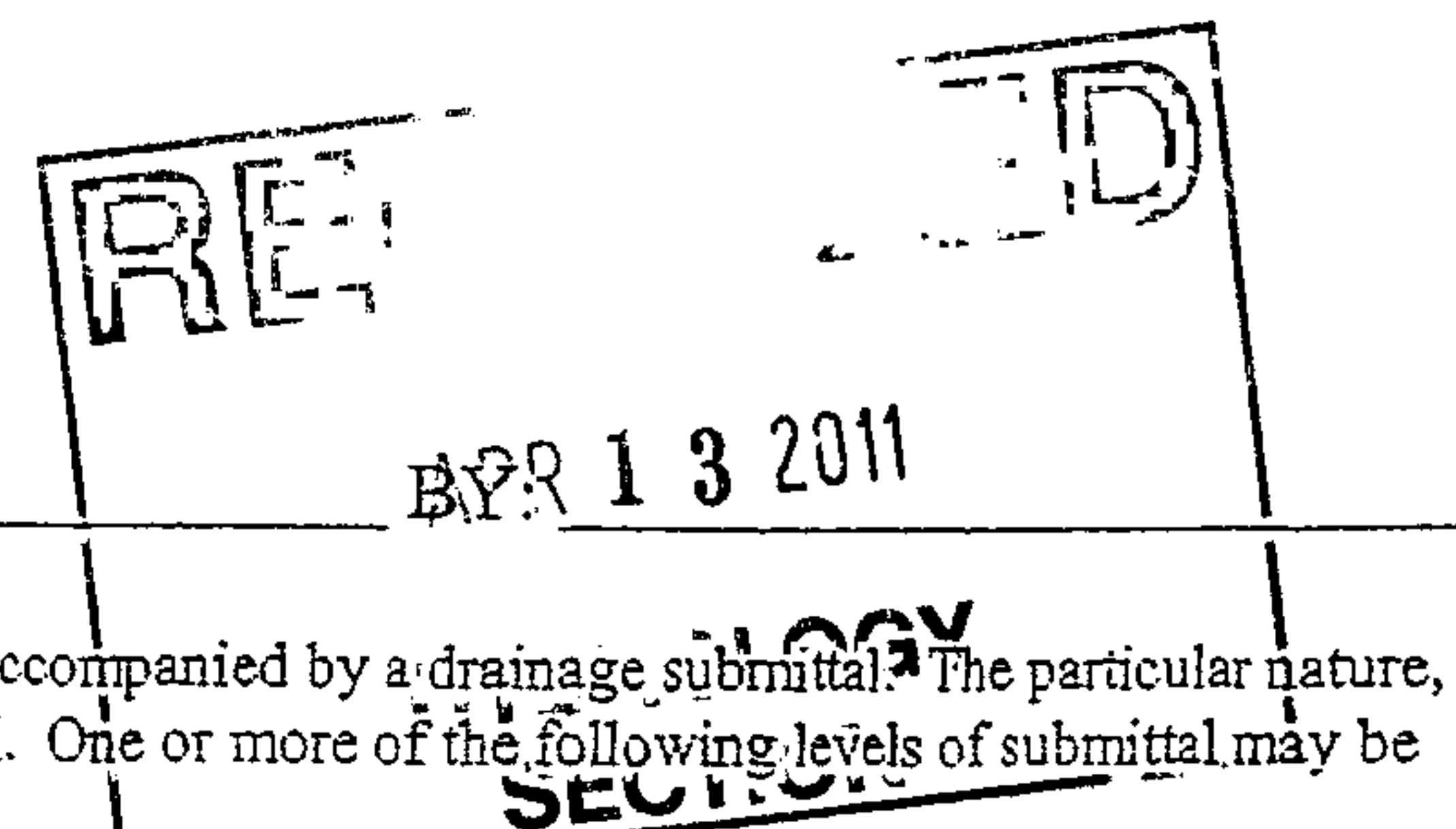
CHECK TYPE OF APPROVAL SOUGHT:

____ SIA/FINANCIAL GUARANTEE RELEASE
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 ____ S. DEV. PLAN FOR SUB'D APPROVAL
 ____ S. DEV. FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
 ____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
 ____ CERTIFICATE OF OCCUPANCY (TEMP)
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ WORK ORDER APPROVAL
 ____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
 ____ NO
 ____ COPY PROVIDED

DATE SUBMITTED: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 1, 2010

Verlyn A. Miller, P.E.
Miller Engineering Consultants
3500 Comanche, NE- Bldg. F
Albuquerque, NM 87107

Re: Miller Bonded Inc. Building, 4358 Mcleod Rd NE,
Permanent Certificate of Occupancy - Approved
Engineer's Stamp dated: 09-21-09 (~~F-14/D042~~)
Certification dated 09-28-10 F-17/D028

Dear Mr. Miller,

Based upon the information provided in the Certification received 09-30-10, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

Albuquerque


Timothy E. Sims

NM 87103

Plan Checker—Hydrology Section
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: MILLER BONDED INC. BUILDING ZONE MAP/DRG. FILE # F-17-2D028
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS 9 & 10 REINDEER ADDITION FILED JAN 18, 72 IN BOOK C2 PAGE 82.
CITY ADDRESS: 4358 MCLEOD RD. NE, ALBUQUERQUE, NM 87109

ENGINEERING FIRM: MILLER ENGINEERING CONSULTANTS CONTACT: VERLAIN MILLER
ADDRESS: 3500 COMANCHE NE BLDG. F PHONE: 505-888-7500
CITY, STATE: ALBUQUERQUE, NM 87107 ZIP CODE: 87107

OWNER: MILLER BONDED INC. CONTACT: _____
ADDRESS: 4358 MCLEOD NE PHONE: 505-881-0220
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

ARCHITECT: NCA ARCHITECTS CONTACT: DAVE PURITZ
ADDRESS: 1300 RIO GRANDE BLVD. PHONE: 505-255-6400
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87048 87104

SURVEYOR: TERRA LAND SURVEYS CONTACT: CHRIS MEDINA
ADDRESS: 4436 CORRALES RD. PHONE: 505-792-0513
CITY, STATE: CORRALES, NM ZIP CODE: 87048

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) SEP 30 2010

WAS A PRE-DESIGN CONFERENCE ATTENDED:

