



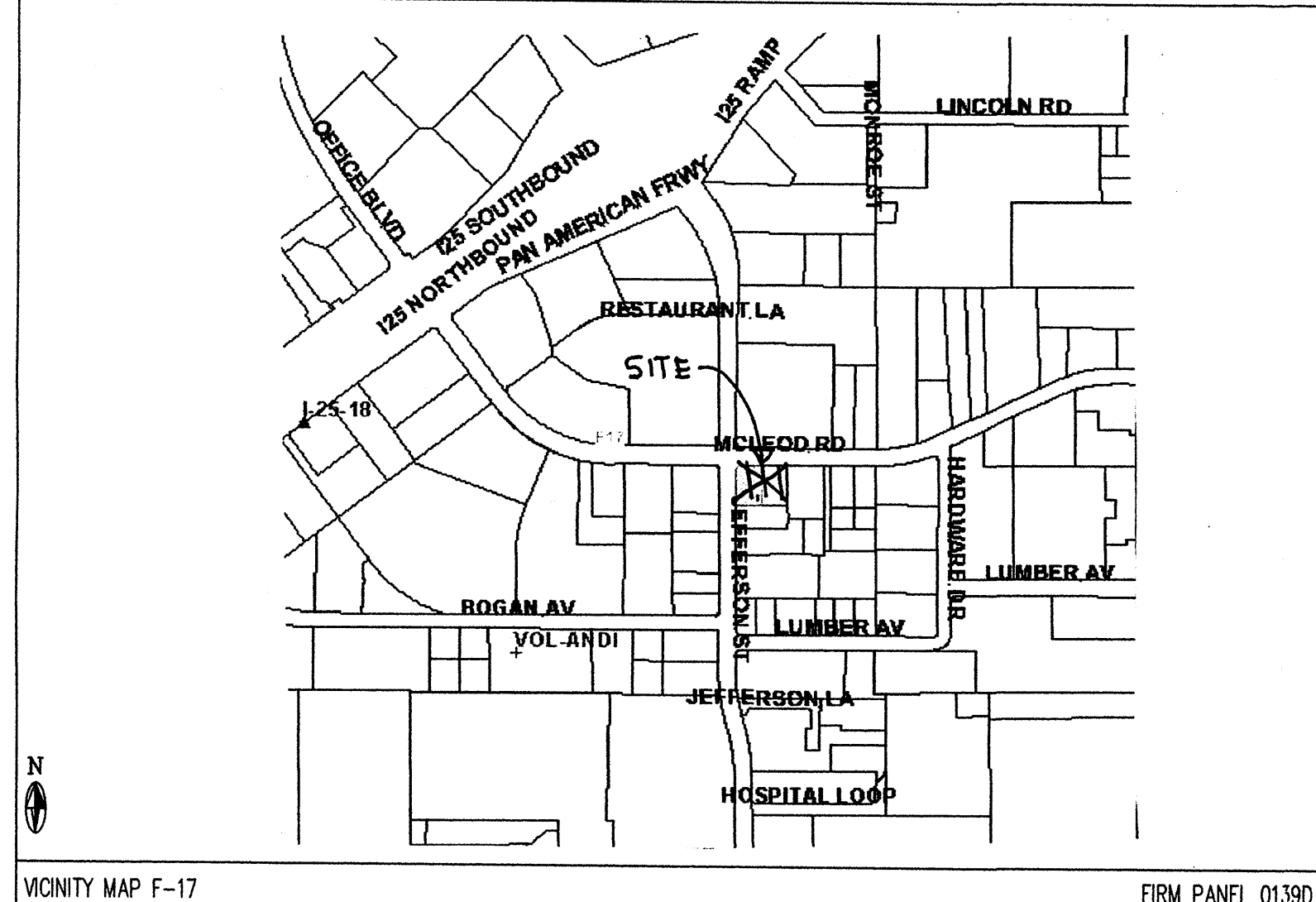
JOB NO:	
DATE:	FEBRUARY 2003
REVISIONS	

Sheet Title
GRADING/PAVING PLAN
Drawn By: BUM
Checked By:

Project Name
4600 MCLEOD N.E.
ALBUQUERQUE, NEW MEXICO

Project Name
4600 MCLEOD N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.
GD



VICINITY MAP F-17 FIRM PANEL 0139D

GRADING/PAVING PLAN

THE FOLLOWING ITEMS CONCERNING (4600 MCLEOD BLVD. N.E.) LOT K1A & LOT J OF THE SEGO SUBDIVISION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 1.1478 ACRES AND IS LOCATED AT THE SOUTHEAST QUADRANT OF THE INTERSECTION OF MCLEOD BLVD. N.E. & JEFFERSON STREET N.E. THE SITE IS COMPLETELY DEVELOPED WITH A 17,200 SQ. FT. BUILDING ALONG WITH PAVED PARKING AND ASSOCIATED LANDSCAPING. ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 0139D, DATED SEPTEMBER 20, 1996, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/PAVING PLAN, THE PROJECT WILL CONSIST OF THE REMOVAL AND REPLACEMENT OF THE ASPHALT PAVED AREAS. THE NEW ASPHALT WILL BE PLACED AT OR CLOSE TO THE EXISTING GRADES. NO INCREASE IN RUN-OFF WILL OCCUR. THE RUN-OFF WILL BE ROUTED OUT THE EXISTING DRIVEPAD IN MCLEOD BLVD. N.E., AND THROUGH THE EXISTING 4" PVC PIPE INTO JEFFERSON STREET N.E. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, DESIGN CRITERIA DATED 1997 HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 1.1478 ac.
4600 MCLEOD BLVD. N.E.

ZONE 2
PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 in.	1.56 cfs/ac.
TREATMENT B 0.78 in.	2.28 cfs/ac.
TREATMENT C 1.13 in.	3.14 cfs/ac.
TREATMENT D 2.12 in.	4.70 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A AREA 0 ac.	0 ac.
TREATMENT B AREA 0.05 ac.	0.05 ac.
TREATMENT C AREA 1.1 ac.	1.1 ac.
TREATMENT D AREA 0 ac.	0 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.05) + (1.13)(1.10) + (2.12)(0.00) / 1.15 ac. = 1.12 in.
V100-360 = (1.12)(1.15) / 12 = 0.106833 ac-ft = 4654 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.56)(0.00) + (2.28)(0.05) + (3.14)(1.10) + (4.70)(0.00) = 3.57 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.05) + (1.13)(1.10) + (2.12)(0.00) / 1.15 ac. = 1.12 in.
V100-360 = (1.12)(1.15) / 12.0 = 0.106833 ac-ft = 4654 CF

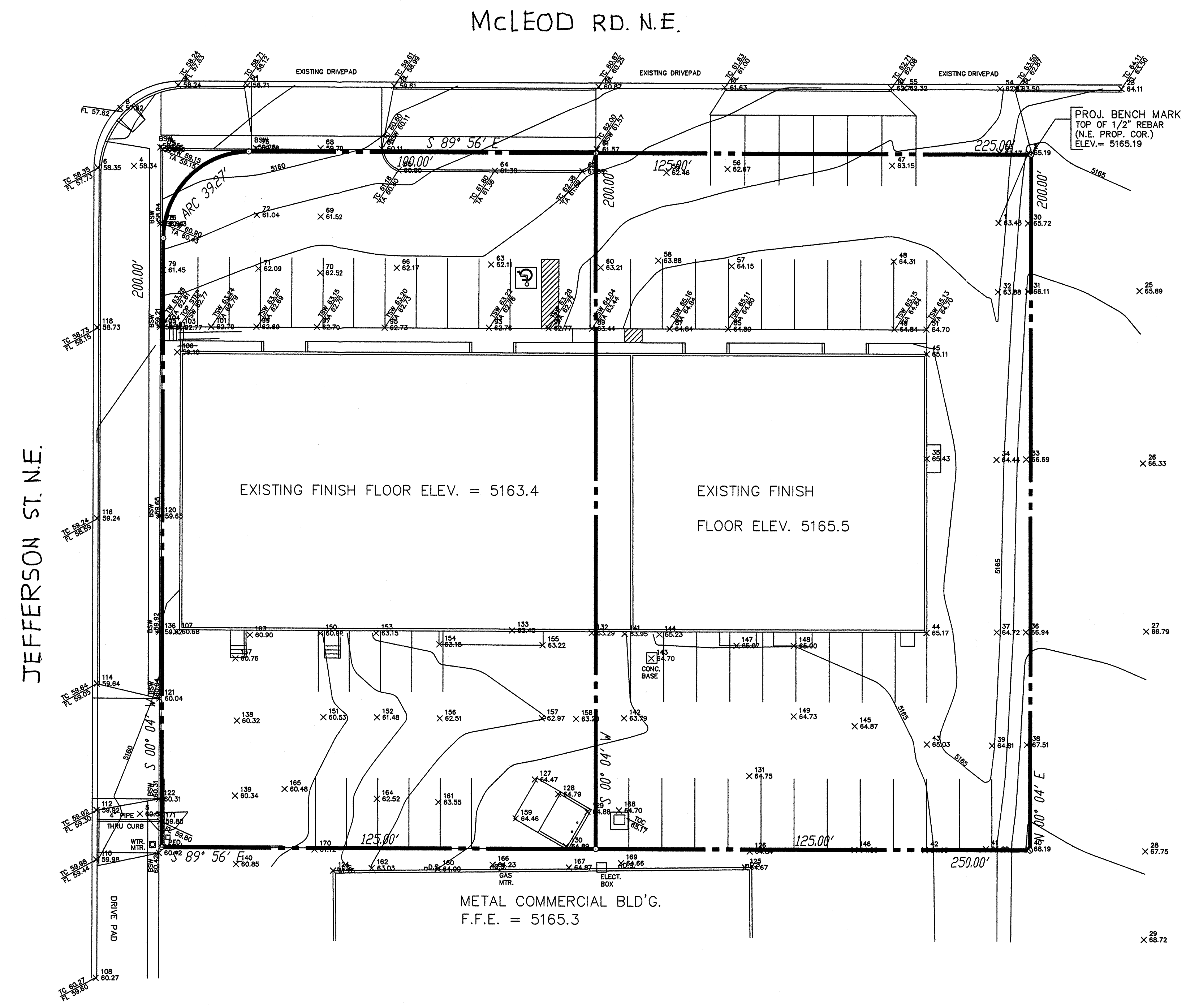
V100-1440 = (0.11) + (0.00)(2.75 - 2.35) / 12 = 0.106833 ac-ft = 4654 CF

V100-10day = (0.11) + (0.00)(3.95 - 2.35) / 12 = 0.106833 ac-ft = 4654 CF

PROPOSED PEAK DISCHARGE:

Q100 = (1.56)(0.00) + (2.28)(0.05) + (3.14)(1.10) + (4.70)(0.00) = 3.57 CFS

NO INCREASE IN FLOW RATE OR VOLUME



JEFFERSON ST. N.E.

