

# CITY OF ALBUQUERQUE



February 23, 2018

Jeffery Wooten, P.E.  
Wooten Engineering  
1005 21<sup>st</sup> St SE, Suite A5  
Rio Rancho, NM 87124

RE: **4936 Pan American**  
**Grading and Drainage Plan**  
**Onsite Engineer's Stamp Date: 2/20/2018**  
**Hydrology File: F17D032**

Dear Mr. Wooten:

Based upon the information provided in your submittal received 2/23/18, the Grading and Drainage Plan is approved for Building Permit.

PO Box 1293

Prior to Certificate of Occupancy:

Albuquerque

1. The Drainage Covenants must be recorded with Bernalillo County and a copy included with the drainage certification.
2. Payment of Fee-in-Lieu will be required for any first flush required ponding areas not constructed and certified.

NM 87103

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

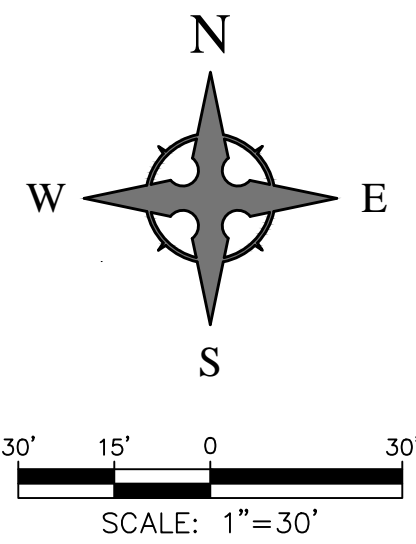
- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





CAUTION - NOTICE TO CONTRACTOR

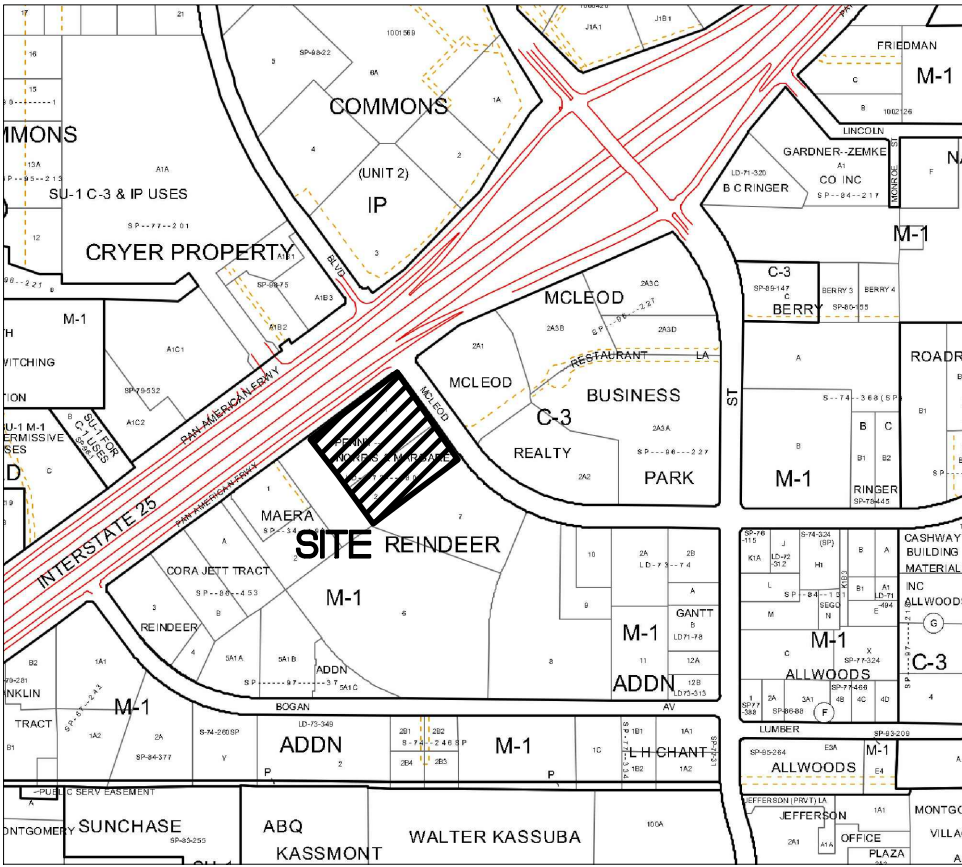
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTE:  
ALL WORK WITHIN THE I-25 FRONTAGE ROAD RIGHT-OF-WAY IS TO BE PERMITTED SEPARATELY THROUGH THE NMDOT.

LEGEND

- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION
- FGH83.40 FINISHED GRADE AT TOP OF WALL
- FGL83.40 FINISHED GRADE AT BOTTOM OF WALL
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN

NOTE:  
ALL WORK WITHIN THE McLEOD RIGHT-OF-WAY IS TO BE PERMITTED SEPARATELY THROUGH THE CITY OF ALBUQUERQUE.

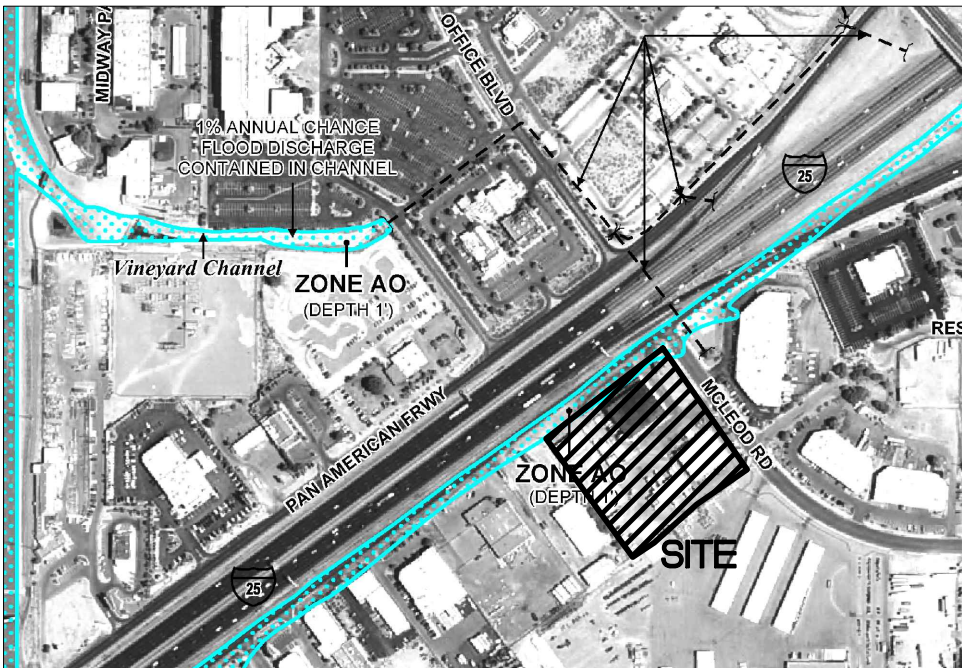


VICINITY MAP - Zone Map F-17-2

Legal Description: Lots Numbered One (1) and Two (2) of the Norris and Margaret Penny Addition

BENCHMARK:

ACS MONUMENT '125-18', NAD 1983, X=1535672.415, Y=1505666.336, Z=5128.34 (NAVD 1988), GROUND TO GRID = 0.999671141

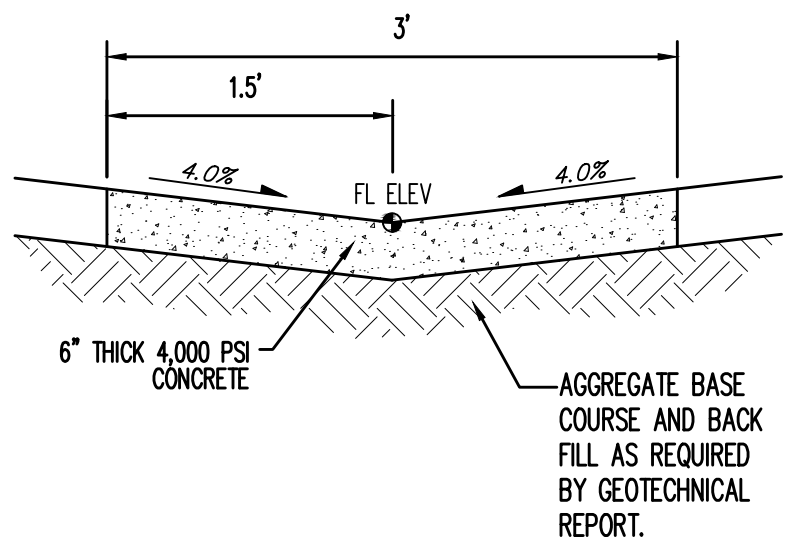


FIRM MAP 35001C0188H

Per FIRM Map 35001C0188H, dated August 16, 2012, the northern portion of the site along the 125 Frontage Rd is located in Zone 'AO' (Depth 1'). The remainder of the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE, CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



Valley Gutter Detail

NTS



Wooten Engineering  
1005 21st St SE, Suite 13  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560

| REV | DATE | BY | REVISION |
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**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