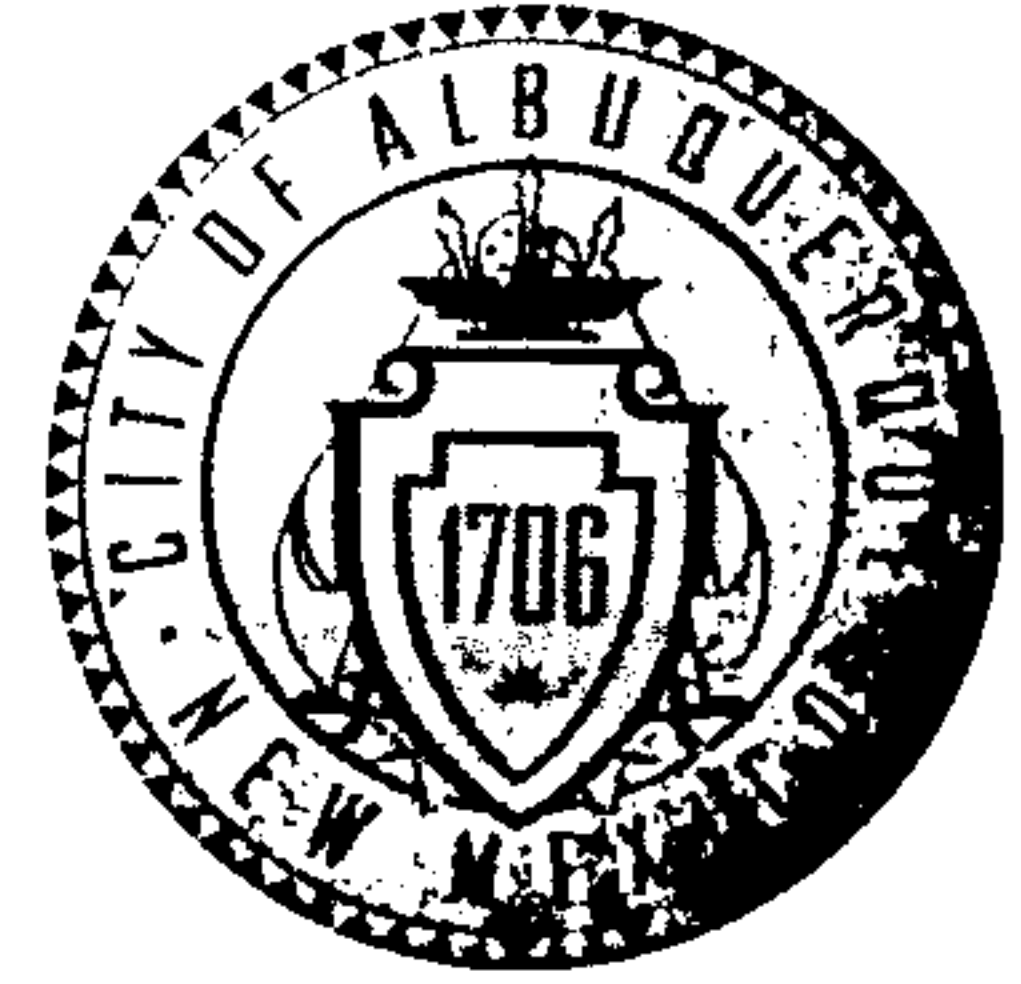
- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: u d n DATE: 9/28/10

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
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CITY OF ALBUQUERQUE



August 21, 2009

Robert Calvani, R.A.
NCA Architects
1306 Rio Grande Blvd. NW
Albuquerque, NM 87104

Re: Miller Bonded Addition, 4538 McLeod Avenue NE,
Traffic Circulation Layout
Architect's Stamp dated 08-19-09 (F17-D028)

Dear Mr. Calvani,

The TCL submittal received 08-21-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



September 21, 2009

Verlyn A. Miller, P.E.
Miller Engineering
3500 Comanche NE, Bldg F
Albuquerque, NM 87107

Re: Miller Bonding Addition Grading and Drainage Plan
Engineer's Stamp date 9-21-09 (F17/D028)

Dear Mr. Miller,

Based upon the information provided in your submittal received 9-21-09, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

To obtain a temporary or permanent CO, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

PROJECT TITLE: MILLER BONDED INC. BUILDING

ZONE MAP: ~~E-17~~ F-17/028

DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT "2-A" REDIVISION OF REINDEER TRACT NO.2, FILED FEB. 7, 1973
IN BOOK B7, PAGE 132 AND TRACTS 9 AND 10 REINDEER ADDITION, FILED
JAN. 18, 1972 IN BOOK C8, PAGE 82.

CITY ADDRESS: 4358 MCLEOD RD NE ALBUQUERQUE, NM 87109

ENGINEERING FIRM: MILLER ENGINEERING CONSULTANTS

ADDRESS: 3500 COMANCHE NE BLDG F

CITY, STATE: ALBUQUERQUE, NM

CONTACT: VERLYN MILLER

PHONE: 505-888-7500

ZIP CODE: 87107

OWNER: MILLER BONDED INC.

ADDRESS: 4358 MCLEOD RD NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT:

PHONE: 505-881-0220

ZIP CODE: 87109

ARCHITECT: NCA ARCHITECTS

ADDRESS: 1306 RIO GRANDE BLVD.

CITY, STATE: ALBUQUERQUE, NM

CONTACT: DAVE PURITZ

PHONE: 505-255-6400

ZIP CODE: 87104

SURVEYOR: TERRA LAND SURVEYS

ADDRESS: 4436 CORRALES RD.