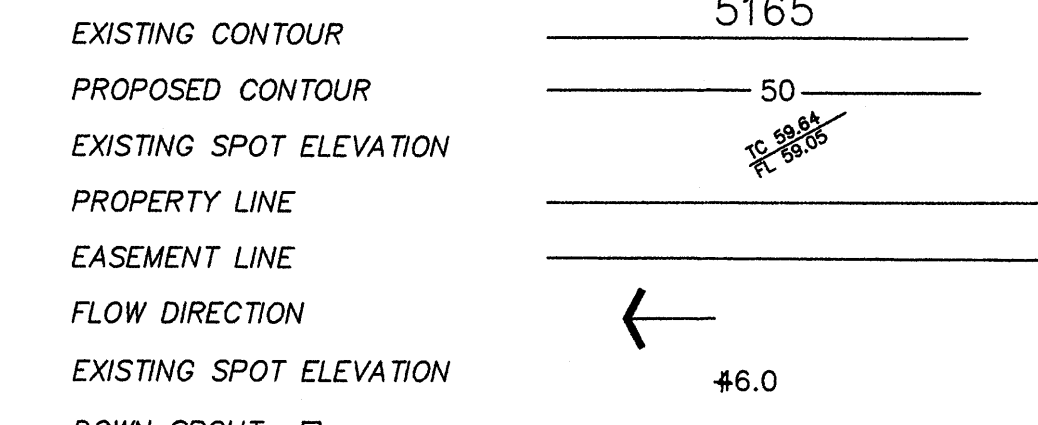
MCLEOD RD. N.E.

EXISTING FINISH FLOOR ELEV. = 5163.4

EXISTING FINISH FLOOR ELEV. 5165.5

METAL COMMERCIAL BLD'G.
F.F.E. = 5165.3

SYMBOL LEGEND

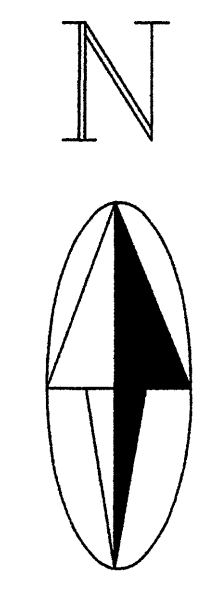
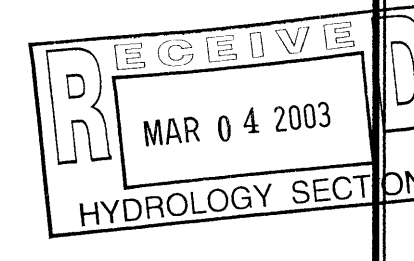


ABBREVIATION LEGEND

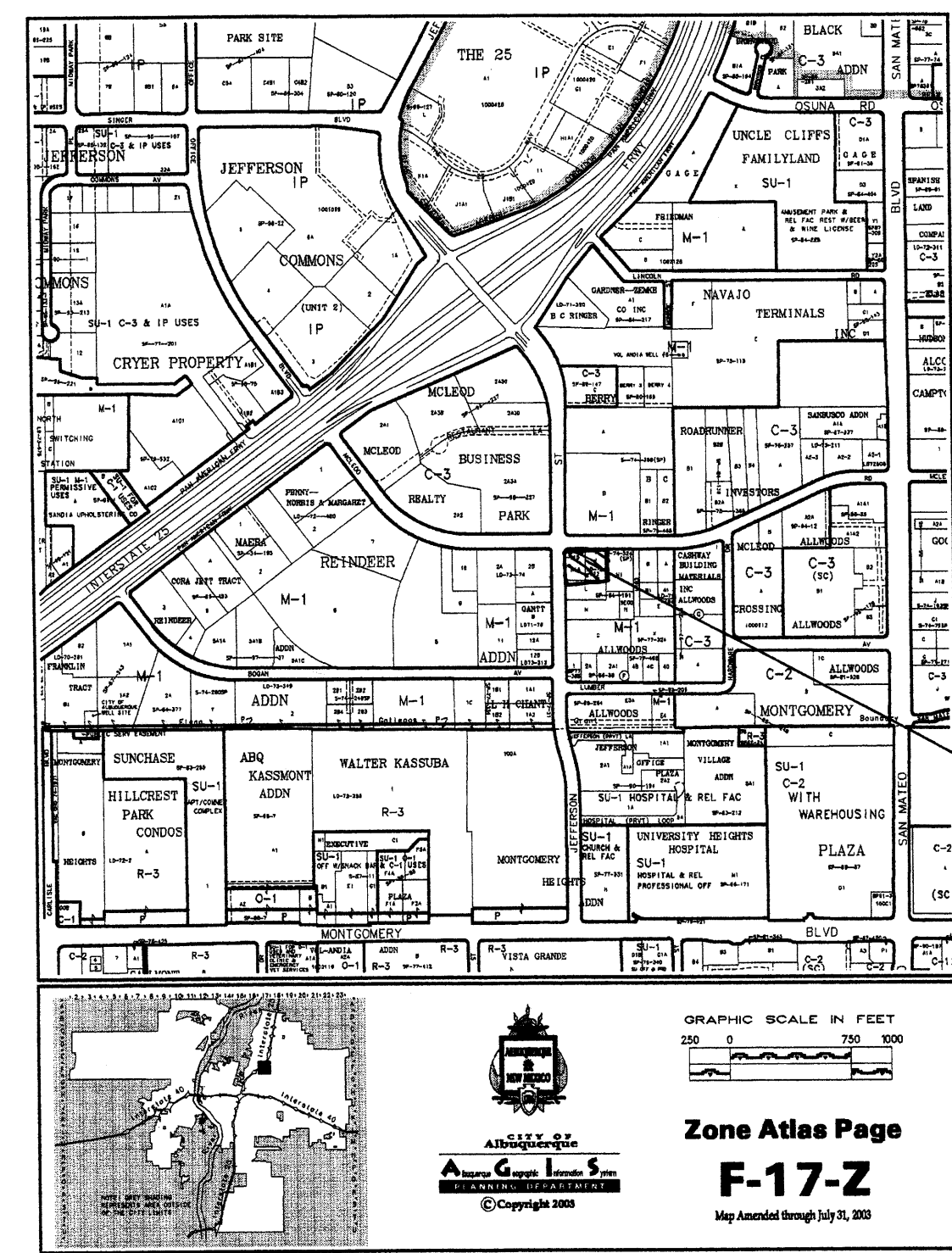
TOP OF CON. PAD	-	TCP
TOP OF CURB	-	TC
TOP OF ASPHALT	-	TA
FLOWLINE	-	FL
TOP OF WALL	-	TW

EROSION CONTROL MEASURES

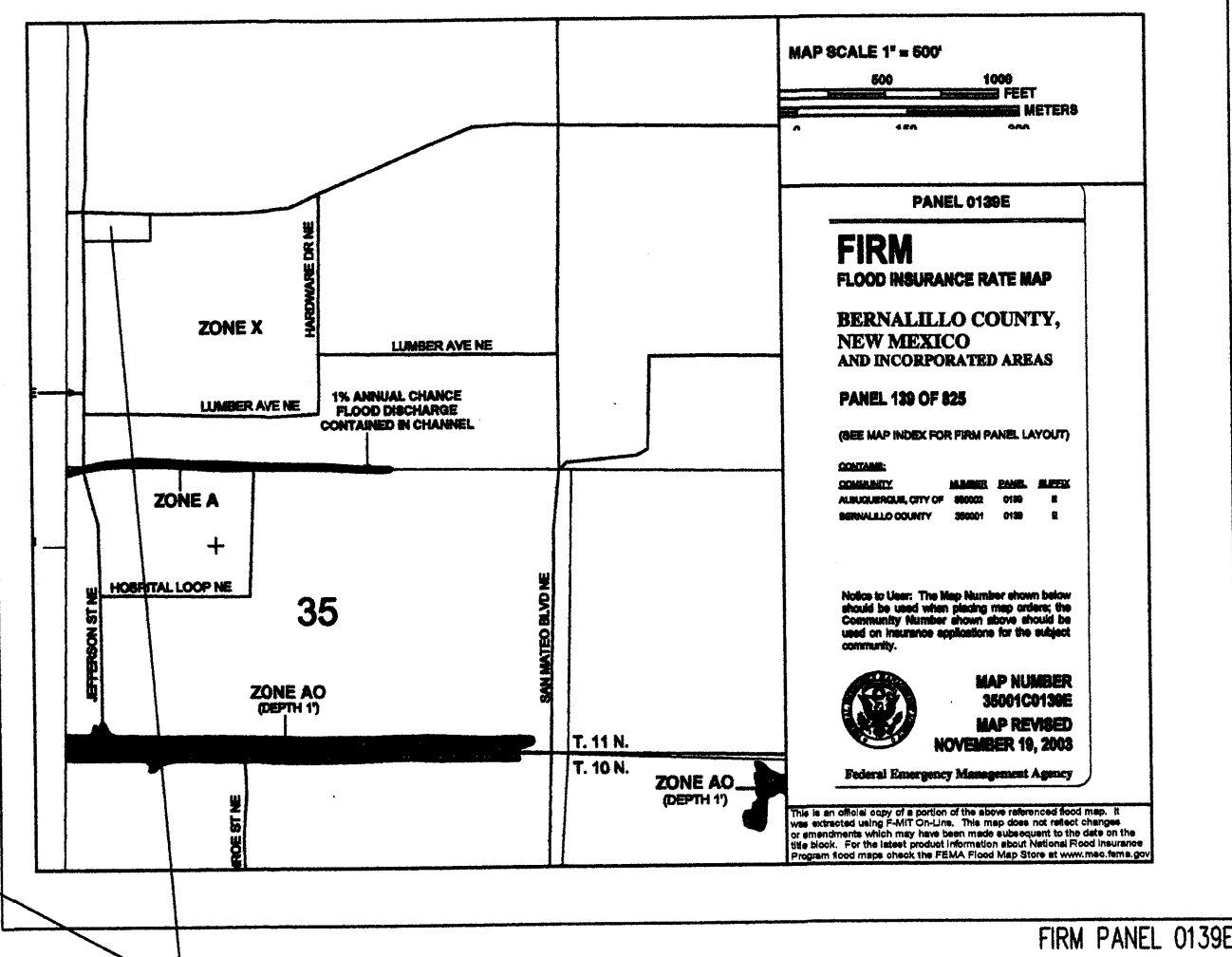
1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
 - A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