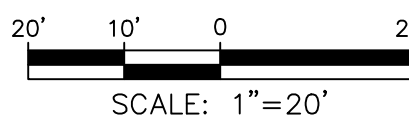


2/20/2018

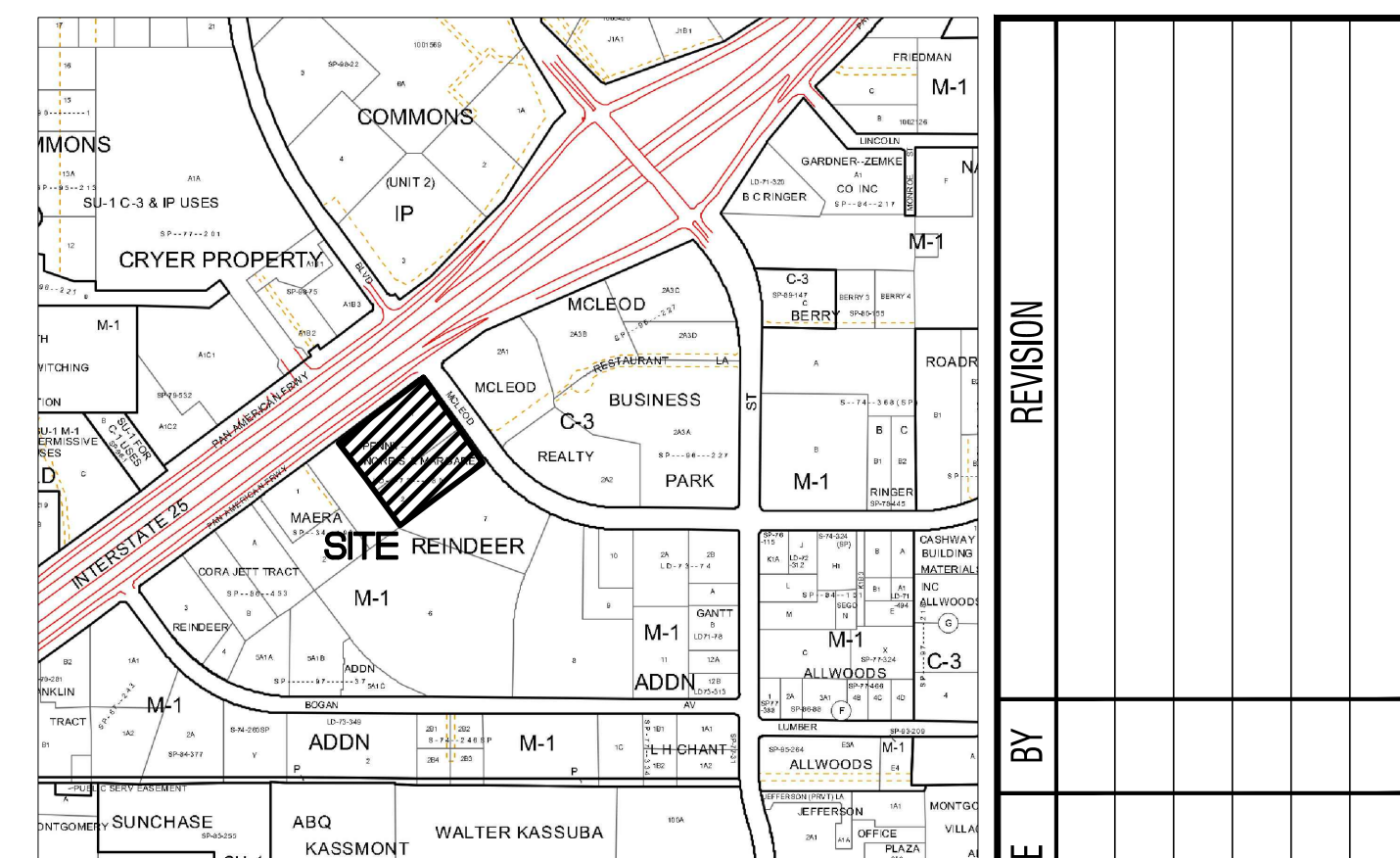
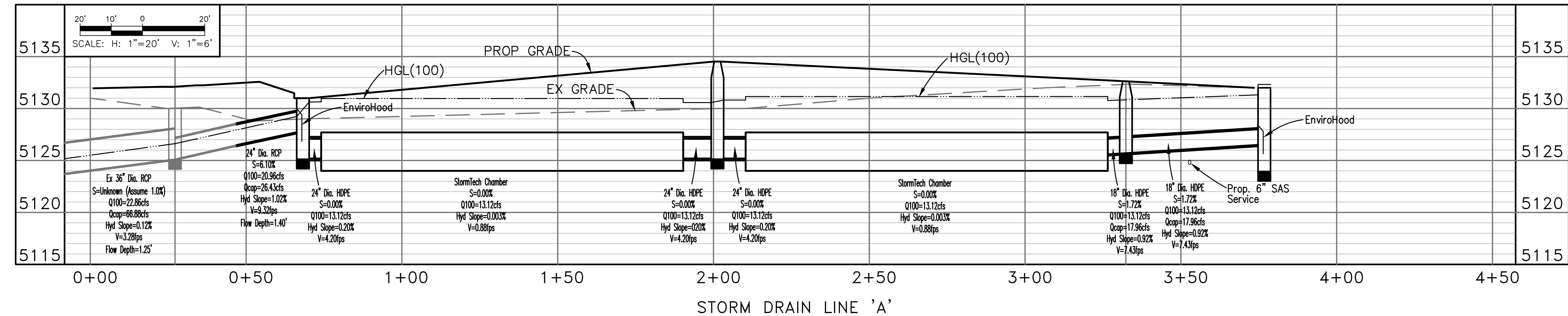
|                 |                               |             |               |
|-----------------|-------------------------------|-------------|---------------|
| PROJECT TITLE   | 4936 PAN AMERICAN FRWY NE     | DRAWN BY:   | OLIVIA WOOTEN |
| MCLEOD AND 125  | ALBUQUERQUE, NEW MEXICO 87120 | JOB NO.     | 2017018       |
| PROJECT MANAGER | JEFF WOOTEN                   | SHEET TITLE | Grading Plan  |

|       |           |       |   |
|-------|-----------|-------|---|
| DATE  | 2/20/2018 | SHEET | 1 |
| SCALE | AS NOTED  | OF    | 2 |

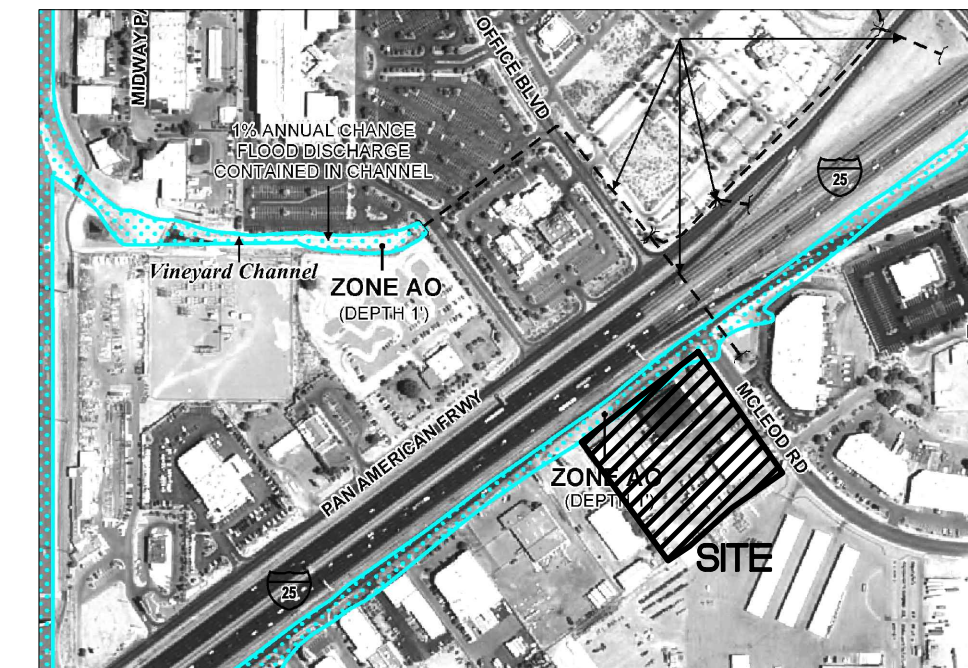




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**VICINITY MAP - Zone Map F-17-Z**  
Legal Description: Lots Numbered One (1) and Two (2)  
of the Norris and Margaret Penny Addition

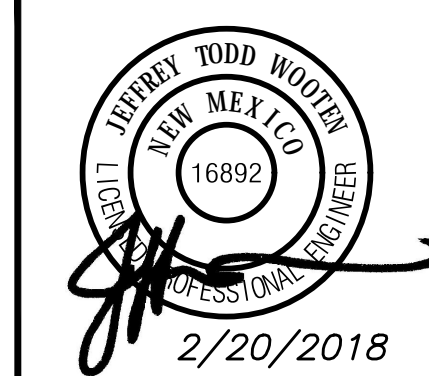


FIRM MAP 35001C0138H

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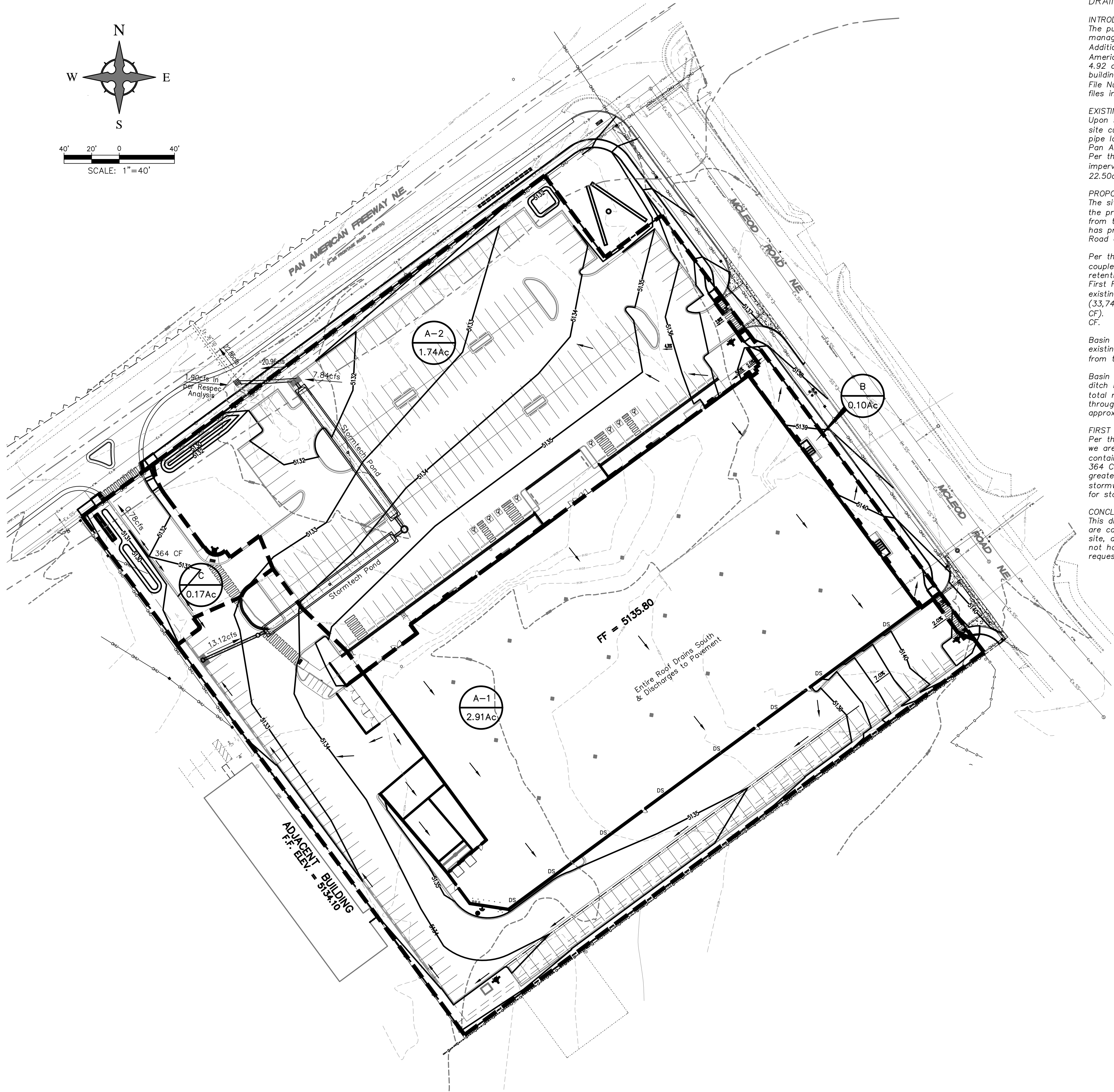
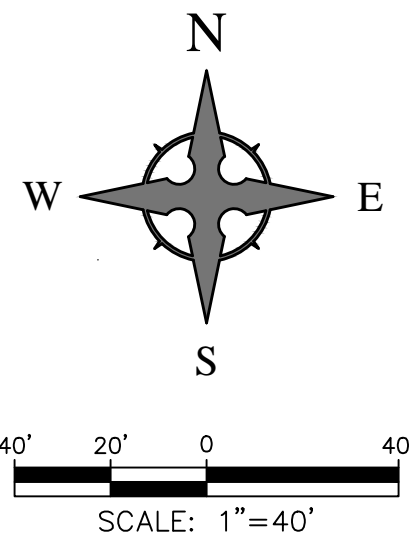
2/20/2018