CITY, STATE: CORRALES, NM

CONTACT: CHRIS MEDINA

PHONE: 505-792-0513

ZIP CODE: 87048

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
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- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

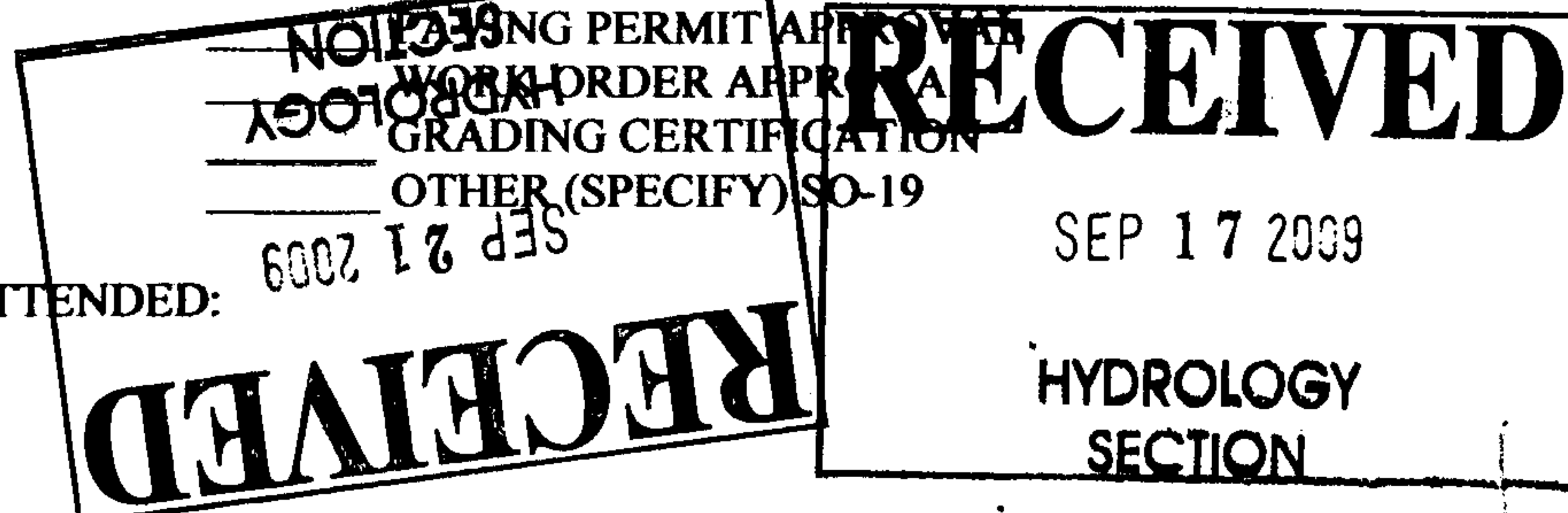
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☒ GRADING PERMIT APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) SO-19

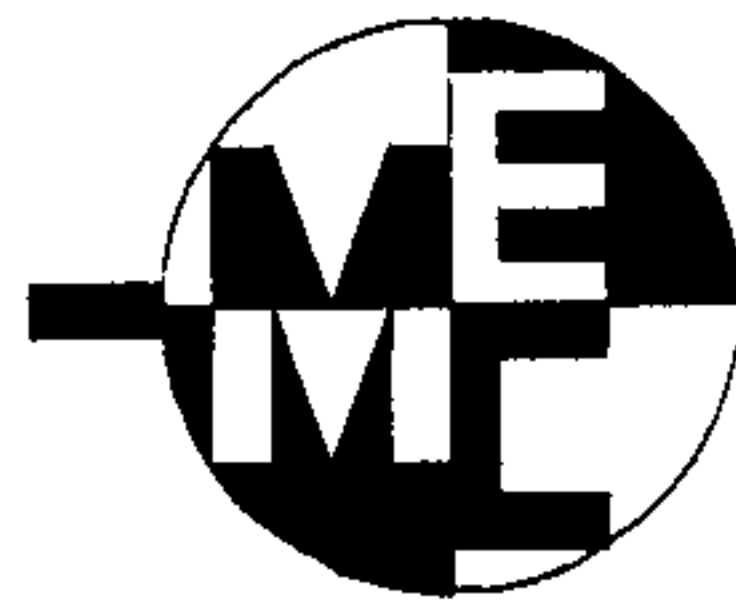
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: September 16, 2009 BY: LAN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:





MILLER ENGINEERING CONSULTANTS

Engineers • Planners

September 16, 2009

City of Albuquerque
Planning Department
Development and Building Services
P.O. Box 1293
Albuquerque, NM 87103

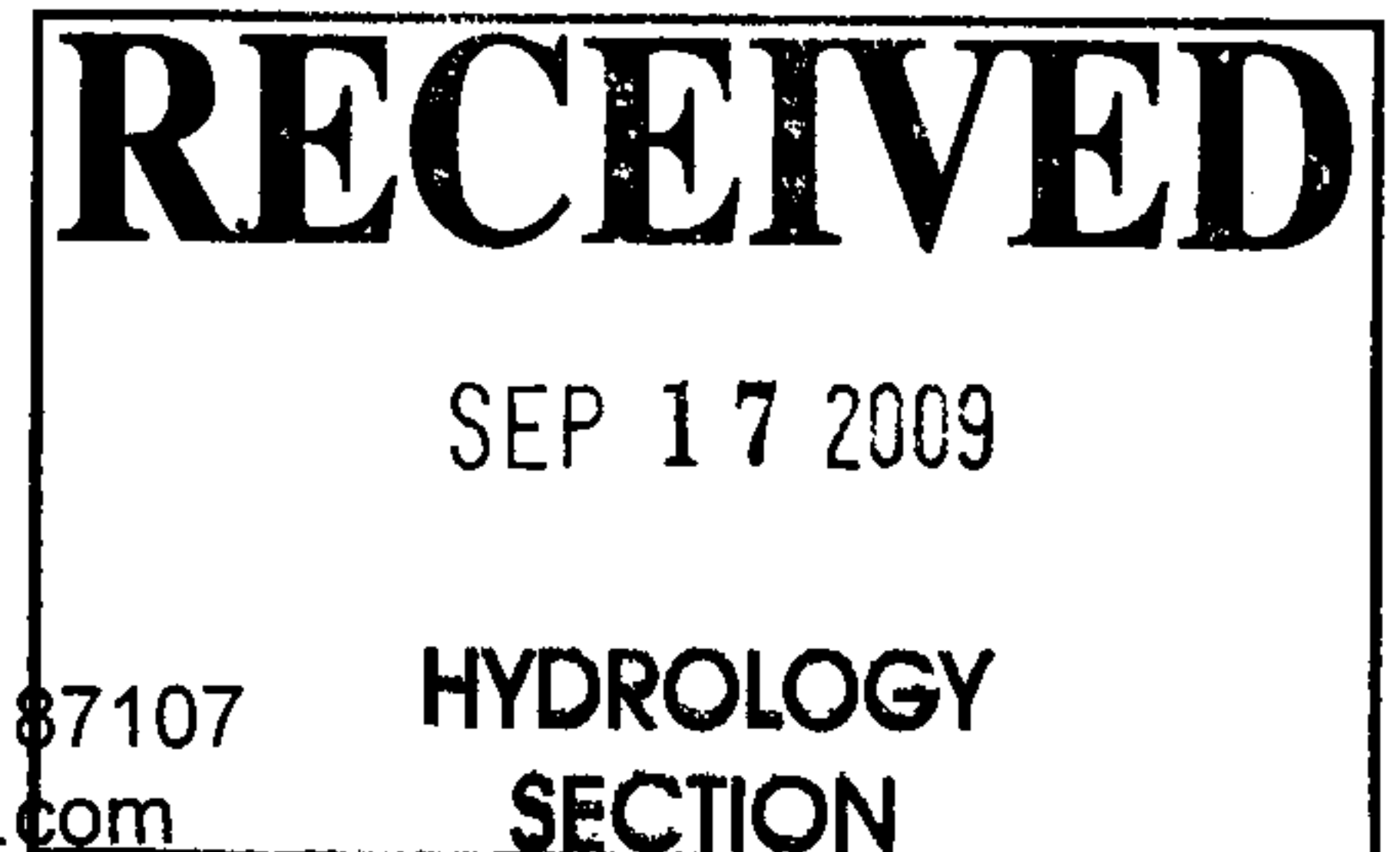
Attn: Curtis A. Cherne, P.E., Senior Engineer