GRADING/DRAINAGE PLAN 1" = 20'



VICINITY MAP F-17



SITE LOCATION

FIRM PANEL 0139E

GRADING/PAVING PLAN

THE FOLLOWING ITEMS CONCERNING (4600 McLeod Blvd. N.E.) LOT 1A AND LOT 1 OF THE SECO SUBDIVISION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 1.1478 ACRES AND IS LOCATED AT THE SOUTHEAST QUADRANT OF THE INTERSECTION OF MCLEOD BLVD. N.E. & JEFFERSON STREET N.E. THE SITE IS COMPLETELY DEVELOPED WITH A 17,200 SQ. FT. BUILDING ALONG WITH PAVED PARKING AND ASSOCIATED LANDSCAPING. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0139E, DATED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/PAVING PLAN, THE PROJECT WILL CONSIST OF A NEW RETAINING WALL LOCATED ON THE EAST PROPERTY LINE ALONG WITH A SIDEWALK CULVERT LOCATED AT THE NORTHWEST CORNER OF THE SITE. THE EXISTING ASPHALT WILL BE REMOVED AND PLACED AT OR CLOSE TO THE EXISTING GRADES. THE RUN-OFF WILL BE ROUTED THROUGH THE EXISTING DRIVEPADS ON MCLEOD AND THROUGH THE PROPOSED 12" SIDEWALK CULVERT. THE SOUTH PORTION OF THE PROPERTY WILL DRAIN THROUGH AN EXISTING 4" PVC PIPE THROUGH THE CURB. ADDITIONAL LANDSCAPING HAS DECREASED THE RUN-OFF FROM THE ORIGINAL AMOUNT. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES OR SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME I, DESIGN CRITERIA DATED 1997 HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 1.1478 ac.
4600 MCLEOD BLVD. N.E. REPAVING PROJECT
ZONE 2
PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 in.	1.56 cfs/oc.
TREATMENT B 0.78 in.	2.28 cfs/oc.
TREATMENT C 1.13 in.	3.14 cfs/oc.
TREATMENT D 2.12 in.	4.70 cfs/oc.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A AREA 0 ac.	0 ac.
TREATMENT B AREA 0.034 ac.	0.0663 ac.
TREATMENT C AREA 0 ac.	0 ac.
TREATMENT D AREA 1.11 ac.	1.082 ac.

EXISTING EXCESS PRECIPITATION:
Weighted E = (0.53)(0.00) + (0.78)(0.03) + (1.13)(0.00) + (2.12)(1.11) / 1.15 ac.
= 2.07 in.
V100-360 = (2.07)(1.15) / 12 = 0.198310 ac-ft = 8638 CF

EXISTING PEAK DISCHARGE:
Q100 = (1.56)(0.00) + (2.28)(0.03) + (3.14)(0.00) + (4.70)(1.11) = 5.29 CFS

PROPOSED EXCESS PRECIPITATION:
Weighted E = (0.53)(0.00) + (0.78)(0.07) + (1.13)(0.00) + (2.12)(1.08) / 1.15 ac.
= 2.04 in.
V100-360 = (2.04)(1.15) / 12.0 = 0.195463 ac-ft = 8514 CF

V100-1440 = (0.20)(1.08) + (2.75 - 2.35) / 12 = 0.231530 ac-ft = 10085 CF

V100-today = (0.20)(1.08)(3.95 - 2.35) / 12 = 0.339730 ac-ft = 14799 CF

PROPOSED PEAK DISCHARGE:
Q100 = (1.56)(0.00) + (2.28)(0.07) + (3.14)(0.00) + (4.70)(1.08) = 5.09 CFS

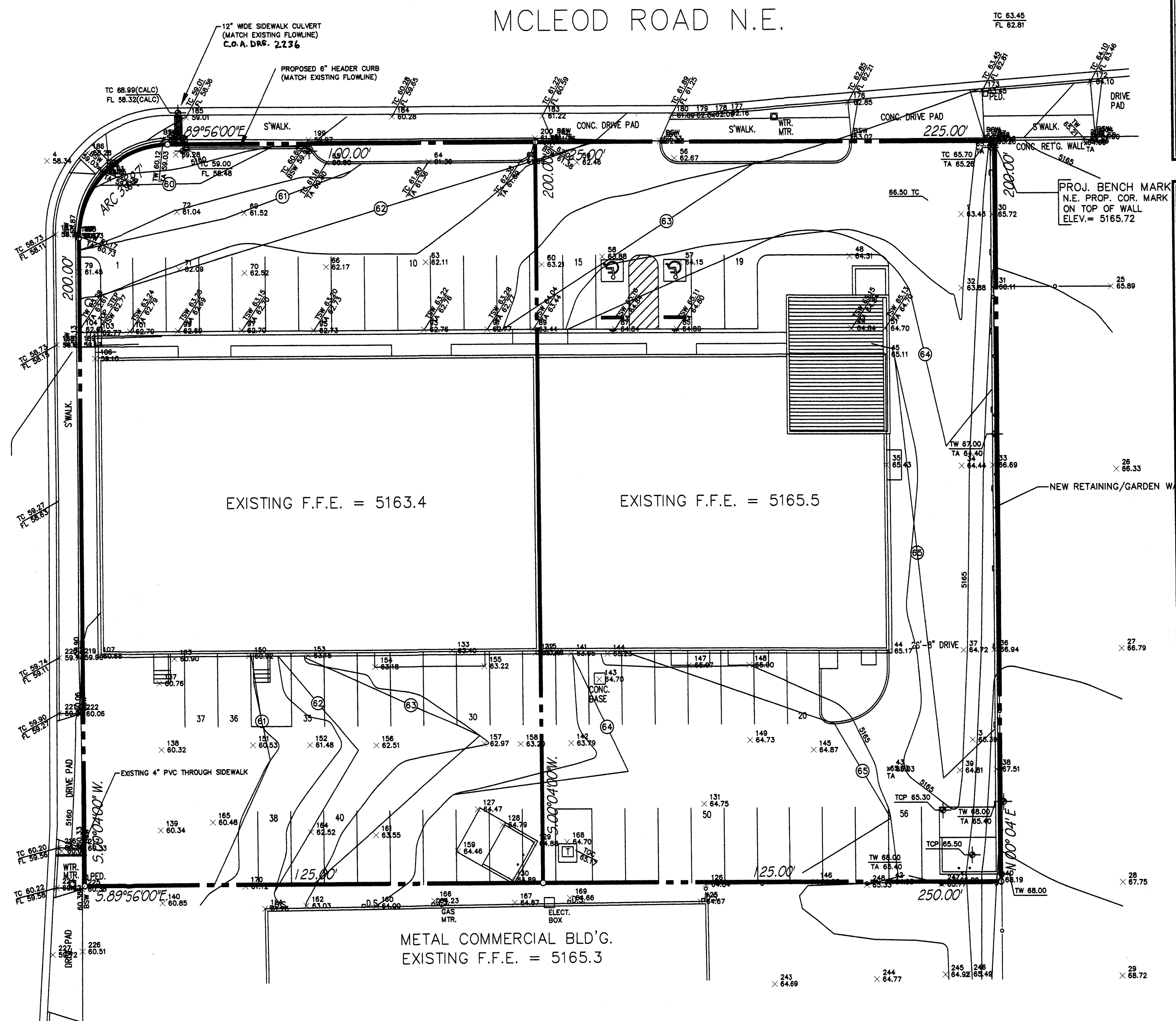
DECREASE 5.09 CFS - 5.29 CFS = -0.20 CFS

APPROVAL	NAME	DATE	TITLE:
INSPECTOR			4600 MCLEOD BLVD. N.E. MAP NUMBER: F17

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
 - ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

JEFFERSON STREET N.E.



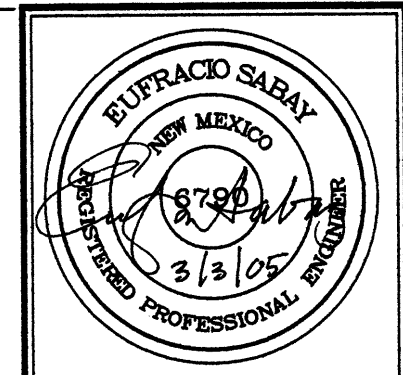
- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
- Two working days prior to any excavation, contractor must contact line locating Services for locating existing utilities, (260-1990).
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to Commercial use.
- All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
- Maintenance of this facilities shall be the responsibility of the owner of the property served.