|                  |                               |    |
|------------------|-------------------------------|----|
| PROJECT TITLE    | 4936 PAN AMERICAN FRWY NE     |    |
|                  | MCLEOD AND 125                |    |
|                  | ALBUQUERQUE, NEW MEXICO 87120 |    |
| PROJECT MANAGER  | JOB NO.                       | QJ |
| JEFF WOOTEN      | 2017018                       |    |
| SHEET TITLE      |                               |    |
| Storm Drain Plan |                               |    |

|                    |                |
|--------------------|----------------|
| DATE:<br>2/20/2018 | sheet-<br>C1.2 |
| SCALE:<br>AS NOTED |                |

**W E** Wooten Engineering  
1005 21st St SE, Suite 13  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560





DRAINAGE MANAGEMENT PLAN

**INTRODUCTION**  
The purpose of this submittal is to provide a grading plan and drainage management plan for the development of Lot 1-A-1, Norris and Margaret Penny Addition. The site is located at 4936 Pan American Freeway NE (SEC of Pan American Freeway and McLeod) in Albuquerque, NM. The site contains approximately 4.92 acres. The proposed development consists of a new Floor & Decor retail building with the associated parking lot and landscaping. The current City Drainage File Numbers are F17/D018 and F17/D032; however, we were not able to locate the files in the Hydrology Department.

**EXISTING HYDROLOGIC CONDITIONS**  
Upon site investigation and per the topographic survey provided by Surv-Tek, the site current surface drains from east to west and into an existing 36" storm drain pipe located in the frontage road of Pan American Fwy. This pipe drains under the Pan American Freeway and continues west eventually to the North Diversion Channel. Per the calculations table this sheet, the existing site was approximately 92% impervious and the total discharge into the existing 36" storm drain pipe was 22.50cfs (36,435 CF) during the 100-Yr, 6-Hr storm event.

**PROPOSED HYDROLOGIC CONDITIONS**  
The site will continue to surface drain from east to west via the parking lot. Since the proposed site has fewer impervious surfaces (approximately 88%) and the runoff from the site will be reduced, on-site detention is not being proposed. RESPEC Inc. has prepared plans for offsite drainage improvements in both the I-25 Frontage Road and McLeod.

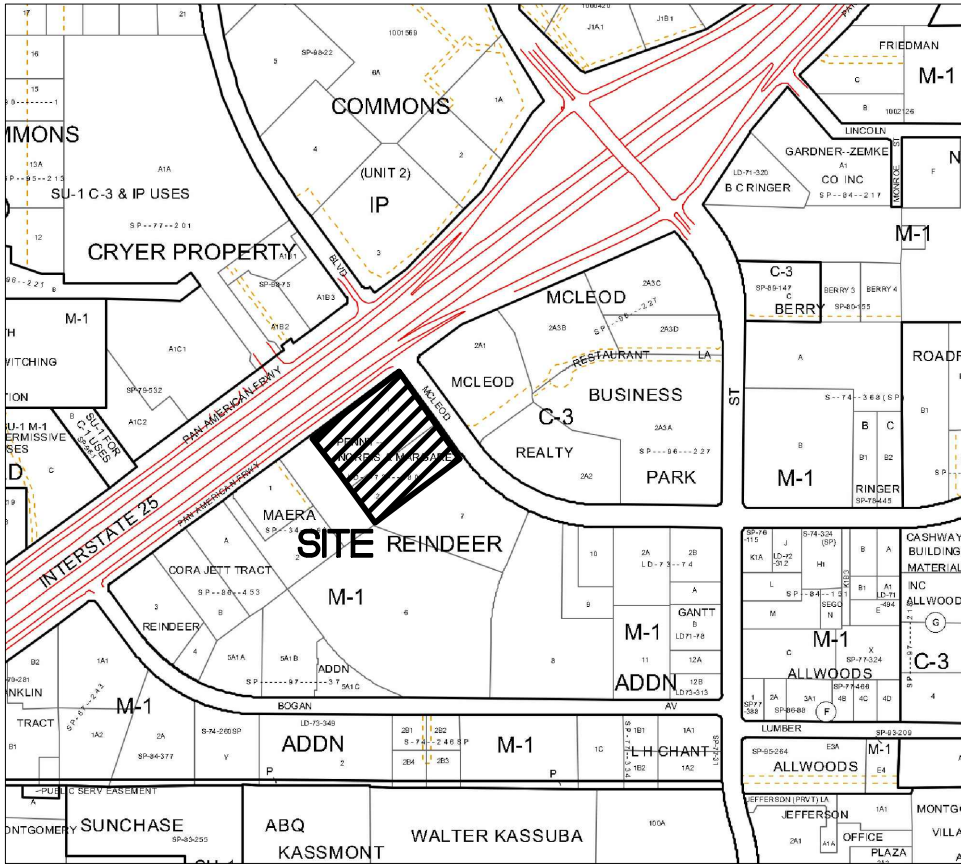
Per the Drainage Calculations Table this sheet, Basins A-1 and A-2 will drain to a couple of Type D' (Double) Inlets which will flow into a new Stormtech below ground retention system to provide the required Stormwater Quality Pond storage per the First Flush Calculations this sheet. The total flow discharging the site into the existing 36" pipe located in the Pan American Fwy Frontage Road is 20.96cfs (33,748 CF) during the 100-Yr, 6-Hr storm. This is a reduction of 1.54cfs (2,687 CF). If we account for the Stormtech storage, the total volume reduction is 7,661 CF.

Basin B will surface drain into McLeod, head west along McLeod and then into the existing NMDOT inlet located at the edge of the Frontage Road. The total runoff from this basin is 0.45cfs (732 CF).

Basin C will surface drain into the Frontage Road, head south along an existing bar ditch in the Frontage Road, and eventually into the North Diversion Channel. The total runoff from this basin is 0.78cfs (1,248 CF). This drainage is being routed through a stormwater quality pond along the south property line which can contain approximately 364 CF, reducing the runoff volume to 884 CF.

**FIRST FLUSH CALCULATIONS**  
Per the Impervious Area and Water Harvesting Pond Calculations tables this sheet, we are required to provide Water Quality Ponding to contain 4,202 CF. The volume contained in the Stormtech system is 4,974 CF and the pond in Basin 'C' contains 364 CF. The total stormwater quality ponding provided is 5,338 CF, which is greater than that required; however, we are unable to route a total of 51 CF to the stormwater ponds so those areas will be required to pay the 'payment in lieu' fee for stormwater quality ponding.

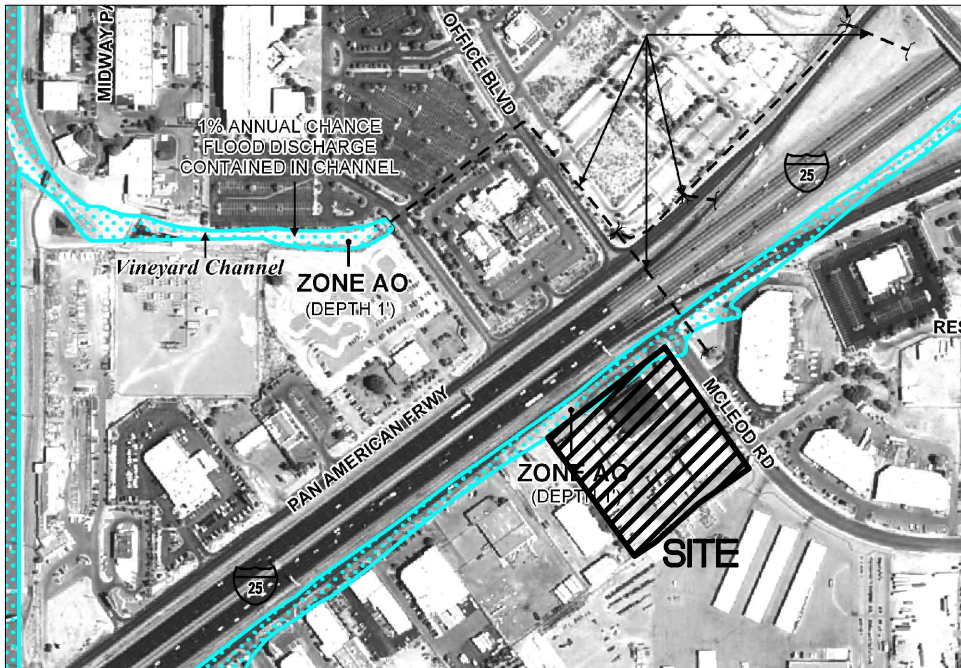
**CONCLUSION**  
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm, contains the First Flush from the site, and meets city requirements. The proposed improvements for the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting grading permit and building permit approval.