**RE: Miller Bonded Addition, Grading and Drainage Plan
Engineers Stamp Date 09/01/09 (F17/D028)**

Dear Mr. Cherne:

This letter is in response to your comments by letter dated September 4, 2009. All of your comments have been addressed as follows:

1. Specify the width of the proposed sidewalk culvert. A "Triple" could be three 1-footers, or three 2-footers.
The sidewalk culvert will have three 2' openings per COA Standard Drawing 2236. The resulting width of the culvert opening will be 6 feet.
2. How much runoff leaves the site through the sidewalk culvert. It appears there are two basins, drive entrance and sidewalk culvert. Provide calculations for each basin.
The peak flow rate leaving the site through the sidewalk culvert is 18.1 cfs. This flow is the sum of runoff from proposed basins C, D, E, F, G, H, and I. The calculations for all the existing and proposed basins are shown on the attached Plan Sheet, C-102.
3. It appears the existing site drains through this site and should be included in the calculations.
The existing site does contribute runoff to the proposed site. Flows were calculated for these basins identified as basins G and H. Offsite basin I was also included in the calculations. See Plan Sheet C-102 for the calculations.
4. There is a small offsite basin that enters this site in the corner at the south end of the site. Flows from this basin should continue to flow through this site.
The small offsite basin located at the south-eastern corner of the project site has been added to the drainage area map and is designated basin I, and is included in the drainage calculations. See Plan Sheet C-102 for the drainage calculations.



5. Provide the invert depth for the 7" and 4" concrete swales on Sheet C-102.

Hydraulic analysis has been performed on the 4" concrete swale and the 7" concrete swale. The calculations for these swales are attached to this letter. The normal depth of flow for the 4" concrete swale is 0.26 feet. The normal depth of flow for the 7" concrete swale is also 0.26 feet. The details for both the 4" and the 7" concrete swales have been edited and the revisions are reflected on Plan Sheet C-103 to indicate a 6" invert for each detail.

If you have any questions or need any additional information, please feel free to contact our office.

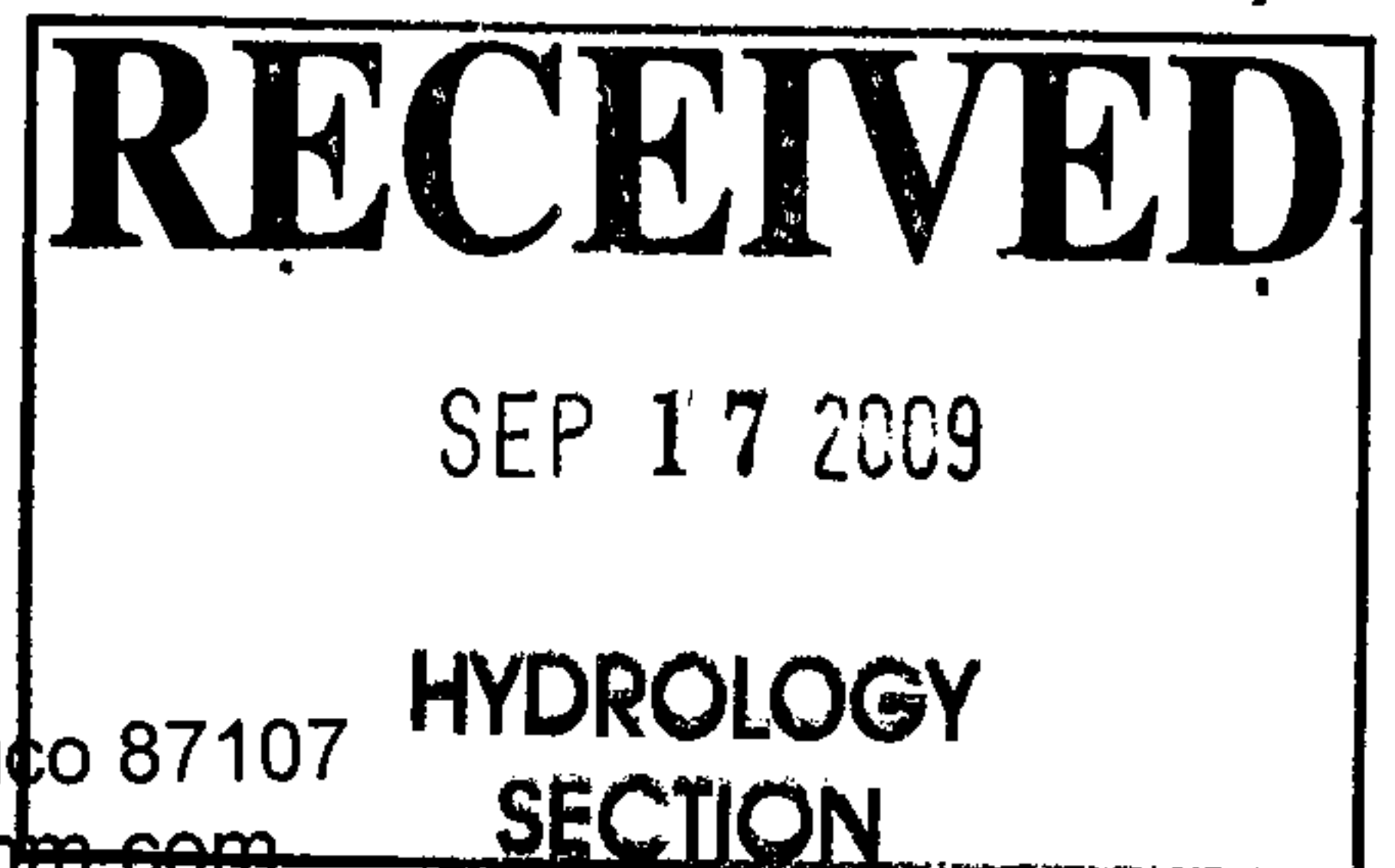
MILLER ENGINEERING CONSULTANTS, INC.