SYMBOL LEGEND

EXISTING CONTOUR	5165
PROPOSED CONTOUR	50
EXISTING SPOT ELEVATION	5165
PROPERTY LINE	---
EASEMENT LINE	---
FLOW DIRECTION	←
NEW SPOT ELEVATION	+
DOWN SPOUT	□

ABBREVIATION LEGEND

TOP OF CON. PAD	- TCP
TOP OF CURB	- TC
TOP OF ASPHALT	- TA
FLOWLINE	- FL
TOP OF WALL	- TW



JOB NO:	
DATE:	FEBRUARY 2005
REVISIONS	

Sheet Title
GRADING/PAVING PLAN
Drawn By: BJM & HTH Checked By:

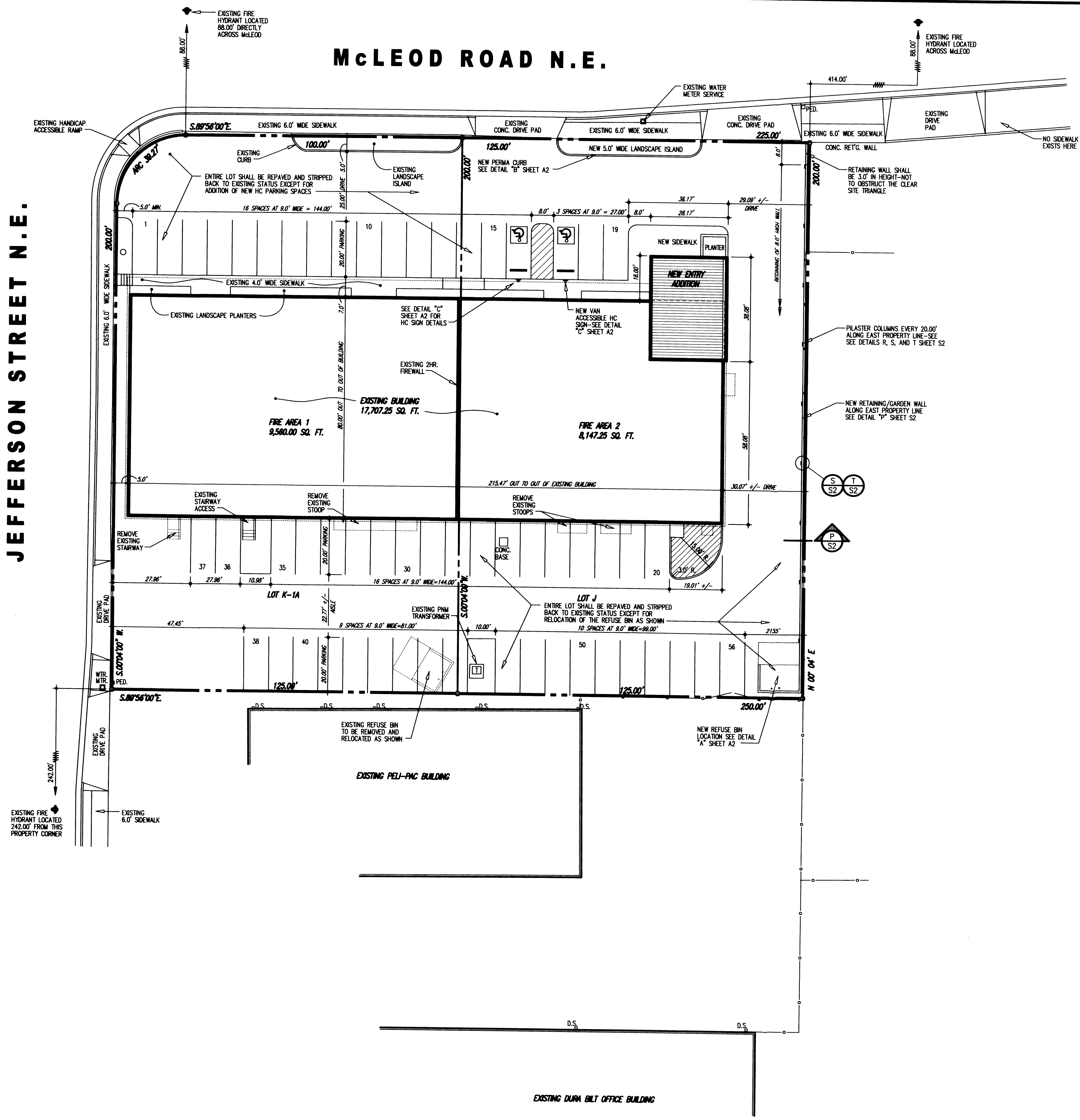
Albuquerque, New Mexico

Project Name
4600 MCLEOD N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.
GP

JEFFERSON STREET N.E.

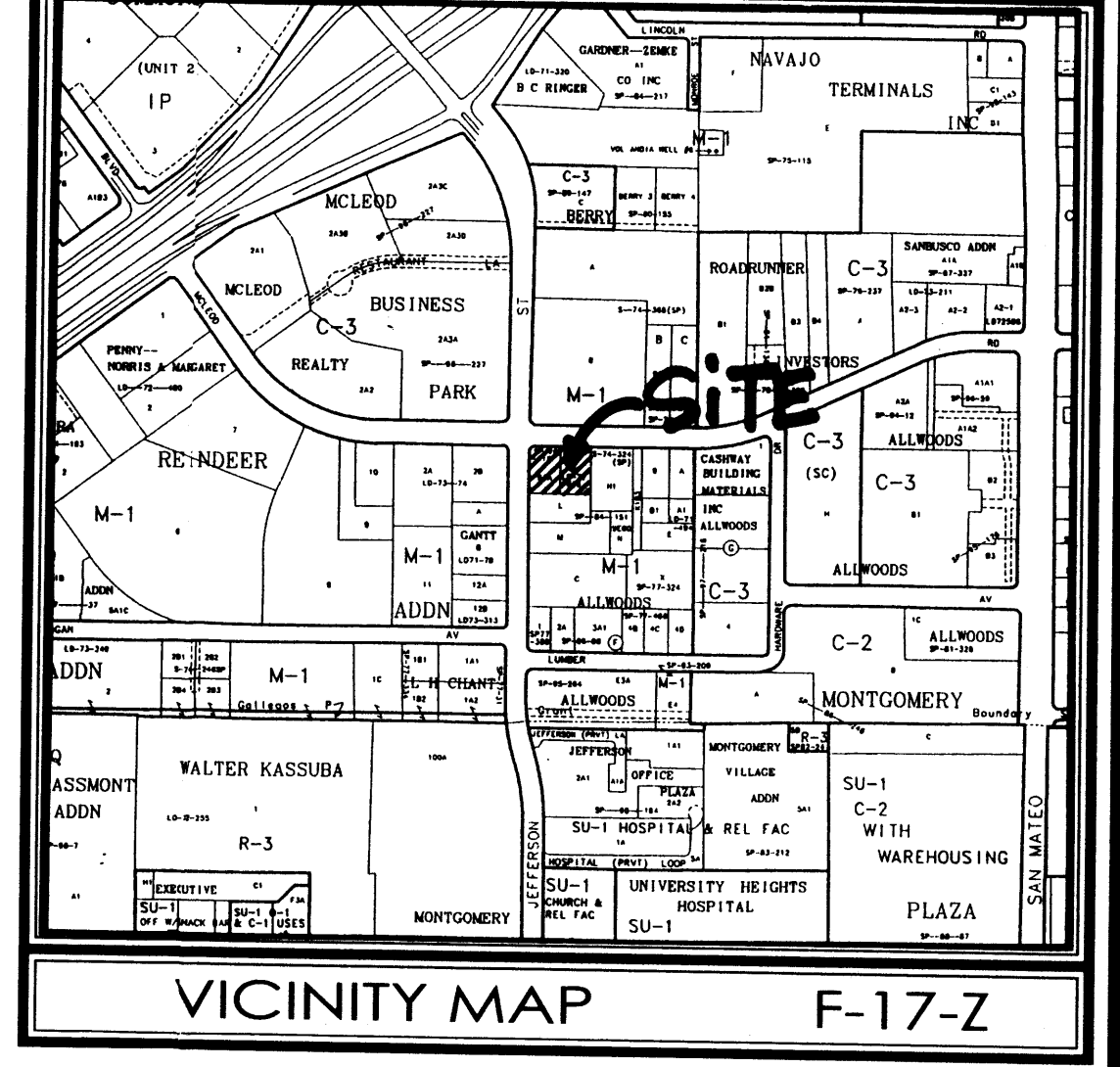
McLEOD ROAD N.E.