**VICINITY MAP - Zone Map F-17-Z**

Legal Description: Lots Numbered One (1) and Two (2) of the Norris and Margaret Penny Addition

**BENCHMARK:**  
ACS MONUMENT "125-18", NAD 1983, X=1535672.415, Y=1505666.336, Z=5128.34 (NAVD 1988), GROUND TO GRID = 0.999671141



**FIRM MAP 35001C0138H**

Per FIRM Map 35001C0138H, dated August 16, 2012, the northern portion of the site along the 125 Frontage Rd is located in Zone 'AO' (Depth 1'). The remainder of the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

| Existing McLeod / I25 Drainage Calculations              |               |            |                            |      |      |       |                  |              |               |                |
|--|---------------|------------|----------------------------|------|------|-------|------------------|--------------|---------------|----------------|
| This table is based on the COA DPM Section 22.2, Zone: 2 |               |            |                            |      |      |       |                  |              |               |                |
| BASIN  | Area (SQ. FT) | Area (AC.) | Land Treatment Percentages |      |      |       | Q(100) (cfs/ac.) | Q(100) (CFS) | WT E (inches) | V(100)360 (CF) |
| Existing Site  | 214239        | 4.92       | 0.0%                       | 0.0% | 8.0% | 92.0% | 4.58             | 22.50        | 2.04          | 36435          |
| TOTAL  | 214239        | 4.92       |                            |      |      |       |                  | 22.50        |               | 36435          |

| Proposed McLeod / I25 Drainage Calculations              |               |            |                            |      |       |       |                  |              |               |                |
|--|---------------|------------|----------------------------|------|-------|-------|------------------|--------------|---------------|----------------|
| Ultimate Development Conditions Basin Data Table         |               |            |                            |      |       |       |                  |              |               |                |
| This table is based on the COA DPM Section 22.2, Zone: 2 |               |            |                            |      |       |       |                  |              |               |                |
| BASIN  | Area (SQ. FT) | Area (AC.) | Land Treatment Percentages |      |       |       | Q(100) (cfs/ac.) | Q(100) (CFS) | WT E (inches) | V(100)360 (CF) |
| A-1  | 126644        | 2.91       | 0.0%                       | 0.0% | 12.0% | 88.0% | 4.51             | 13.12        | 2.00          | 21120          |
| A-2  | 75722         | 1.74       | 0.0%                       | 0.0% | 12.0% | 88.0% | 4.51             | 7.84         | 2.00          | 12628          |
| B  | 4388          | 0.10       | 0.0%                       | 0.0% | 12.0% | 88.0% | 4.51             | 0.45         | 2.00          | 732            |
| C  | 7484          | 0.17       | 0.0%                       | 0.0% | 12.0% | 88.0% | 4.51             | 0.78         | 2.00          | 1248           |
| TOTAL  | 214238        | 4.92       |                            |      |       |       |                  | 22.19        |               | 35728          |

IMPERVIOUS AREA CALCULATIONS

PROPOSED SITE CONDITIONS

TOTAL SITE AREA: 214,239 SF  
PERVIOUS AREA: 23,710 SF (12%)  
IMPERVIOUS AREA: 188,529 SF (88%)

FIRST FLUSH CALCULATIONS

BASIN 'A'  
TOTAL IMPERVIOUS AREA = 188,529 SF  
FIRST FLUSH = 188,529 \* 0.26" / 12 = **4,084 CF**  
TOTAL VOLUME PROVIDED (STORMTECH POND) = **4,974 CF**

BASIN 'B'  
TOTAL IMPERVIOUS AREA = 426 SF  
FIRST FLUSH = 426 \* 0.26" / 12 = **9 CF**  
TOTAL FIRST FLUSH NOT CAPTURED = **9 CF**

BASIN 'C'  
TOTAL IMPERVIOUS AREA = 5,057 SF  
IMP. AREA CAPTURED BY POND = 3,099 \* 0.26" / 12 = **67 CF**  
IMP. AREA NOT CAPTURED BY POND = 1,958 \* 0.26" / 12 = **42 CF**  
TOTAL POND VOLUME PROVIDED = **364 CF**

☐ WATER HARVESTING POND VOLUME CALCULATIONS

STORMTECH SYSTEM UTILIZED FOR STORMWATER QUALITY POND  
MODEL: MC-3500  
NUMBER OF CHAMBERS INSTALLED: 30  
VOLUME PROVIDED PER CHAMBER: 109.9 CF  
VOLUME OF GRAVEL PER CHAMBER: 186.3 CF  
VOLUME OF VOIDS PER CHAMBER: 186.3 CF \* 0.30 = 55.89 CF  
TOTAL WATER STORAGE PER CHAMBER: 109.9 CF + 55.89 CF = 165.8 CF  
TOTAL VOLUME PROVIDED (NOT INCLUDING END CAPS): 165.8\*30 = 4,974 CF

**WE**

**Wooten Engineering**  
1005 21st St SE, Suite 13  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560

| REV | DATE | BY | REVISION |
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| 10  |      |    |          |

**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



JEFFREY TODD WOOTEN  
NEW MEXICO  
16892  
PROFESSIONAL ENGINEER  
2/20/2018

PROJECT TITLE  
4936 PAN AMERICAN FRWY NE  
MCLEOD AND I25  
ALBUQUERQUE, NEW MEXICO 87120  
PROJECT MANAGER  
JEFF WOOTEN  
JOB NO.  
2017018  
DRAWN BY:  
OLIVIA WOOTEN  
SHEET TITLE  
Drainage Management Plan

DATE  
2/20/2018  
SCALE  
AS NOTED  
SHEET  
C1.3  
2





# TREASURY DIVISION DAILY DEPOSIT

Transmittals for:  
**PROJECTS Only**

City of Albuquerque Treasury  
J-24 Deposit  
Date: 2/1/2018 Office: ANNEX  
Station ID Cashier: TRSRMS  
Batch: 8911 Trans: 17  
Fund: 305 Activity ID 7547210  
Dept: 461615 Project ID 24\_ms4  
Dept ID: Bus. Unit: PCDMD  
Alloc Amt: \$408.00  
Trans Amt: \$408.00  
VISA Tendered : \$408.00

## Payment In-Lieu for Storm Water Quality Volume Requirement

| CASH COUNT   | AMOUNT    | ACCOUNT<br>NUMBER | FUND<br>NUMBER | BUSINESS<br>UNIT | PROJECT ID | ACTIVITY<br>ID | AMOUNT          |
|--------------|-----------|-------------------|----------------|------------------|------------|----------------|-----------------|
| TOTAL CHECKS | \$ 408.00 | 461615            | 305            | PCDMD            | 24_MS4     | 7547210        | \$ 408.00       |
|              |           |                   |                |                  |            |                |                 |
| TOTAL AMOUNT |           |                   |                |                  |            | TOTAL DEPOSIT  | <b>\$408.00</b> |

Hydrology#: F17D032 Name: 4936 Pan American Freeway NE  
Payment In-Lieu For Storm Water Quality  
Volume Requirement

Address/Legal Description: 4936 Pan American Freeway NE / Lot 1-A-1 Norris and Margaret Penny Addition

DEPARTMENT NAME: Planning Department/Development Review Services, Hydrology

PREPARED BY Dana Peterson PHONE 924-3695

BUSINESS DATE \_\_\_\_\_

DUAL VERIFICATION OF DEPOSIT \_\_\_\_\_  
EMPLOYEE SIGNATURE

AND BY \_\_\_\_\_  
EMPLOYEE SIGNATURE

REMITTER: \_\_\_\_\_

AMOUNT: \_\_\_\_\_

BANK: \_\_\_\_\_

CHECK #: \_\_\_\_\_ DATE ON CHECK: \_\_\_\_\_

The Payment-in-Lieu can be paid at the Plaza del Sol Treasury, 600 2<sup>nd</sup> St. NW. **Bring three copies of this invoice to the Treasury** and provide a copy of the receipt to Hydrology, Suite 201, 600 2<sup>nd</sup> St. NW, or e-mail with the Hydrology submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).





Cass Schaffer  
Project Coordinator (Main Grant, LLC)  
6801 Jefferson NE, Suite 300  
Albuquerque, NM 87048

February 20, 2018

**Subject: Authorization to construct for commercial Driveway Permit # 3-4174**  
**Location: Pan American Freeway NE milepost 229.33 in Bernalillo County**

Dear Ms. Schaffer,

The New Mexico Department of Transportation District Three Traffic Section has reviewed the documentation that was submitted by you for access to **Pan American Freeway NE**. The land use identified for this access is: **Commercial**.

This Authority to Proceed is issued under the following conditions:

- **Should the land use change or ownership of the property change the access permit is no longer valid.**
- **All improvements within the right-of-way will adhere to the NMDOT Standards and Specifications for Highway and Bridge Construction most recent addition, the design standards listed in the State Access Management Manual for driveways, and NMDOT standard drawings.**
- **All improvements shall be built in accordance with the approved plans sealed by Hugh W. Floyd dated 2/16/2018.**
- **All improvements will be built within 6 months of this letter or the driveway permit will be void**
- **A final walkthrough will be performed by NMDOT to determine compliance and conformance of the driveway before the permit is issued.**

By granting a driveway permit, the NMDOT does not relieve the property owner from the responsibility to ensure that **historical drainage flows along the roadway are maintained**.

Should the driveway impact historical flows along the roadway, it is the responsibility of the property owner to take corrective action to resolve any drainage issues that result.

If you have any questions please call me at (505)798-6655 or you can reach me by email:

[Israel.Suazo@state.nm.us](mailto:Israel.Suazo@state.nm.us).

Sincerely,

Israel Suazo

District Three Permit Agent

cc: Nancy Perea, P.E. District Three Traffic Engineer NMDOT

**Susana Martinez**  
Governor

**Tom Church**  
Cabinet Secretary

**Commissioners**

**Ronald Schmeits**  
Chairman  
District 4

**Dr. Kenneth White**  
Secretary  
District 1

**David Sepich**  
Commissioner  
District 2

**Keith Mortensen**  
Commissioner  
District 3

**Butch Mathews**  
Commissioner  
District 5

**Billy Moore**  
Commissioner  
District 6



# **SITE LAYOUT**



CONSTRUCTION PLANS  
FOR  
MCLEOD ROAD AND I-25 NORTH BOUND  
FRONTAGE ROAD IMPROVEMENTS  
ALBUQUERQUE, NEW MEXICO  
FEBRUARY 2018

THE FOLLOWING PERMANENT EASEMENTS MUST BE RECORDED PRIOR TO PROJECT CLOSEOUT:

| TYPE OF EASEMENT       | SHEET NO. (A) | RECORDATION INFORMATION |               |
|------------------------|---------------|-------------------------|---------------|
|                        |               | RECORD DOC #            | DATE RECORDED |
| PUBLIC SIDEWALK (WEST) | 7             |                         |               |
| PUBLIC SIDEWALK (EAST) | 7             |                         |               |
| BILLBOARD SITE ACCESS  | 3             | 2017101192              | 10/23/2017    |

NMDOT ACCESS NOTE:  
SHOULD LOT 1-A-1 BE FURTHER SUBDIVIDED IN THE FUTURE TO CREATE SEPARATE PARCELS OR PAD SITES, NO ADDITIONAL ACCESS WILL BE GRANTED BY NMDOT TO PAN AMERICAN FREEWAY NE. INGRESS AND EGRESS EASEMENTS SHALL BE REQUIRED TO ALLOW ANY FUTURE PARCELS OR PAD SITES ACCESS TO THE PERMITTED DRIVEWAY LOCATION.