Verlyn A. Miller, P.E.
President

VAM:vam
Enclosures

cc: File



Worksheet for 4" Concrete Swale

Project Description

Flow Element: Triangular Channel
Friction Method: Manning Formula
Solve For: Normal Depth

Input Data

Roughness Coefficient: 0.013
Channel Slope: 0.01300 ft/ft
Left Side Slope: 9.00 ft/ft (H:V)
Right Side Slope: 9.00 ft/ft (H:V)
Discharge: 2.07 ft³/s

Results

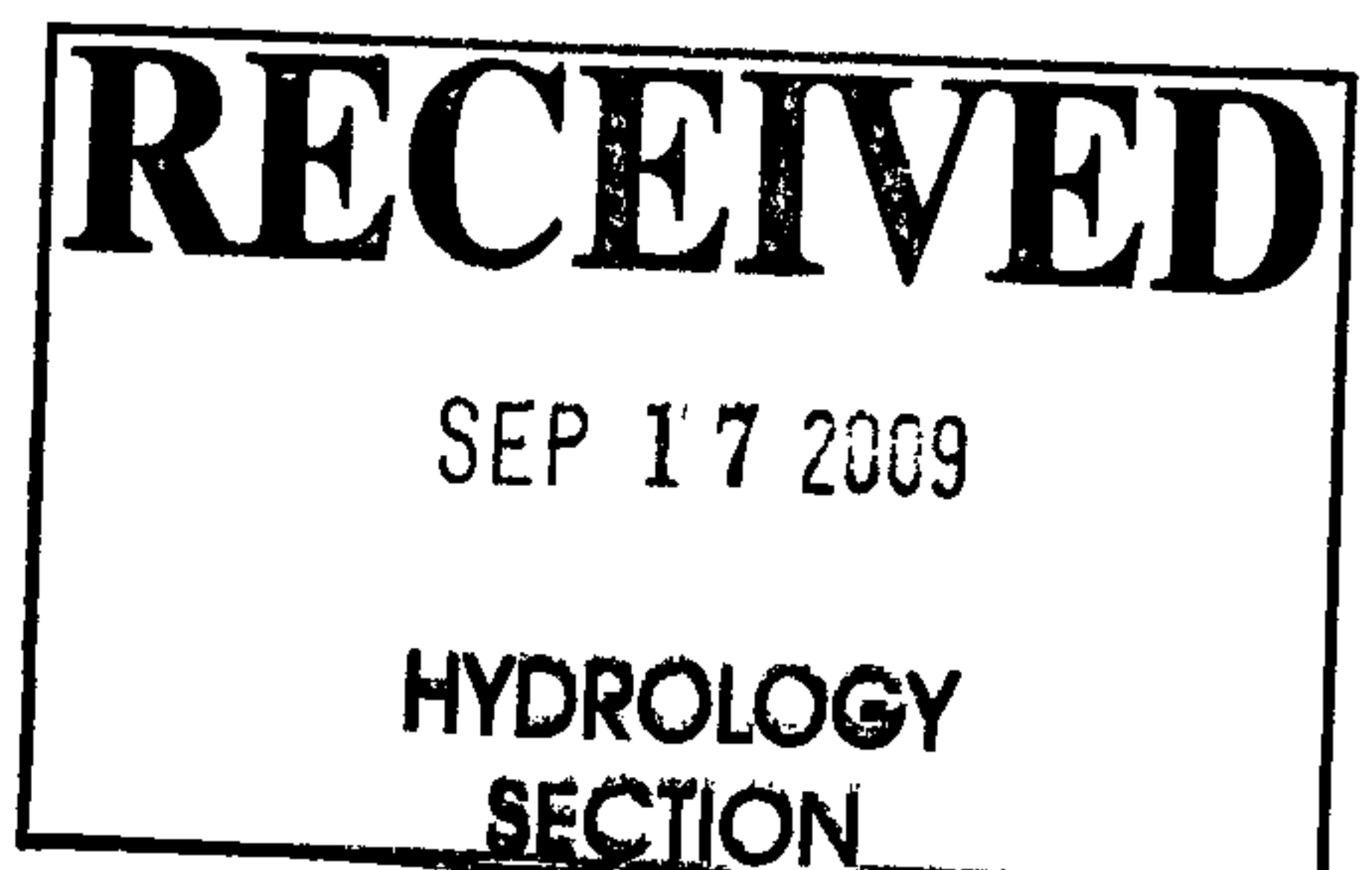
Normal Depth: 0.26 *3" USE 6"* ft
Flow Area: 0.62 ft²
Wetted Perimeter: 4.75 ft
Top Width: 4.72 ft
Critical Depth: 0.32 ft
Critical Slope: 0.00458 ft/ft
Velocity: 3.35 ft/s
Velocity Head: 0.17 ft
Specific Energy: 0.44 ft
Froude Number: 1.63
Flow Type: Supercritical

GVF Input Data

Downstream Depth: 0.00 ft
Length: 0.00 ft
Number Of Steps: 0

GVF Output Data

Upstream Depth: 0.00 ft
Profile Description: N/A
Profile Headloss: 0.00 ft
Downstream Velocity: 0.00 ft/s
Upstream Velocity: 0.00 ft/s
Normal Depth: 0.26 ft
Critical Depth: 0.32 ft
Channel Slope: 0.01300 ft/ft
Critical Slope: 0.00458 ft/ft