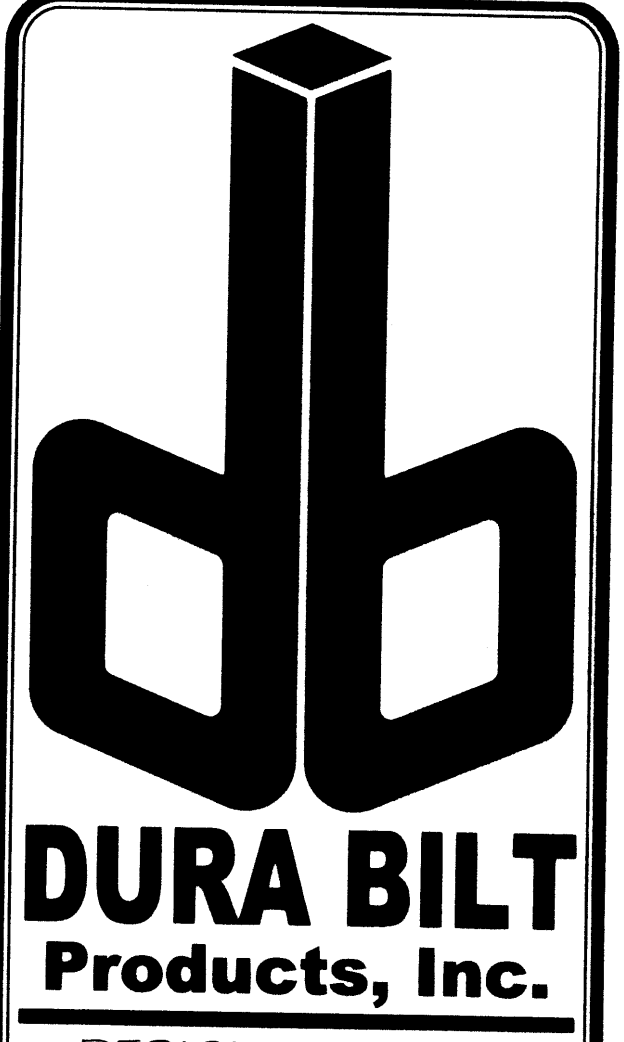
SITE PLAN
1" = 20.00'



SHT. NO.	DESCRIPTION
A1	SITE PLAN, INDEX, LOCATION MAP
A2	PERMIT DATA, SITE DETAILS
C1	DRAINAGE PLAN, DETAILS, NOTES
L1	LANDSCAPE PLAN, DETAILS, NOTES
S1	FOUNDATION PLAN, FOOTING SCHED., NOTES
S2	CONCRETE DETAILS
S3	WALL FRAMING PLAN, FRAMING DETAILS
S4	ROOF FRAMING PLAN, FRAMING DETAILS
A3	FLOOR PLAN, DETAILS
A4	R.R. & SHOWER RM. DETAILS, CABINET DETAILS
A5	SCHEDULES, DETAILS
A6	BUILDING ELEVATIONS, ELEVATION NOTES
A7	CROSS SECTIONS, WALL SECTIONS, NOTES
P1	WASTE PLUMBING PLAN, RISER DIAGRAM
P2	WATER AND GAS PIPING PLAN, NOTES
M1	MECHANICAL PLAN, SCHEDULES, NOTES
E1	POWER PLAN
E2	LIGHTING PLAN
E3	POWER RISER DIAGRAM, CALCS., NOTES



TOTAL PARKING PROVIDED = 56 SPACES

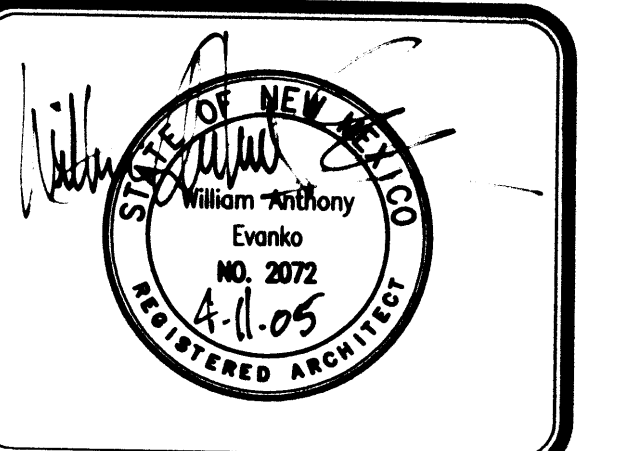


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4808 JEFFERSON N.E.
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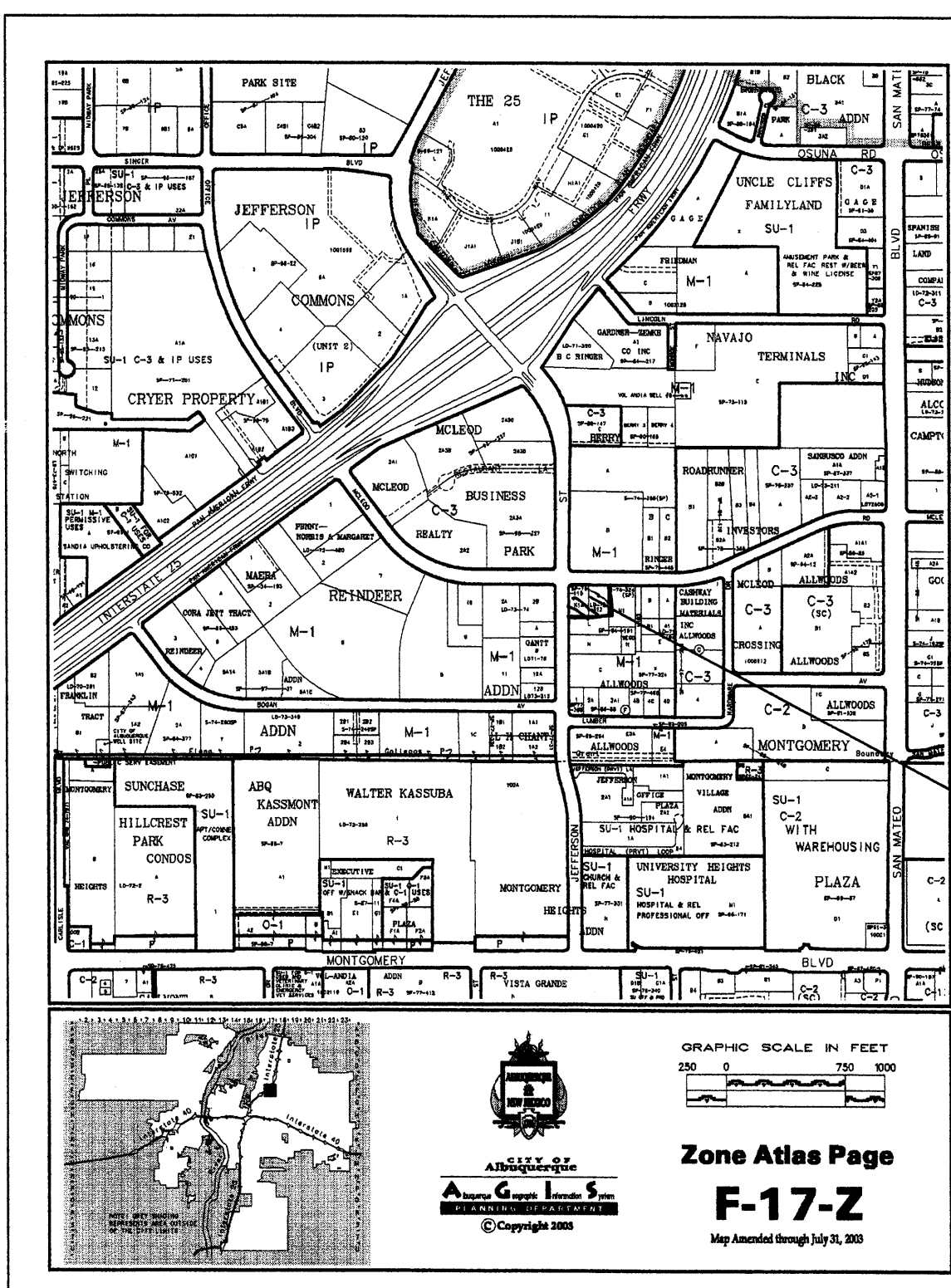
DATE: January 17, 2005
PLOT DATE: April 7, 2005
REVISIONS:
▲ 1
▲ 2
▲ 3
▲ 4
FILE: JS15HAI.DWG