CONSTRUCTION NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH LATEST UPDATE, THE 2014 EDITION OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SHALL GOVERN CONSTRUCTION WITHIN NMDOT RIGHT OF WAY.

2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, (ALBUQUERQUE AREA) 1-800-321-ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING PUBLIC UTILITIES.

3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINE, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

4. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.

5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.

6. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.

7. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.

8. BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE OR PER COA STANDARD DRAWING 2465, WHICHEVER IS MORE STRINGENT. THE 2014 EDITION OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SHALL GOVERN CONSTRUCTION WITHIN NMDOT RIGHT OF WAY.

9. TACK COAT REQUIREMENTS SHALL BE DETERMINED DURING CONSTRUCTION BY THE PROJECT ENGINEER.

10. NOT USED.

11. ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

12. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUT-OFF REQUESTS MUST BE MADE ONLINE AT [http://www.abowua.org/Water\\_Main\\_Shutoff.aspx](http://www.abowua.org/Water_Main_Shutoff.aspx)

13. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF CITY AND NMDOT SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT CITY OR NMDOT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF ANY ROADWAY IN WHICH A PERMANENT CITY OR NMDOT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE SPECIFICATIONS.

14. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. CONTRACTOR MUST REFER TO SECTION 19 OF THE STANDARD SPECIFICATION FOR TRAFFIC CONTROL.

15. TRAFFIC CONTROL MANAGEMENT. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AND OBTAIN APPROVAL OF A TRAFFIC CONTROL PERMIT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THE ROADWAY. ALONG WITH THE PERMIT, THE CONTRACTOR WILL BE REQUIRED TO SUBMIT A TRAFFIC CONTROL PLAN THAT WILL REFLECT AND COORDINATE THE CONTRACTOR'S PROPOSED CONSTRUCTION PHASING. THESE PLANS SHALL BE PREPARED AND SEALED BY A NEW MEXICO REGISTERED PROFESSIONAL ENGINEER. THE PLANS SHALL BE REVIEWED AND APPROVED BY THE DISTRICT THREE TRAFFIC ENGINEER OR DESIGNEE. THE NMDOT DISTRICT TRAFFIC SECTION RESERVES THE RIGHT TO MAKE ANY CHANGES TO THE TRAFFIC CONTROL PLAN TO ADDRESS SITE SPECIFIC ITEMS THAT WERE NOT SHOWN ON THE PLANS. THE NMDOT ALSO RESERVES THE RIGHT TO ADD TRAFFIC CONTROL DEVICES TO THE APPROVED PLAN IF IT IS DETERMINED BY THE TRAFFIC ENGINEER OR DESIGNEE THAT THE ADDITIONAL DEVICES WOULD BE REQUIRED TO ADDRESS SAFETY CONCERNS WITHIN OR IN ADVANCE OF THE WORK ZONE. ANY ADDITIONAL SIGNS AND/OR DEVICES WILL BE CONSIDERED INCIDENTAL TO ITEM 618000 (TRAFFIC CONTROL MANAGEMENT) AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. THE TRAFFIC CONTROL PERMIT ALONG WITH THE TRAFFIC CONTROL PLANS SHALL BE SUBMITTED TO THE NMDOT AT LEAST 10 WORKING DAYS PRIOR TO CONSTRUCTION. THE TRAFFIC CONTROL PLANS SHALL BE SUBMITTED ON 11X17 SHEETS. A COPY OF THE TRAFFIC CONTROL PERMIT (RIGHT-OF-WAY FORMS) MAY BE OBTAINED AT THE NMDOT WEBSITE: [HTTP://WWW.DOT.STATE.NM.US/EN/INFRASTRUCTURE.HTML](http://www.dot.state.nm.us/en/infrastructure.html)

16. ALL CITY STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED STRIPING BY CONTRACTOR TO EXISTING LOCATION OR AS INDICATED BY THIS PLAN SET. FINAL STRIPING TO BE COORDINATED WITH C.O.A. TRAFFIC OPERATIONS. FOR NMDOT STRIPING, SIGNING, AND TRAFFIC CONTROL REQUIREMENTS, SEE SHEETS 9 AND 10 OF THIS PLAN SET.

17. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

18. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY MAY REQUIRE TWENTY-FOUR HOUR CONSTRUCTION.

19. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

20. WHEN APPLICABLE, CONTRACTOR SHALL, ON BEHALF OF THE OWNER AND OPERATORS, SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE AND NMDOT.

22. ALL FILL SHALL BE CLEAN, FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS, AND SHALL NOT BE CONTAMINATED WITH HYDROCARBONS OR OTHER CHEMICAL CONTAMINANTS.

23. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE ENGINEER SHALL NOTIFY LOCAL AUTHORITIES. IF HUMAN REMAINS ARE DETERMINED BY THE OFFICE OF THE MEDICAL EXAMINER NOT TO BE RECENT, THE ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320.

24. TWO WEEKS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ABOARD TRANSIT DEPARTMENT TO DISCUSS THE IMPACT OF TRAFFIC CONTROL PLAN ON BUS ROUTE AND ANY OTHER TRANSIT INFRASTRUCTURE BEING IMPACTED. CONTACT PERSON FOR ABOARD: DOUG GOFF (505) 724-3139 OR (505) 331-0253, EMAILS: [dgoff@abq.gov](mailto:dgoff@abq.gov)

25. CONTRACTOR SHALL REPLACE ANY PAVEMENT, CURB, SIDEWALK AND OTHER INFRASTRUCTURE THAT IS DAMAGED DURING CONSTRUCTION AT HIS EXPENSE.

26. SAW CUT LINE SHALL BE ESTABLISHED AT INSIDE WHITE SHOULDER STRIPE. AT NO TIME WILL A SAWCUT LINE BE ALLOWED WITHIN A WHEEL PATH.

27. NMDOT DROP OFF POLICY AD-241 SHALL BE FOLLOWED AT ALL-TIME WITHIN NMDOT RIGHT OF WAY.

SHEET INDEX

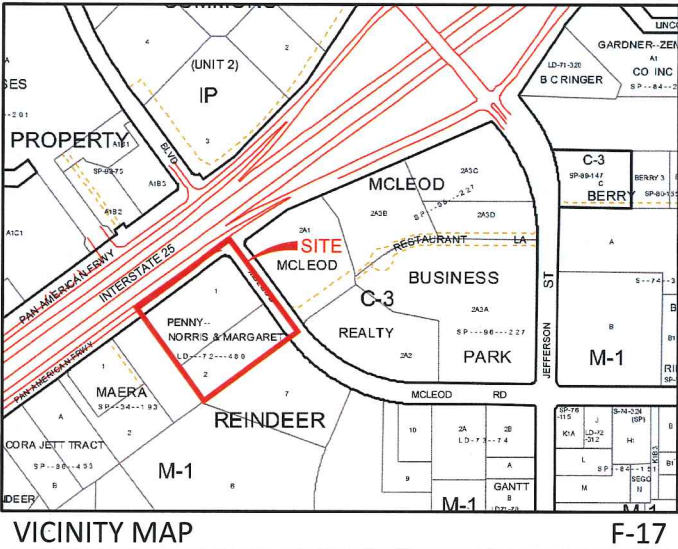
- 1 COVER SHEET
- 2 TOPOGRAPHIC SURVEY
- 3 PRELIMINARY/FINAL PLAT
- 4 PRIVATE GRADING AND DRAINAGE PLAN
- 5 ESC PLAN
- 6 DRAINAGE ANALYSIS SHEETS
- 7 PRIVATE SITE PLAN
- 8 DEMOLITION PLAN
- 9 ROADWAY CONSTRUCTION PLAN
- 10 ROADWAY DETAILS
- 11 DRIVEWAY PLAN & PROFILE
- 12 UTILITY PLAN
- 13 SIGNING & STRIPING PLAN
- 14 SIGNING & STRIPING NOTES
- 15 TRAFFIC CONTROL PLAN
- 16 TRAFFIC CONTROL NOTES

APPLICANT:

RESPEC, Hugh Floyd, P.E.  
5971 JEFFERSON ST NE, SUITE 101  
ALBUQUERQUE, NM 87109  
(505) 366-4187

DEVELOPER:

4404 MCLEOD, LLC  
6801 JEFFERSON ST NE, SUITE 300  
ALBUQUERQUE, NM 87109  
(505) 858-0001

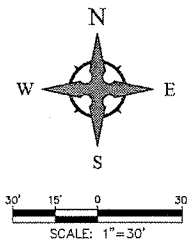


RESPEC

|                             |        |                  |               |                 |                           |                 |      |
|-----------------------------|--------|------------------|---------------|-----------------|---------------------------|-----------------|------|
| REV.                        | SHEETS | CITY ENGINEER    | DATE          | USER DEPARTMENT | DATE                      | USER DEPARTMENT | DATE |
| ENGINEERS STAMP & SIGNATURE |        | APPROVALS        | ENGINEER      | DATE            | *****                     |                 |      |
|                             |        | DRC Chairman     |               |                 | APPROVED FOR CONSTRUCTION |                 |      |
|                             |        | Transportation   |               |                 |                           |                 |      |
|                             |        | Water/Wastewater |               |                 |                           |                 |      |
|                             |        | Hydrology        |               |                 |                           |                 |      |
|                             |        | Parks            |               |                 |                           |                 |      |
| Const. Mngmt.               |        |                  | CITY ENGINEER |                 | DATE                      |                 |      |
| Const. Coord.               |        |                  |               |                 |                           |                 |      |
| NMUI                        |        |                  |               |                 |                           |                 |      |
| CITY PROJECT NO.            |        | 585784           |               | SHEET 1 OF 16   |                           |                 |      |

DRB PROJECT NO. 1010327





**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**NOTE:**  
ALL WORK WITHIN THE I-25 FRONTAGE ROAD RIGHT-OF-WAY IS TO BE PERMITTED SEPARATELY THROUGH THE NMDOT.