Worksheet for 7" Concrete Swale

Project Description

Flow Element: Triangular Channel
Friction Method: Manning Formula
Solve For: Normal Depth

Input Data

Roughness Coefficient: 0.013
Channel Slope: 0.01000 ft/ft
Left Side Slope: 10.00 ft/ft (H:V)
Right Side Slope: 10.00 ft/ft (H:V)
Discharge: 2.07 ft³/s

Results

Normal Depth: 0.26 3" use 6" ft
Flow Area: 0.70 ft²
Wetted Perimeter: 5.32 ft
Top Width: 5.29 ft
Critical Depth: 0.31 ft
Critical Slope: 0.00464 ft/ft
Velocity: 2.96 ft/s
Velocity Head: 0.14 ft
Specific Energy: 0.40 ft
Froude Number: 1.43
Flow Type: Supercritical

GVF Input Data

Downstream Depth: 0.00 ft
Length: 0.00 ft
Number Of Steps: 0

GVF Output Data

Upstream Depth: 0.00 ft
Profile Description: N/A
Profile Headloss: 0.00 ft
Downstream Velocity: 0.00 ft/s
Upstream Velocity: 0.00 ft/s
Normal Depth: 0.26 ft
Critical Depth: 0.31 ft
Channel Slope: 0.01000 ft/ft
Critical Slope: 0.00464 ft/ft

Worksheet for North Rectangular Channel - 1*TRIPLE SW CULVERT***Project Description**

Flow Element: Rectangular Channel
Friction Method: Manning Formula
Solve For: Normal Depth

Input Data

Roughness Coefficient: 0.013
Channel Slope: 0.02000 ft/ft
Bottom Width: 6.00 ft
Discharge: 18.11 ft³/s

Results

Normal Depth: 0.38 ft
Flow Area: 2.30 ft²
Wetted Perimeter: 6.77 ft
Top Width: 6.00 ft
Critical Depth: 0.66 ft
Critical Slope: 0.00369 ft/ft
Velocity: 7.87 ft/s
Velocity Head: 0.96 ft
Specific Energy: 1.35 ft
Froude Number: 2.24
Flow Type: Supercritical

GVF Input Data

Downstream Depth: 0.00 ft
Length: 0.00 ft
Number Of Steps: 0

GVF Output Data

Upstream Depth: 0.00 ft
Profile Description: N/A
Profile Headloss: 0.00 ft
Downstream Velocity: 0.00 ft/s
Upstream Velocity: 0.00 ft/s
Normal Depth: 0.38 ft
Critical Depth: 0.66 ft
Channel Slope: 0.02000 ft/ft
Critical Slope: 0.00369 ft/ft

Worksheet for South Rectangular Channel - 1*DOUBLE SW CULVERT***Project Description**

Flow Element: Rectangular Channel
Friction Method: Manning Formula
Solve For: Normal Depth

Input Data

Roughness Coefficient: 0.013
Channel Slope: 0.00600 ft/ft
Bottom Width: 4.00 ft
Discharge: 4.80 ft³/s

Results

Normal Depth: 0.32 ft
Flow Area: 1.28 ft²
Wetted Perimeter: 4.64 ft
Top Width: 4.00 ft
Critical Depth: 0.36 ft
Critical Slope: 0.00432 ft/ft
Velocity: 3.75 ft/s
Velocity Head: 0.22 ft
Specific Energy: 0.54 ft
Froude Number: 1.17
Flow Type: Supercritical

GVF Input Data

Downstream Depth: 0.00 ft
Length: 0.00 ft
Number Of Steps: 0

GVF Output Data

Upstream Depth: 0.00 ft
Profile Description: N/A
Profile Headloss: 0.00 ft
Downstream Velocity: 0.00 ft/s
Upstream Velocity: 0.00 ft/s
Normal Depth: 0.32 ft
Critical Depth: 0.36 ft
Channel Slope: 0.00600 ft/ft
Critical Slope: 0.00432 ft/ft

CITY OF ALBUQUERQUE



June 18, 2009

Robert Calvani, R.A.
NCA Architects
1306 Rio Grande Blvd. NW
Albuquerque, NM 87104

**Re: Miller Bonded Addition, 4538 McLeod Avenue NE,
Traffic Circulation Layout
Engineer's Stamp dated 06-08-09 (F17-D028)**

Dear Mr. Calvani,

*New
Stamp Date 8-19-09*

Based upon the information provided in your submittal received 06-12-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓1. For passenger vehicles, the minimum end island radius is 15 feet.
- ~~2. Please list the width for the parking spaces along the western property line.~~
- ✓3. Clearly define the 6-foot wide, ADA accessible pathway from the handicapped parking spaces to the building.
- ✓4. Show the location of the nearest driveway on the adjacent lot.
- ✓5. Revise keyed note 26 to define 1:12 as the maximum allowable slope for ramps.
- ✓6. Provide details for all wheelchair ramps within the site, noting the maximum slope.
- ✓7. Keyed note 18 refers to an enlarged detail. Please provide a copy of this detail with the next submittal.
8. Clearly define the 6-foot wide, ADA accessible pathway from the public street to the building. *→ Prop. Bldg Employee Only*
9. Please ensure all ramps are ADA compliant.
- ✓10. Two directional traffic must have a minimum aisle width of 24 feet (see the *Development Process Manual*, Figure 23.7.1).
11. Call out width of all sidewalk, both existing and proposed.
- ~~12. Please place the proposed sidewalk at the property line, not the back of curb.~~ *tie in to exist both sides*
13. Provide additional information regarding the existing parking lot. Define the angle of the existing parking spaces. Is this one or two directional traffic? Clarify how this will coordinate with the proposed addition.
- ~~14. All ramps located within city right of way must have truncated domes.~~ *See enlarged note 26*

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: MILLER BONDED ADDITION ZONE MAP: F-17/D028
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 2A LAND DIVISION 73-74, RAINDEER ADDITION
CITY ADDRESS: 1538 MCLEOD AVE. ALB NM

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: NCA ARCHITECTS CONTACT: DAVE PURITZ
ADDRESS: 1301 RIO GRANDE PHONE: 255-6400
CITY, STATE: ALB NM ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF SUBDIVISION
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