PROPOSED REMODEL FOR
JSI
4600 McLEOD ROAD N.E.
ALBUQUERQUE, NEW MEXICO 87109

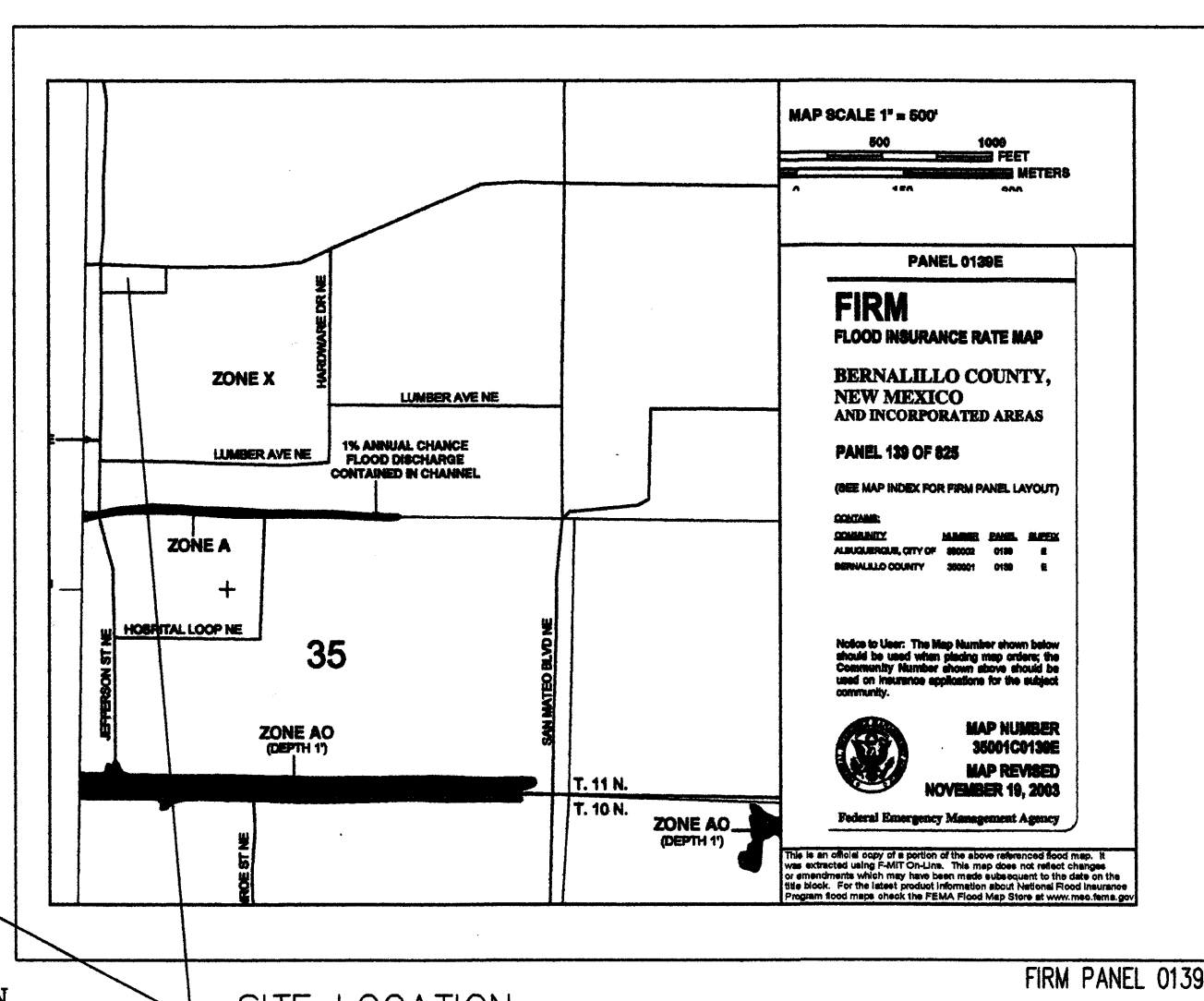


SITE PLAN, INDEX, VICINITY MAP
SHEET NO.
A1
JOB NO. : 05-104 OF 7

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



Zone Atlas Page F-17-Z



SITE LOCATION

FIRM PANEL 0139E

GRADING/PAVING PLAN

THE FOLLOWING ITEMS CONCERNING (4600 McLeod Blvd. N.E.) LOT KIA AND LOT L OF THE SEGO SUBDIVISION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 1.1478 ACRES AND IS LOCATED AT THE SOUTHEAST QUADRANT OF THE INTERSECTION OF MCLEOD BLVD. N.E. & JEFFERSON STREET N.E. THE SITE IS COMPLETELY DEVELOPED WITH A 17,200 SQ. FT. BUILDING ALONG WITH PAVED PARKING AND ASSOCIATED LANDSCAPING. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0139E, DATED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/PAVING PLAN, THE PROJECT WILL CONSIST OF A NEW RETAINING WALL LOCATED ON THE EAST PROPERTY LINE ALONG WITH A SIDEWALK CULVERT LOCATED AT THE NORTHWEST CORNER OF THE SITE. THE EXISTING ASPHALT WILL BE REMOVED AND PLACED AT OR CLOSE TO THE EXISTING GRADES. THE RUN-OFF WILL BE ROUTED THROUGH THE EXISTING DRIVEPADS ON MCLEOD AND THROUGH THE PROPOSED 12" SIDEWALK CULVERT. THE SOUTH PORTION OF THE PROPERTY WILL DRAIN THROUGH AN EXISTING 4" PVC PIPE THROUGH THE CURB. ADDITIONAL LANDSCAPING HAS DECREASED THE RUN-OFF FROM THE ORIGINAL AMOUNT. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40+ ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II DESIGN CRITERIA DATED 1997 HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 1.1478 ac.
 4600 MCLEOD BLVD. N.E. REPAVING PROJECT
 ZONE 2
 PRECIPITATION: 360 = 2.35 in.
 1440 = 2.75 in.
 10day = 3.95 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 in.	1.56 cfs/oc.
TREATMENT B 0.78 in.	2.28 cfs/oc.
TREATMENT C 1.13 in.	3.14 cfs/oc.
TREATMENT D 2.12 in.	4.70 cfs/oc.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A AREA 0.00 ac.	0.00 ac.
TREATMENT B AREA 0.034 ac.	0.063 ac.
TREATMENT C AREA 0.00 ac.	0.00 ac.
TREATMENT D AREA 1.11 ac.	1.082 ac.

EXISTING EXCESS PRECIPITATION:
 Weighted E = (0.53)(0.00) + (0.78)(0.03) + (1.13)(0.00) + (2.12)(1.11) / 1.15 ac.
 = 2.04 in.
 V100-360 = (2.04)(1.15) / 12.0 = 0.198310 ac-ft = 8638 CF

EXISTING PEAK DISCHARGE:
 Q100 = (1.56)(0.00) + (2.28)(0.03) + (3.14)(0.00) + (4.70)(1.11) = 5.29 CFS /

PROPOSED EXCESS PRECIPITATION:
 Weighted E = (0.53)(0.00) + (0.78)(0.07) + (1.13)(0.00) + (2.12)(1.08) / 1.15 ac.
 = 2.04 in.
 V100-360 = (2.04)(1.15) / 12.0 = 0.195463 ac-ft = 8514 CF

V100-1440 = (0.20)(1.08) + (2.75 - 2.35) / 12 = 0.231530 ac-ft = 10085 CF

V100-10day = (0.20)(1.08) + (3.95 - 2.35) / 12 = 0.339730 ac-ft = 14789 CF

PROPOSED PEAK DISCHARGE:
 Q100 = (1.56)(0.00) + (2.28)(0.07) + (3.14)(0.00) + (4.70)(1.08) = 5.09 CFS

DECREASE 5.09 CFS - 5.29 CFS = -0.20 CFS /

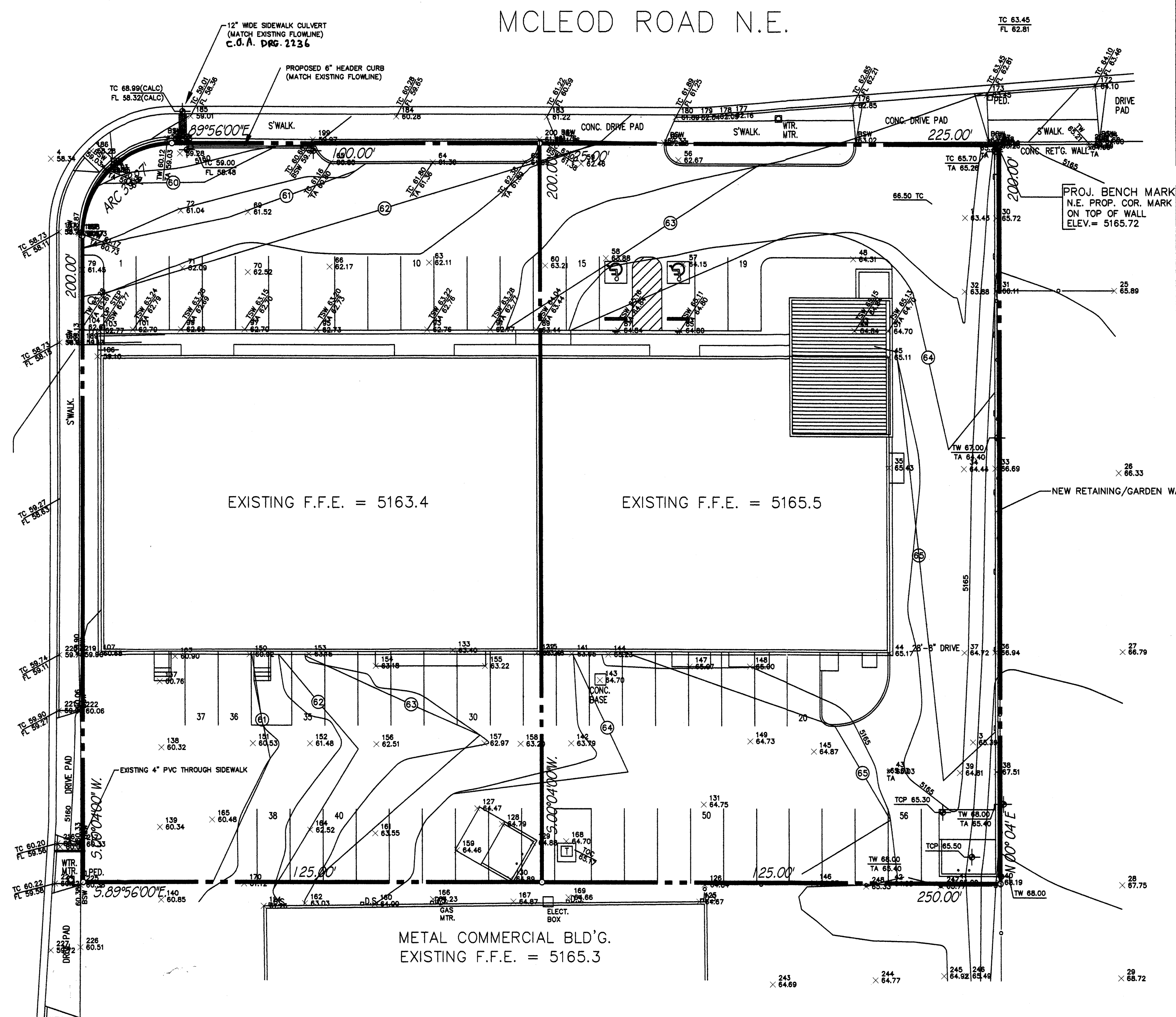
APPROVAL	NAME	DATE	TITLE:
INSPECTOR			4600 MCLEOD BLVD. N.E. MAP NUMBER: F17

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

JEFFERSON STREET N.E.



MCLEOD ROAD N.E.