**LEGEND**

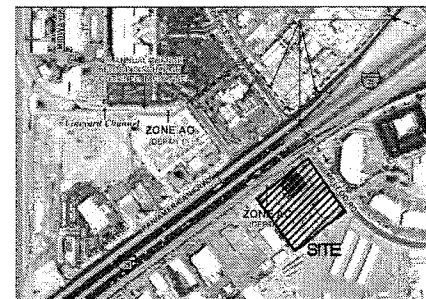
- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION
- FGH83.40 FINISHED GRADE AT TOP OF WALL
- FGL83.40 FINISHED GRADE AT BOTTOM OF WALL
- WALL HEIGHT = (1.11')
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM DRAIN

**NOTE:**  
ALL WORK WITHIN THE McLEOD RIGHT-OF-WAY IS TO BE PERMITTED SEPARATELY THROUGH THE CITY OF ALBUQUERQUE.



**VICINITY MAP - Zone Map F-17-Z**  
Legal Description: Lots Numbered One (1) and Two (2) of the Morris and Margaret Penny Addition

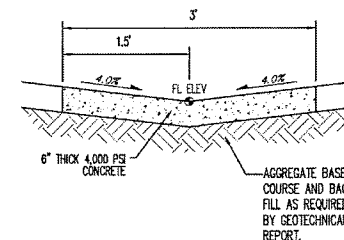
**BENCHMARK:**  
ACS MONUMENT "125-18", NAD 1983, X=1535872.415, Y=1505666.336, Z=5128.34 (NAVD 1988), GROUND TO GRID = 0.999671141



**FIRM MAP 35001C0138H**  
Per FIRM Map 35001C0138H, dated August 16, 2012, the northern portion of the site along the I-25 Frontage Rd is located in Zone "A0" (Depth 1'). The remainder of the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAYMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



**Valley Gutter Detail**  
NTS

FOR INFORMATION ONLY

**Wooten Engineering**  
1005 21st St SE, Suite 13  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560

34174

REVISION

BY

DATE

REV

DATE

REV

DATE

REV

DATE

**MODULUS ARCHITECTS**

100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

JEFF TODD WOOTEN  
NEW MEXICO  
18892  
12/6/2017

PROJECT TITLE  
4936 PAN AMERICAN FRWY NE  
McLEOD AND I-25  
ALBUQUERQUE, NEW MEXICO 87120

DRAWN BY:  
OLIVIA WOOTEN

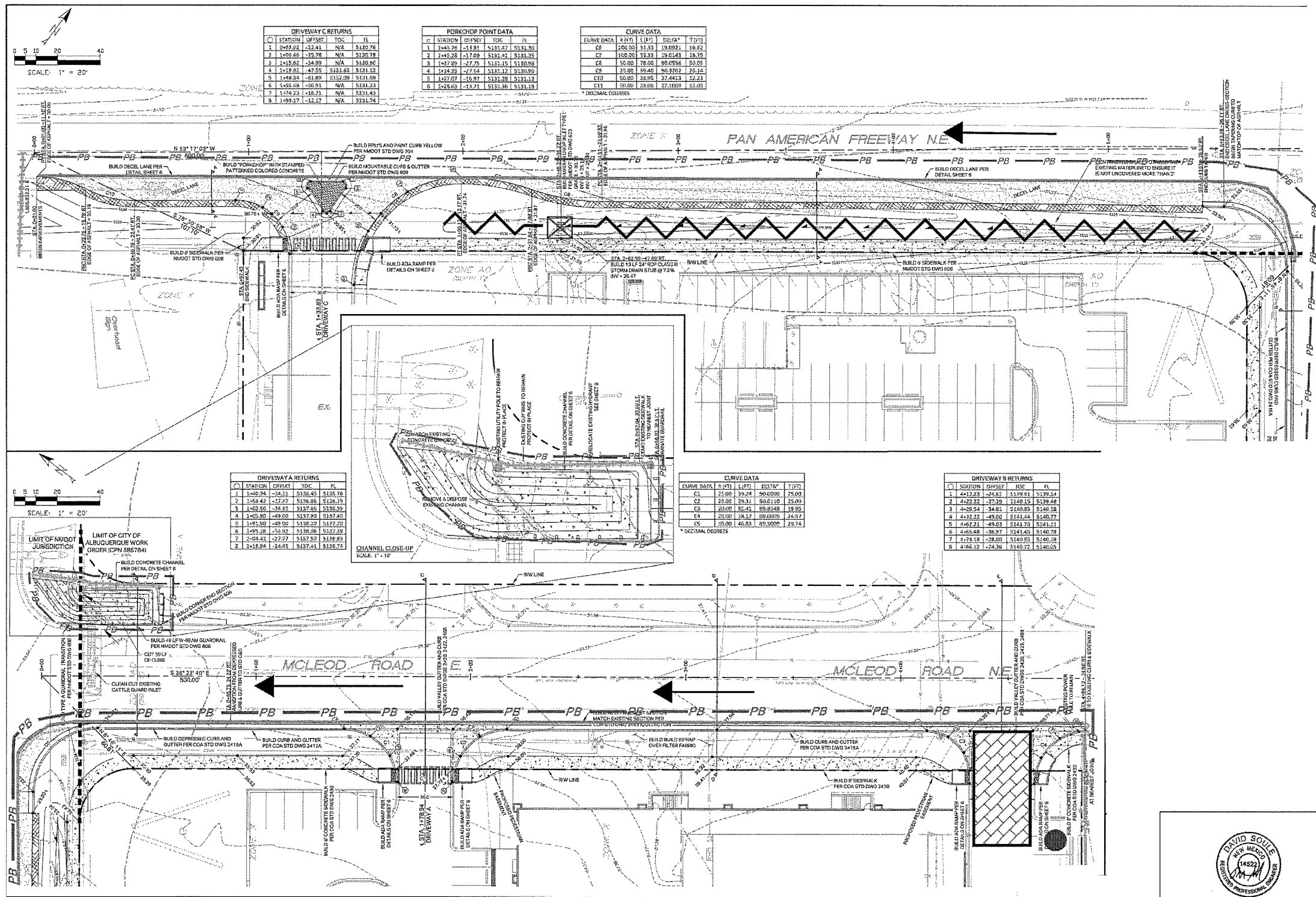
JOB NO.  
2017018

SHEET NO.  
C1.1

AS NOTED

CPN: 585784 SHEET 4 OF 16





**LEGEND**

EROSION AND SEDIMENT CONTROL PLAN

PROJECT PERIMETER & DISTURBED AREA

SILT FENCE

MULCH SOCKS

FLOW DIRECTION

STAGING AREA

STABILIZED CONSTRUCTION ENTRANCE

TRASH RECEPTACLE

CHEMICAL TOILET

CONCRETE WASHOUT

SWALE

ASPHALT SAWCUT SEDIMENT BARRIER

CHECK DAM

DROP INLET PROTECTION

OUTFALL

POSTING SIGN

PRESERVED VEGETATION

RECEIVING WATERS: RIO GRANDE BY WAY OF AMAFCA NORTH DIVERSION CHANNEL

CRITICAL HABITAT: CRITERION "C" RIO GRANDE SILVERY MINNOW AND YELLOW BILLED CUCKOO HABITATS ARE 5.8 MILES TO THE WEST OF THE PROJECT.

GPS LOCATION: 35.1384, -106.5983

**MCLEOD & I-25 FRONTAGE IMPROVEMENTS**

PROJECT TITLE

ALBUQUERQUE, BERNALILLO COUNTY, NM

CITY, COUNTY, STATE

01/26/18 DATE

C. DURKIN DRAWN BY

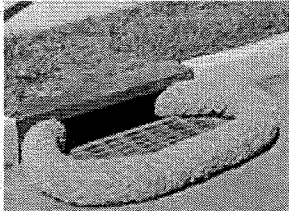
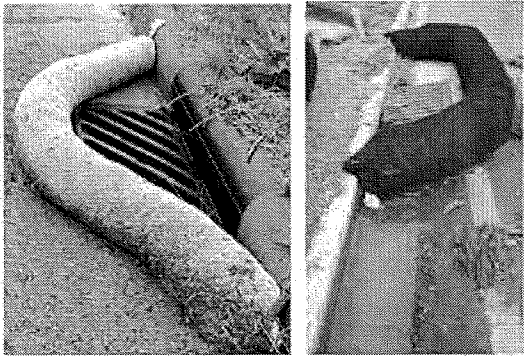
1/26/18

Engineer Stamp

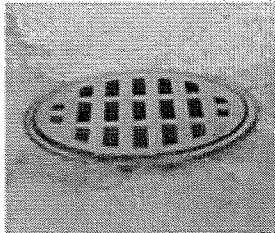
INSPECTION PLAN, INC.



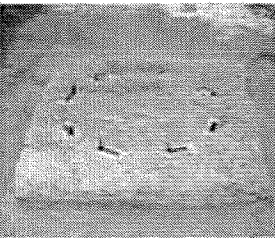
Curb Storm Inlet Protection with Wattles



Inlet Filter Installation Instructions:



flow and starts filtering sediment and debris before water drops into the inlet.



1. Remove sediment, debris, ice and snow from the inlet grate surface and surrounding area.

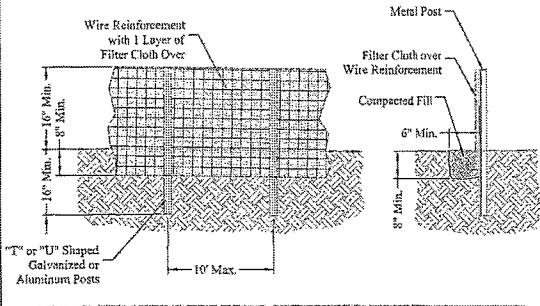
2. Verify fit by placing filter over inlet grate to ensure that Inlet Filter extends at least one inch beyond the front and both curb ends. The overlap slows water

3. Position the mat. Place Inlet Filter on grate with the net side down, flush to the back edge and extending beyond the grate opening on the front and both sides. The zip ties attach Inlet Filter to the inlet grate cover WITHOUT LIFTING THE GRATE COVER.

4. The filter material covering the inlet can be any material that will prevent the sediment and other foreign matter from entering the

storm drain system.

Reinforced Silt Fence



Definition

A temporary barrier of Geotextile Class "F" over wire reinforcement used to intercept sediment laden runoff from small drainage areas.

Purpose

The purpose of silt fence is to reduce runoff where velocity and allow the deposition of transported sediment to occur. Limits imposed by ultraviolet light on the stability of the fabric will dictate the maximum period that the silt fence may be used.

- 1. Silt fence provides a barrier that can collect and hold debris and soil, preventing the material from entering critical areas, streams, streets, etc.
- 2. Silt fence can be used where the installation of a dike would destroy sensitive areas; woods, wetlands, etc.