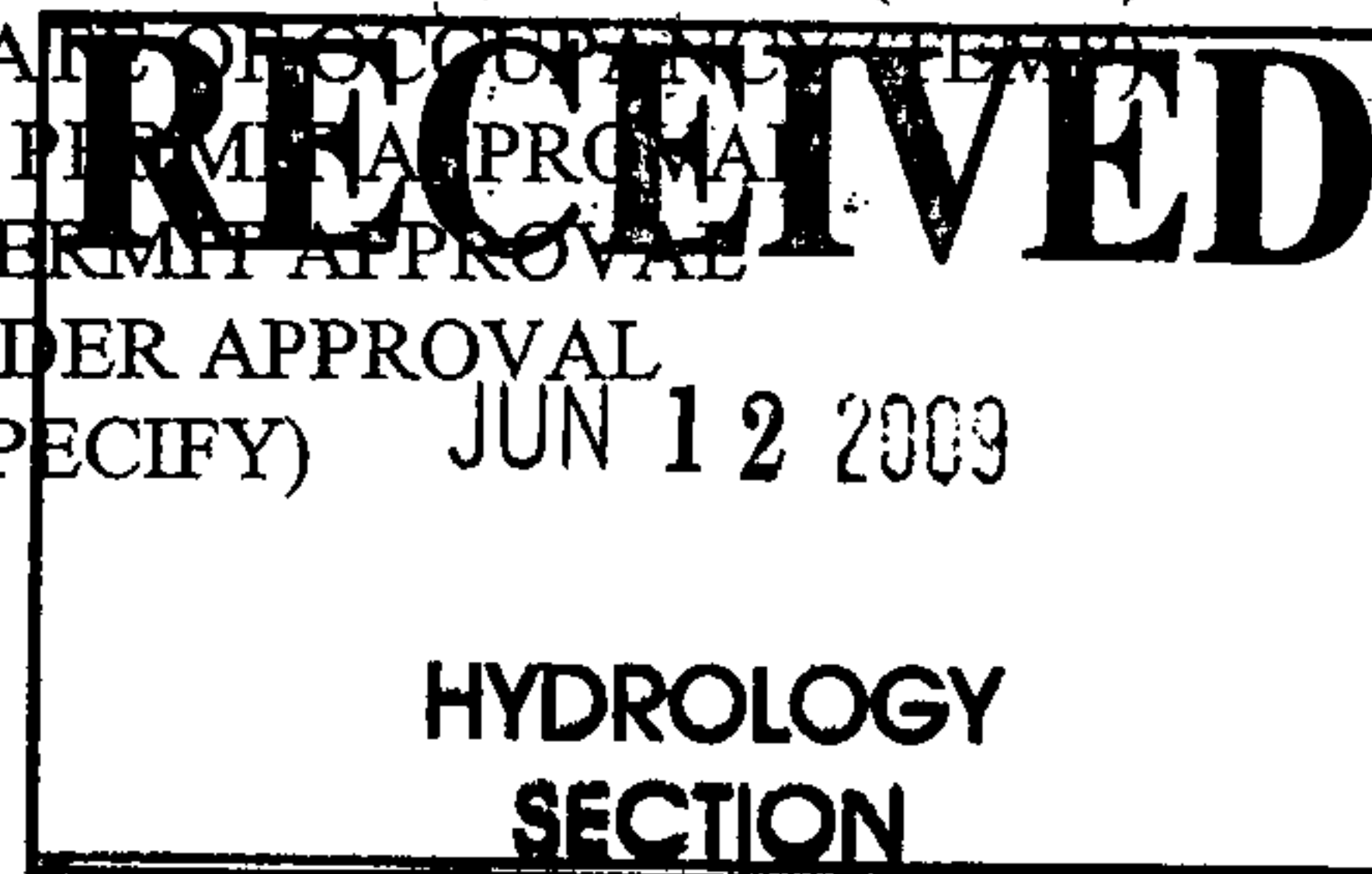
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: [Signature] BY: 6-12-09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Call out width of all sidewalks, both existing and proposed
Revise keyed note 26 to note 7:12 as the maximum allowable
slope for ramps

~~Keyed note 31a~~

Call out the width of the proposed parking spaces along the
western property line

Two-directional traffic must have a minimum aisle width
of 24 feet (see DPM Figure 23.7.1)

A 15' minimum radius is required for passenger vehicles

Provide details for all internal ramps, noting the
maximum slope

Keyed note 18 refers to an enlarged detail. Please provide
a copy of this detail w/ the ~~next~~ next submittal

A 6' wide, ADA accessible pedestrian path

- from street to bldg

- from HC spaces to bldg - need ramps, if req.