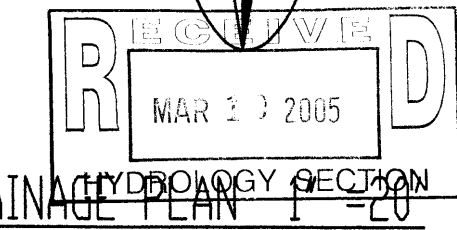
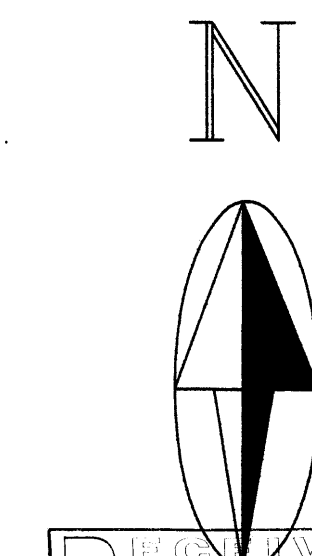
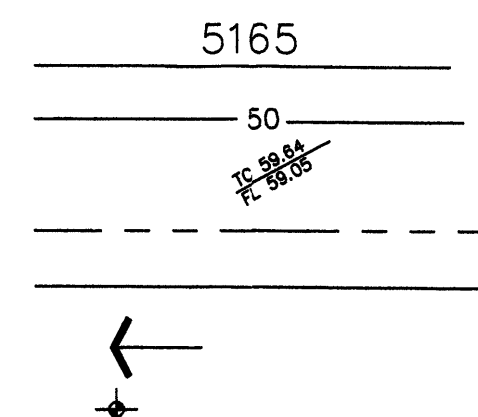
METAL COMMERCIAL BLD'G.
EXISTING F.F.E. = 5165.3

SYMBOL LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPERTY LINE
- EASEMENT LINE
- FLOW DIRECTION
- NEW SPOT ELEVATION
- DOWN SPOUT □

ABBREVIATION LEGEND

- TOP OF CON. PAD - TCP
- TOP OF CURB - TC
- TOP OF ASPHALT - TA
- FLOWLINE - FL
- TOP OF WALL - TW



GRADING/DRAINAGE PLAN



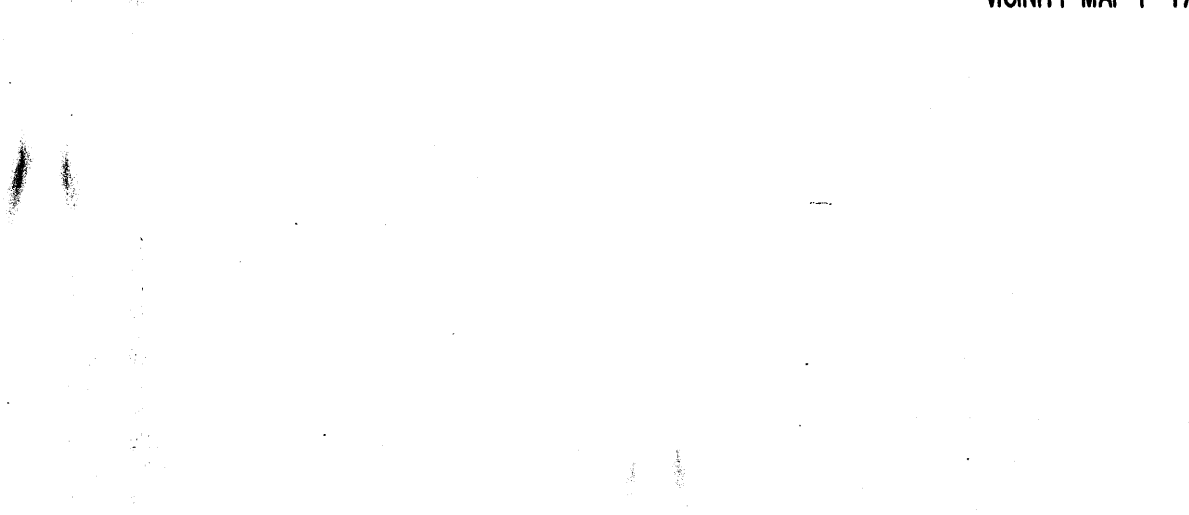
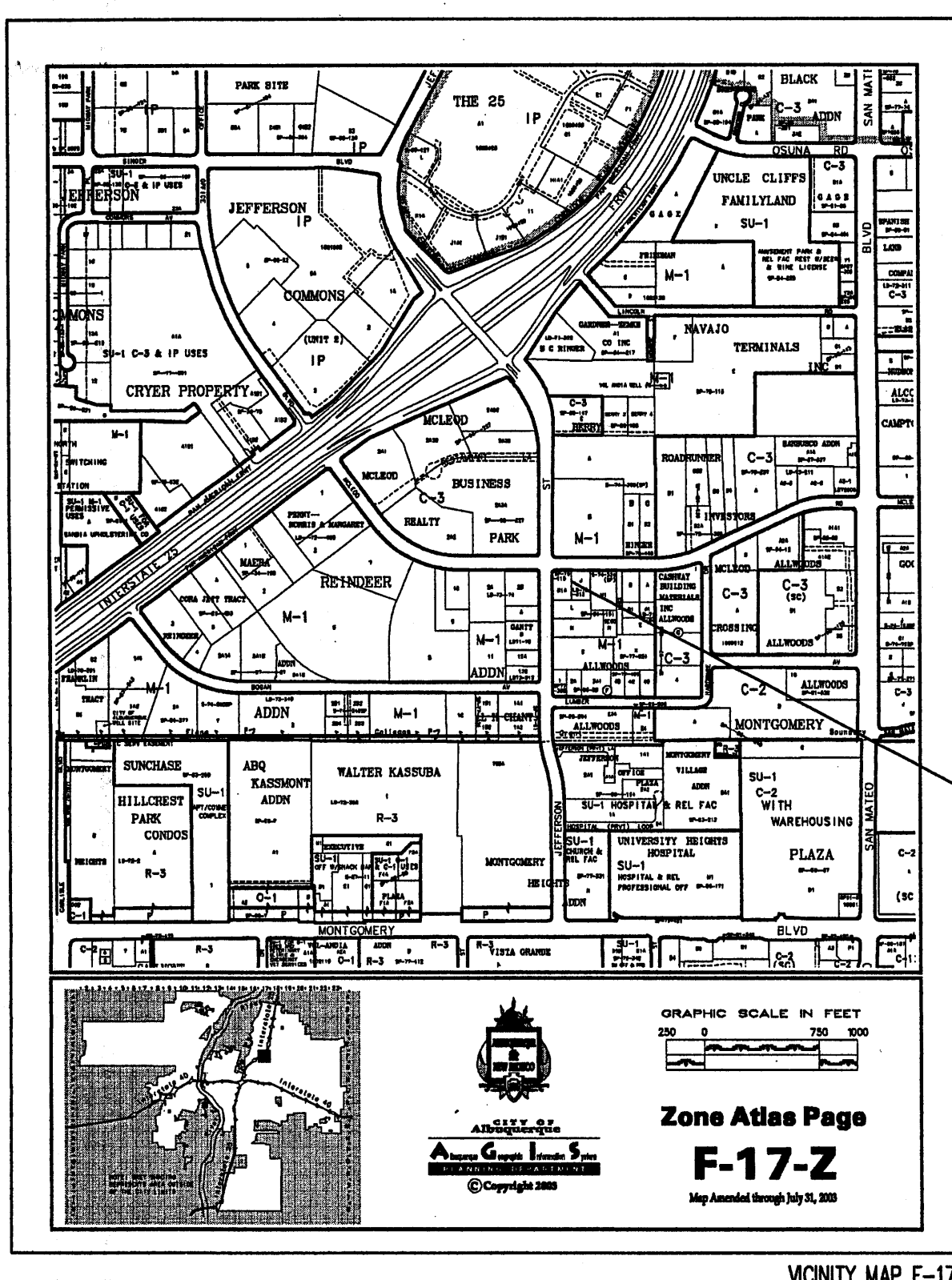
JOB NO:	
DATE:	FEBRUARY 2005
REVISIONS:	

Sheet Title
GRADING/PAVING PLAN
 Drawn By: BJM & HTH Checked By:

Albuquerque, New Mexico

Project Name
 4600 MCLEOD N.E.
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
 GP



GRADING/PAVING PLAN

THE FOLLOWING ITEMS CONCERNING (4600 McLeod Blvd, N.E.) LOT K1A AND LOT J OF THE SEGO SUBDIVISION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 1.1478 ACRES AND IS LOCATED AT THE SOUTHEAST QUADRANT OF THE INTERSECTION OF MCLEOD BLVD. N.E. & JEFFERSON STREET N.E. THE SITE IS COMPLETELY DEVELOPED WITH A 17,200 SQ. FT. BUILDING ALONG WITH PAVED PARKING AND ASSOCIATED LANDSCAPING. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0139E, DATED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/PAVING PLAN, THE PROJECT WILL CONSIST OF A NEW RETAINING WALL LOCATED ON THE EAST PROPERTY LINE ALONG WITH A SIDEWALK CULVERT LOCATED AT THE NORTHWEST CORNER OF THE SITE. THE EXISTING ASPHALT WILL BE REMOVED AND PLACED AT OR CLOSE TO THE EXISTING GRADES. THE RUN-OFF WILL BE ROUTED THROUGH THE EXISTING DRIVEPADS ON MCLEOD AND THROUGH THE PROPOSED 12" SIDEWALK CULVERT. THE SOUTH PORTION OF THE PROPERTY WILL DRAIN THROUGH AN EXISTING 4" PVC PIPE THROUGH THE CURB. ADDITIONAL LANDSCAPING HAS DECREASED THE RUN-OFF FROM THE ORIGINAL AMOUNT. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, DESIGN CRITERIA DATED 1997 HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 1.1478 ac.
 4600 MCLEOD BLVD. N.E. REPAVING PROJECT
 ZONE 2
 PRECIPITATION: 360 = 2.35 in.
 1440 = 2.75 in.
 10day = 3.95 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.53 in.	1.58 cfs/oc.
TREATMENT B	0.78 in.	2.28 cfs/oc.
TREATMENT C	1.13 in.	3.14 cfs/oc.
TREATMENT D	2.12 in.	4.70 cfs/oc.