Conditions where the Practice Applies

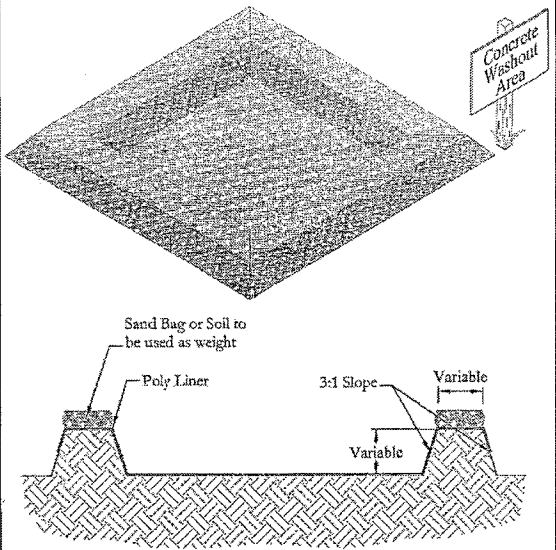
Silt Fence is limited to intercepting sheet flow runoff from limited distances according to slope. It provides filtering and velocity dissipation to promote gravity settling of sediment.

Design Criteria

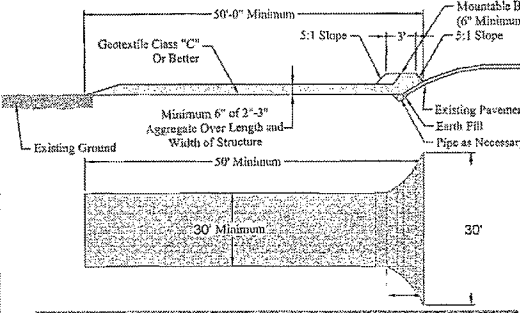
Steel posts must be used. Silt fence should be placed as close to the contour as possible. No section of silt fence should exceed a grade of 5 percent for a distance more than 50 feet. Where ends of the geotextile fabric come together, the ends shall be overlapped, folded, and stapled to prevent sediment bypass. The length of the flow contributing to silt fence shall conform to the following limitations.

| Slope (%) | Slope Steepness | Slope Length (ft) (Maximum) | Silt Fence Length (ft) (Maximum) |
|-----------|-----------------|-----------------------------|----------------------------------|
| 0-10      | 6:1 to 1        | Unlimited                   | Unlimited                        |
| 10-20     | 10:1 to 3:1     | 700                         | 1,500                            |
| 20-25     | 2:1 to 3:1      | 100                         | 1,000                            |
| 33-50     | 3:1 to 2:1      | 100                         | 500                              |
| 50 +      | 2:1 +           | 50                          | 250                              |

Concrete Washout Area  
For use in High Water Table Areas



Stabilized Construction Entrance



Definition

A stabilized layer of aggregate that is underlain with Geotextile Class "C" (See Standards for Geotextile). Stabilized entrances are located at any point where traffic enters or leaves a construction site.

Purpose

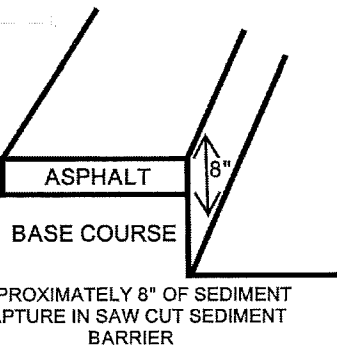
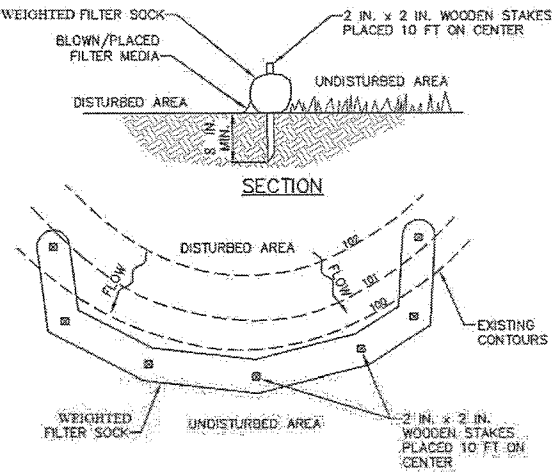
The purpose of the stabilized construction entrance is to reduce tracking of sediment onto streets or public rights-of-way and provide a stable area for entrance or exit from the construction site.

Conditions where the Practice Applies

- 1. Stabilized construction entrances shall be located at points of construction ingress and egress.
- 2. For single family residences, the entrance should be located at the permanent driveway.
- 3. Stabilized construction entrances should not be used on existing pavement.

Design Criteria

- 1. Length - Minimum of 50'-0"
- 2. Width - Minimum of 50'-0", should be flared at the existing road to provide a turning radius.
- 3. Geotextile Class "C" shall be placed over the existing ground prior to placing stone. The Plan approval authority may not require geotextile fabric for single family residence.
- 4. Stone-crushed aggregate 2"-3" (See Standards for Geotextile and Rock). Recycled concrete equivalent may be used also. The rock should be placed at least 6" deep over the length and width of the entrance.
- 5. Surface Water - All the surface water flowing to or diverted toward construction entrances shall be piped under the entrance to maintain positive drainage. Pipe installed under the construction entrance shall be protected with a mountable berm. The pipe shall be sized according to the drainage, with the minimum diameter being 6".
- 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.



Erosion Control Notes

- 1. All perimeter erosion and sediment control measures shall be installed prior to the execution of any grading work and maintained by the grading contractor for the duration of the grading project. Failure to install and maintain erosion control is a violation of State Law and subject to fine.
- 2. The appropriate erosion control device(s) shall be installed prior to the inception of any land disturbing activity and shall be properly maintained for construction activities.
- 3. All Erosion Control devices and their installation shall meet the standards prescribed in the current guidelines for storm water management for construction activities.
- 4. Sediment collected behind the sediment filters and silt fences shall be removed when sediment reaches on third the height of the barrier.
- 5. Sediment filters and silt fences shall be inspected and maintained no less than weekly or within 24 hours of a rainfall event of 0.25 inches or more. Maintenance shall include but not be limited to sediment removal, barrier repair and / or replacement.
- 6. Construction Site Entrance: The contractor shall construct as a minimum one stabilized construction entrance at the location shown on the plans. If additional ingress and egress to the construction site is required, the contractor shall coordinate with the construction manager the location of these additional stabilized construction entrances. Usage of non-stabilized for ingress and egress will not be permitted. The stabilized entrances shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right-of-way and paved driving lanes. This may require periodic top dressing with additional stone as conditions warrant. Repair of the entrances or cleaning of the right-of-way and paved driving lanes that have been soiled shall be performed by the contractor at his own expense satisfactory to the construction manager. When necessary, vehicle wheels and tires shall be cleaned to remove sediment prior to entering onto public right-of-way and public streets. When washing is required, it shall be done on an area stabilized with crushed stone.
- 7. The contractor shall at his own expense, periodically water the site to control dust.
- 8. Sedimentation and erosion control measures shall be removed following construction or upon permanent stabilization of the disturbed and graded areas, whichever occurs last.
- 9. All disturbed areas that are not to be paved shall be re-seeded unless noted otherwise.
- 10. The contractor shall keep the site clean at all times and control dust resulting from the earthwork operation. The contractor shall not track mud onto the public streets.

RECEIVING WATERS: RIO GRANDE BY WAY OF AMAFCA NORTH DIVERSION CHANNEL

CRITICAL HABITAT: CRITERION "C" RIO GRANDE SILVERY MINNOW AND YELLOW BILLED CUCKOO HABITATS ARE 5.6 MILES TO THE WEST OF THE PROJECT.

GPS LOCATION: 35.1384, -106.5983

MCLEOD & I-25 FRONTAGE IMPROVEMENTS

PROJECT TITLE

ALBUQUERQUE, BERNALILLO COUNTY, NM

CITY, COUNTY, STATE

01/26/18

DATE

C. DURKIN

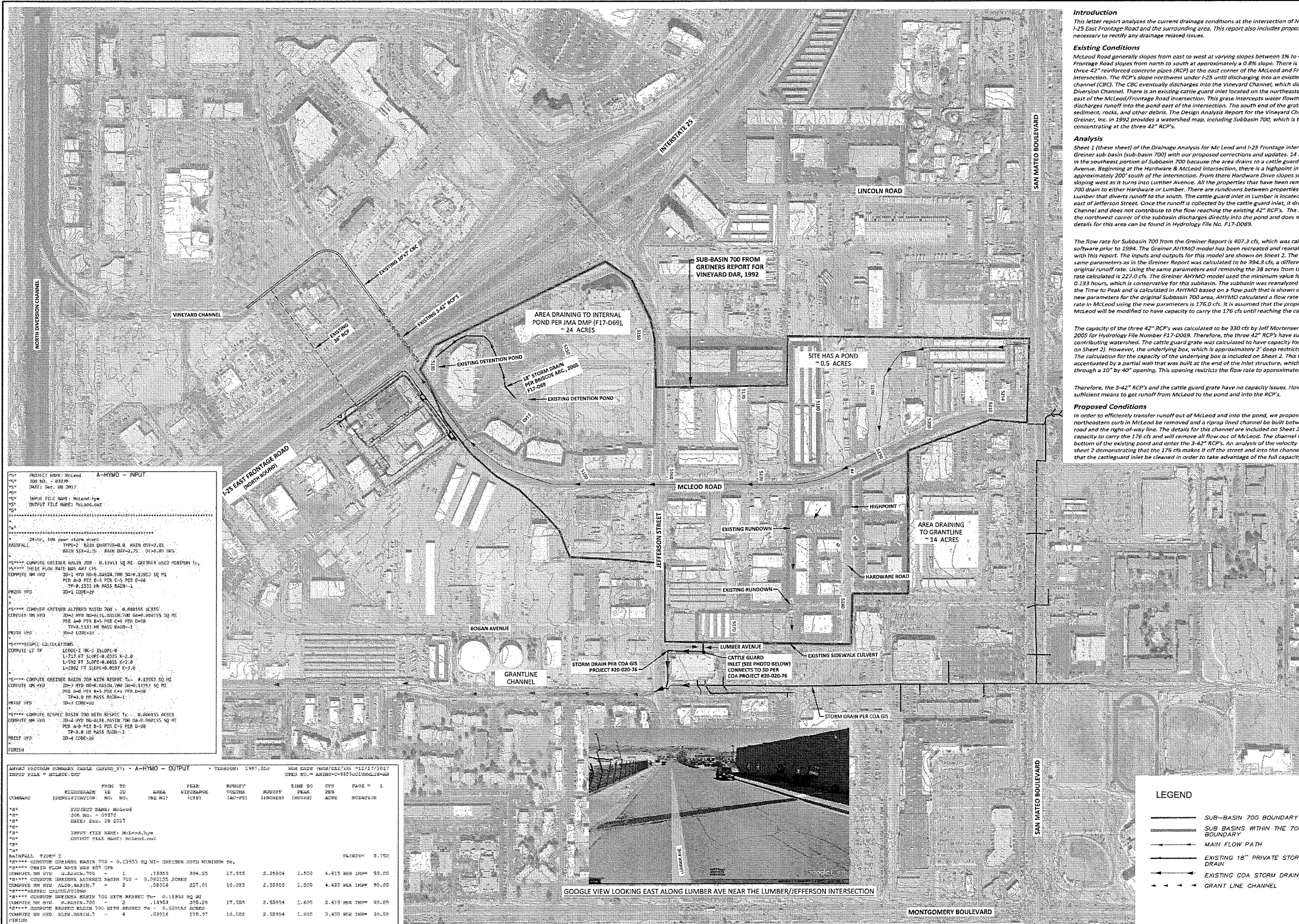
DRAWN BY



1/26/18

Engineer Stamp





**Introduction**  
This letter report analyzes the current drainage conditions at the intersection of McLeod Road and the I-25 East Frontage Road and the surrounding area. This report also includes proposed solutions as necessary to rectify any drainage related issues.