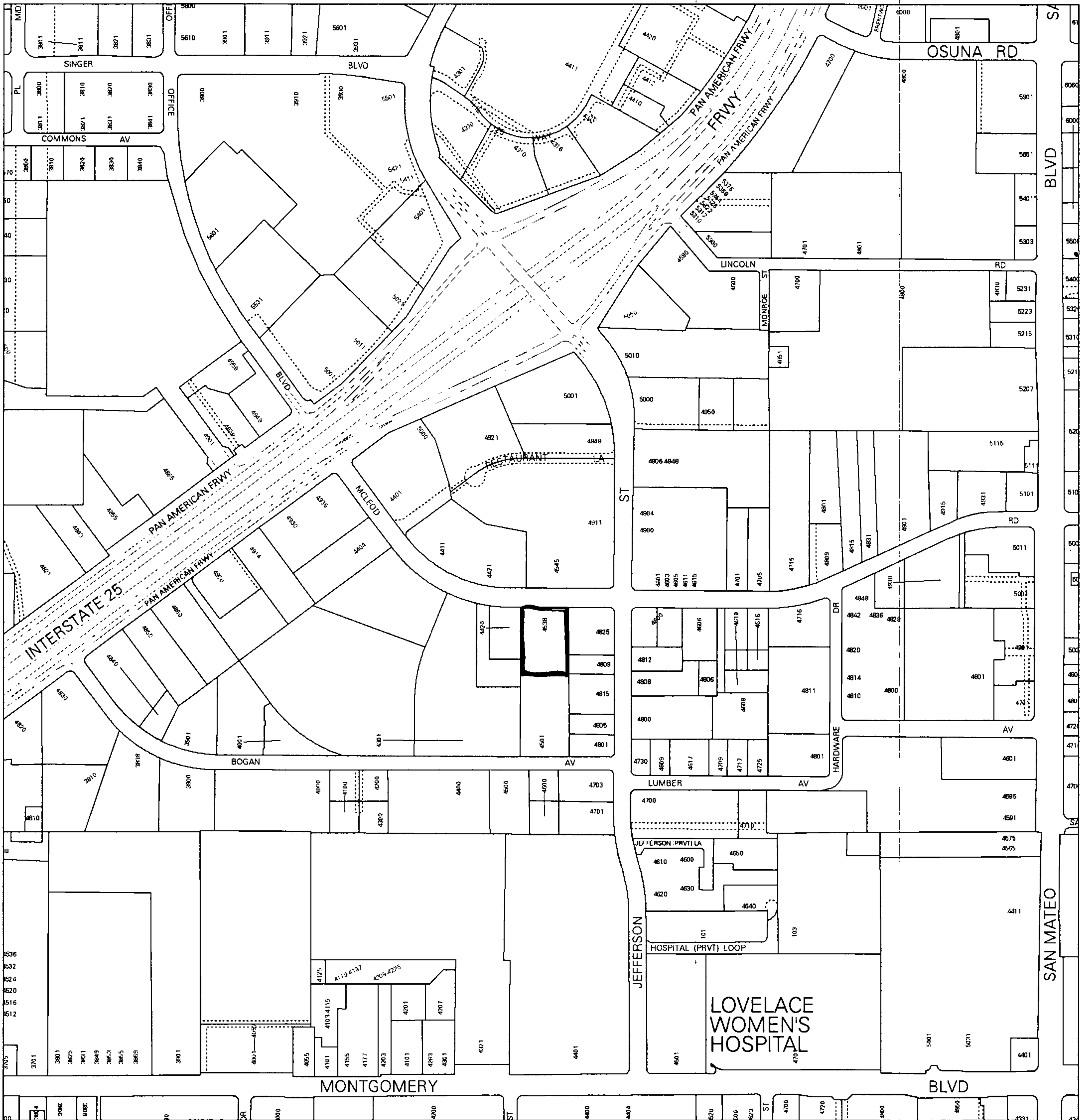
Provide add'l info regarding the existing parking lot.

Define the angle of the parking spaces. Two or one Directional?

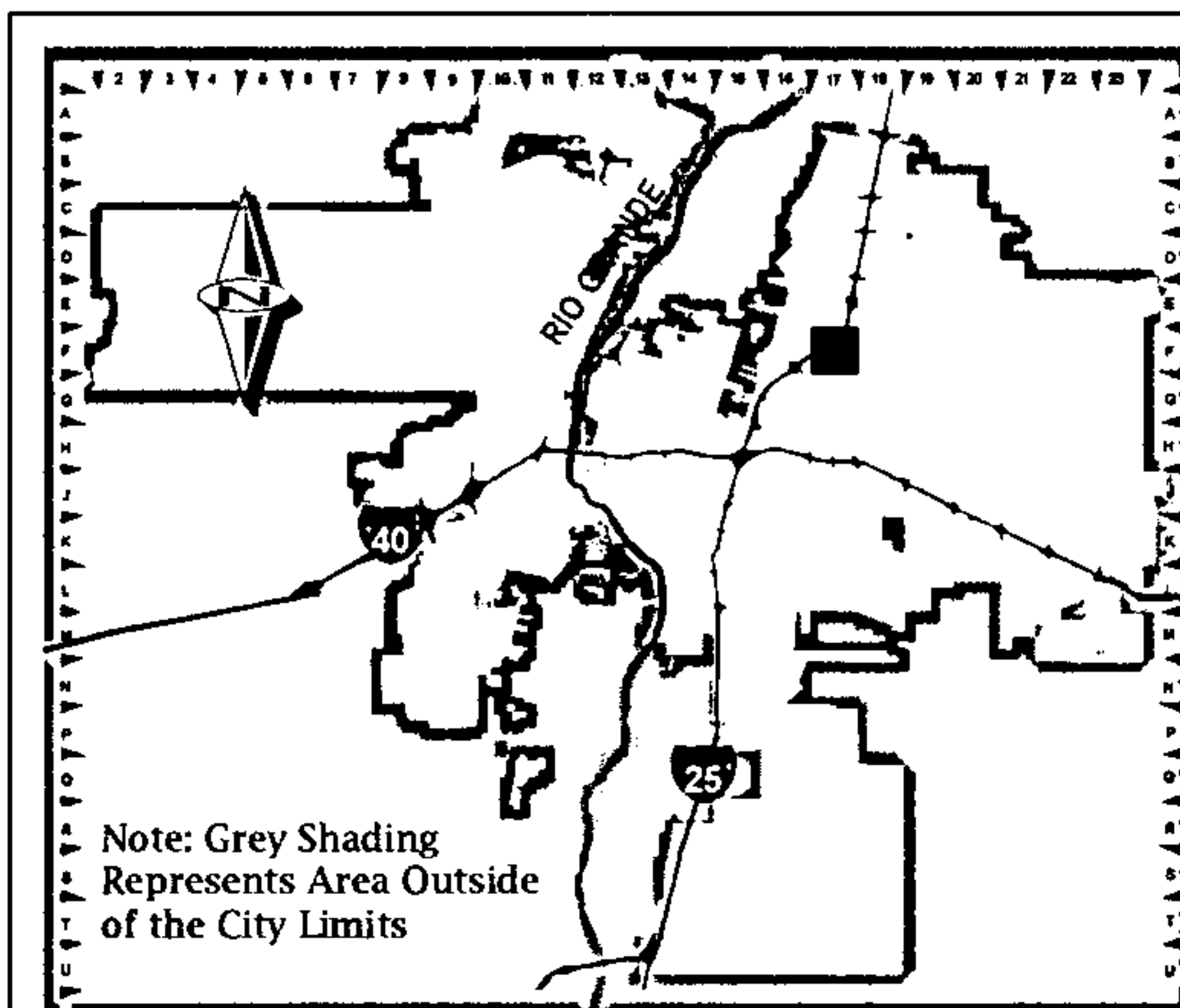
Proposed SW at R, not back of curb

TRAVELER

2/10/07
H01022



For more current information and more details visit: <http://www.cabq.gov/gis>



Address Map Page:

F-17-Z

Map amended through: 4/7/2008

These addresses are for information purposes only and are not intended for address verification.