EXISTING CONDITIONS: PROPOSED CONDITIONS:

TREATMENT A	0 ac.	0 ac.
TREATMENT B	0.034 ac.	0.0663 ac.
TREATMENT C	0 ac.	0 ac.
TREATMENT D	1.11 ac.	1.082 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.03) + (1.13)(0.00) + (2.12)(1.11) / 1.15 ac.
 = 2.07 in.
 V100-360 = (2.07)(1.15) / 12 = 0.198310 ac-ft = 8638 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.58)(0.00) + (2.28)(0.03) + (3.14)(0.00) + (4.70)(1.11) = 5.29 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.07) + (1.13)(0.00) + (2.12)(1.08) / 1.15 ac.
 = 2.04 in.
 V100-360 = (2.04)(1.15) / 12.0 = 0.195463 ac-ft = 8514 CF

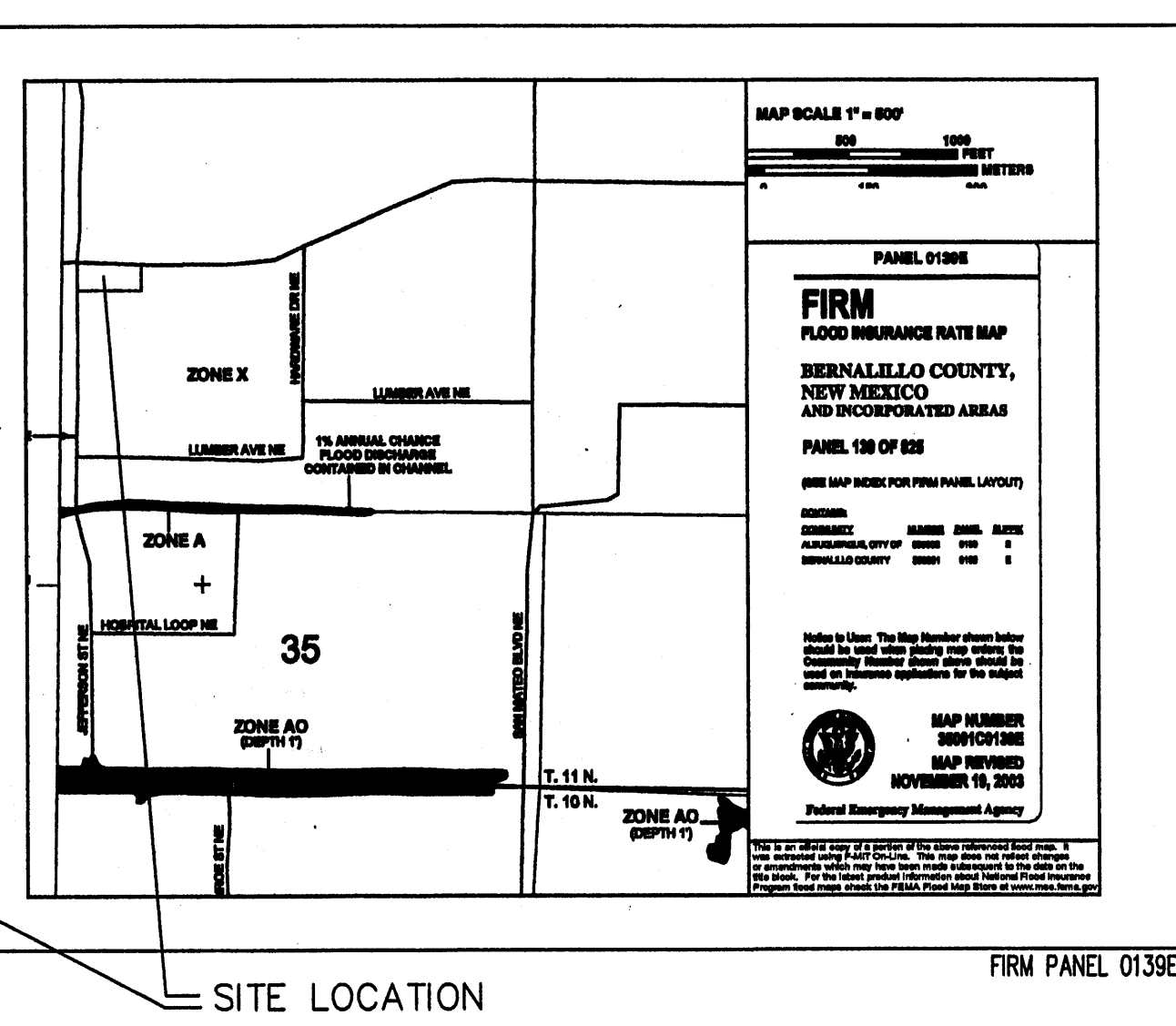
V100-1440 = (2.04)(1.08) + (2.75 - 2.35) / 12 = 0.231530 ac-ft = 10085 CF

V100-10day = (0.20)(1.08) + (3.95 - 2.35) / 12 = 0.339730 ac-ft = 14799 CF

PROPOSED PEAK DISCHARGE:

Q100 = (1.58)(0.00) + (2.28)(0.07) + (3.14)(0.00) + (4.70)(1.08) = 5.09 CFS

DECREASE 5.09 CFS - 5.29 CFS = -0.20 CFS



ENGINEER CERTIFICATION

I EUFFRACIO SEBAY NMPE # 6790, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 03/03/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST ON MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OCCUPANCY.

AS-BUILT DESIGNATION

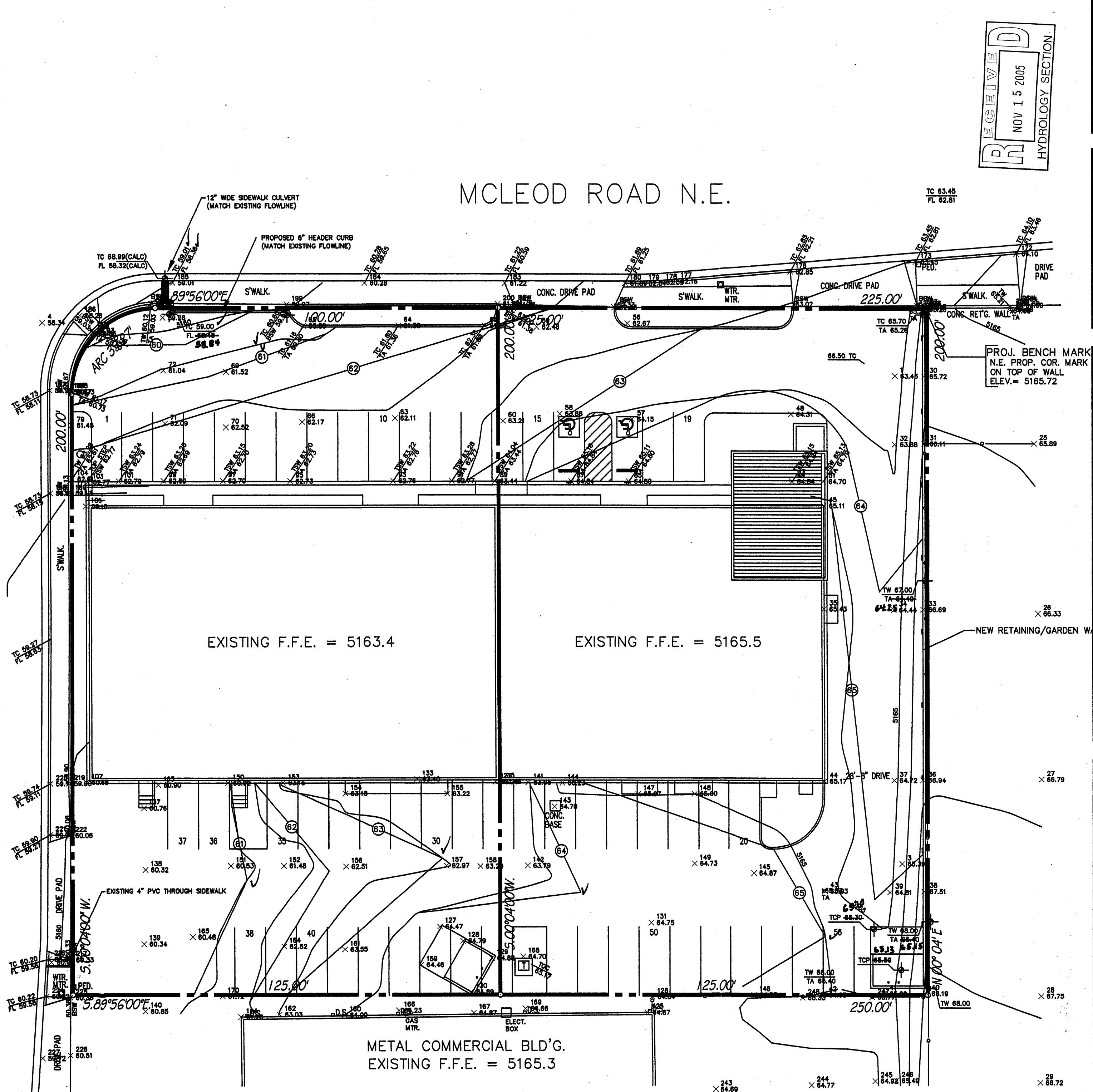
56.65
56.50
OR
56.50

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
 - ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

APPROVAL

APPROVAL	NAME	DATE	TITLE
INSPECTOR			4600 MCLEOD BLVD. N.E. MAP NUMBER: F17



SYMBOL LEGEND

EXISTING CONTOUR	5165
PROPOSED CONTOUR	50
EXISTING SPOT ELEVATION	56.65
PROPERTY LINE	---
EASEMENT LINE	---
FLOW DIRECTION	←
NEW SPOT ELEVATION	+
DOWN SLOPE	□

ABBREVIATION LEGEND

TOP OF CON. PAD	- TCP
TOP OF CURB	- TC
TOP OF ASPHALT FLOWLINE	- TA
TOP OF WALL	- FL
	- TW



JOB NO:
 DATE: FEBRUARY 2005
 REVISIONS

Sheet Title
GRADING/PAVING PLAN
 Drawn By: BJM & HTH Checked By:

Albuquerque, New Mexico

Project Name
 4600 MCLEOD N.E.
 ALBUQUERQUE, NEW MEXICO

SHEET NO.
 GP

GRADING/DRAINAGE PLAN 1" = 20'