**Existing Conditions**  
McLeod Road generally slopes from east to west at varying slopes between 1% to 4%. The I-25 East Frontage Road slopes from north to south at approximately a 0.8% slope. There is an existing pond and three 42" reinforced concrete pipes (RCP) at the east corner of the McLeod and Frontage Road intersection. The RCP's slope northwest under I-25 until discharging into an existing 10'x7' concrete box channel (CBC). The CBC eventually discharges into the Vineyard Channel, which discharges into the North Division Channel. There is an existing cattle guard inlet located on the northeastern curb in McLeod just east of the McLeod/Frontage Road intersection. This grate intercepts water flowing in McLeod and discharges runoff into the pond east of the intersection. The south end of the grate is currently full of sediment, rocks, and other debris. The Design Analysis Report for the Vineyard Channel West of I-25 by Greiner, Inc. in 1992 provides a watershed map, including Subbasin 700, which is the subbasin concentrating at the three 42" RCP's.

**Analysis**  
Sheet 1 (these sheets) of the Drainage Analysis for McLeod and I-25 Frontage intersection shows the Greiner sub-basin (sub-basin 700) with our proposed corrections and updates. 14 acres has been removed in the southeast portion of Subbasin 700 because the area drains to a cattle guard inlet in Lumber Avenue. Beginning at the Hardware & McLeod intersection, there is a highpoint in the roadway approximately 200' south of the intersection. From there Hardware Drive slopes south until turning and sloping west as it turns into Lumber Avenue. All the properties that have been removed from Sub-basin 700 drain to either Hardware or Lumber. There are rundowns between properties on the west side of Lumber that diverts runoff to the south. The cattle guard inlet in Lumber is located approximately 240' east of Jefferson Street. Once the runoff is collected by the cattle guard inlet, it drains to the Grant Line Channel and does not contribute to the flow reaching the existing 42" RCP's. The 24 acres removed in the northwest corner of the subbasin discharges directly into the pond and does not enter McLeod. More details for this area can be found in Hydrology File No. F17-0069.

The flow rate for Subbasin 700 from the Greiner Report is 407.3 cfs, which was calculated using AHYMO software prior to 1994. The Greiner AHYMO model has been recreated and reanalyzed using AHYMO 97 with this report. The inputs and outputs for this model are shown on Sheet 2. The flow rate using the same parameters as in the Greiner Report was calculated to be 394.8 cfs, a difference of 13 cfs from the original runoff rate. Using the same parameters and removing the 38 acres from the watershed, the flow rate calculated is 227.0 cfs. The Greiner AHYMO model used the minimum value for Time to Peak of 0.133 hours, which is conservative for this subbasin. The subbasin was reanalyzed using better values for the Time to Peak and is calculated in AHYMO based on a flow path that is shown on this sheet. Using the new parameters for the original Subbasin 700 area, AHYMO calculated a flow rate of 305.3 cfs. The flow rate in McLeod using the new parameters is 176.0 cfs. It is assumed that the property frontages along McLeod will be modified to have capacity to carry the 176 cfs until reaching the cattle guard inlet.

The capacity of the three 42" RCP's was calculated to be 330 cfs by Jeff Mortensen & Associates, Inc. in 2005 for Hydrology File Number F17-0069. Therefore, the three 42" RCP's have sufficient capacity for the contributing watershed. The cattle guard grate was calculated to have capacity for 330 cfs as well (shown on Sheet 2). However, the underlying box, which is approximately 2' deep restricts the flow rate to 90 cfs. The calculation for the capacity of the underlying box is included on Sheet 2. This flow restriction is accentuated by a partial wall that was built at the end of the inlet structure, which forces all the flow through a 10' by 40" opening. This opening restricts the flow rate to approximately 15 cfs.

Therefore, the 3-42" RCP's and the cattle guard grate have no capacity issues. However, there is not sufficient means to get runoff from McLeod to the pond and into the RCP's.

**Proposed Conditions**  
In order to efficiently transfer runoff out of McLeod and into the pond, we propose that 30LF of the northeastern curb in McLeod be removed and a riprap lined channel be built between the edge of the road and the right-of-way line. The details for this channel are included on Sheet 2. The channel will have capacity to carry the 176 cfs and will remove all flow out of McLeod. The channel will discharge to the bottom of the existing pond and enter the 3-42" RCP's. An analysis of the velocity vectors is shown on sheet 2 demonstrating that the 176 cfs makes it off the street and into the channel. It is also suggested that the cattleguard inlet be cleaned in order to take advantage of the full capacity.

PROJECT NAME: McLeod A-HYMO - INPUT  
JOB NO.: 13320  
DATE: Dec. 28 2017  
INPUT FILE NAME: McLeod.dwg  
OUTPUT FILE NAME: McLeod.out

24-in. 160 year storm event  
RAINFALL TYPE: 2 BASE QUANTITIES: 0.8 RAIN DIST: 2.01  
RAIN STA: 0.0 0.5 1.0 1.5 2.0 2.5 3.0 3.5 4.0 4.5 5.0 5.5 6.0 6.5 7.0 7.5 8.0 8.5 9.0 9.5 10.0 10.5 11.0 11.5 12.0 12.5 13.0 13.5 14.0 14.5 15.0 15.5 16.0 16.5 17.0 17.5 18.0 18.5 19.0 19.5 20.0 20.5 21.0 21.5 22.0 22.5 23.0 23.5 24.0 24.5 25.0 25.5 26.0 26.5 27.0 27.5 28.0 28.5 29.0 29.5 30.0 30.5 31.0 31.5 32.0 32.5 33.0 33.5 34.0 34.5 35.0 35.5 36.0 36.5 37.0 37.5 38.0 38.5 39.0 39.5 40.0 40.5 41.0 41.5 42.0 42.5 43.0 43.5 44.0 44.5 45.0 45.5 46.0 46.5 47.0 47.5 48.0 48.5 49.0 49.5 50.0 50.5 51.0 51.5 52.0 52.5 53.0 53.5 54.0 54.5 55.0 55.5 56.0 56.5 57.0 57.5 58.0 58.5 59.0 59.5 60.0 60.5 61.0 61.5 62.0 62.5 63.0 63.5 64.0 64.5 65.0 65.5 66.0 66.5 67.0 67.5 68.0 68.5 69.0 69.5 70.0 70.5 71.0 71.5 72.0 72.5 73.0 73.5 74.0 74.5 75.0 75.5 76.0 76.5 77.0 77.5 78.0 78.5 79.0 79.5 80.0 80.5 81.0 81.5 82.0 82.5 83.0 83.5 84.0 84.5 85.0 85.5 86.0 86.5 87.0 87.5 88.0 88.5 89.0 89.5 90.0 90.5 91.0 91.5 92.0 92.5 93.0 93.5 94.0 94.5 95.0 95.5 96.0 96.5 97.0 97.5 98.0 98.5 99.0 99.5 100.0 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TABLE 1:

**Hydrology Calculations**

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

**Runoff Rate:****Treatment Type Areas**

| Subbasin | Area (ac) | Area (ac) | Area (ac) | Area (ac) | Total (ac) |
|----------|-----------|-----------|-----------|-----------|------------|
| A        | C         | D         | 0.11      | 0.33      | 0.44       |

Peak Discharge values based on Zone 3 from Table A-9

$$Q_{A1} = 1.56 \text{ cfs/ac} \quad Q_{A2} = 2.28 \text{ cfs/ac} \quad Q_{A3} = 3.14 \text{ cfs/ac} \quad Q_{A4} = 4.7 \text{ cfs/ac}$$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

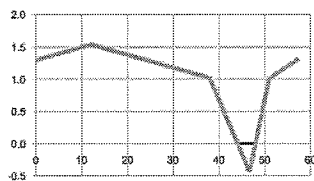
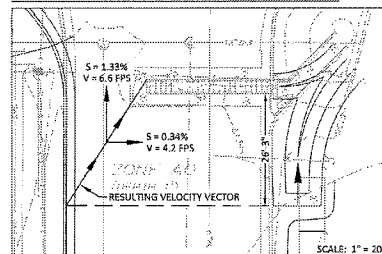
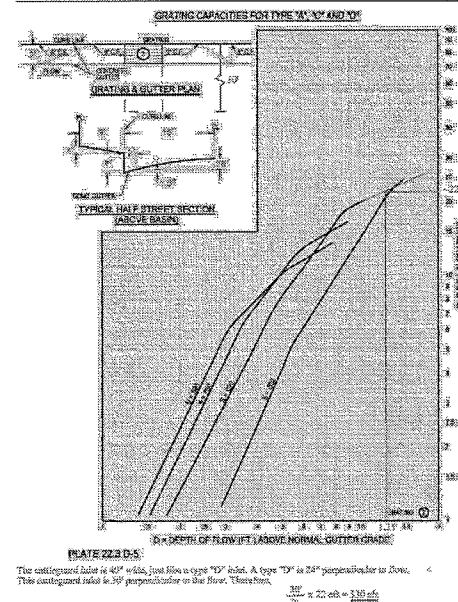
| Subbasin | Discharge (cfs) |
|----------|-----------------|
| A        | 1.9             |

**CROSS-SECTION 4+00:****Input**

Flow Slope 2 cfs 0.0073 ft/ft

**Output**

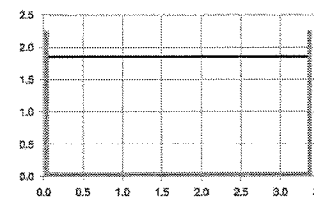
WSElev 0.001 ft  
Flow Area 0.816 sf  
Velocity 2.45 fps  
Velocity Head 0.0932 ft  
Top Width 3.84 ft  
Froude Number 0.936  
Critical WSElev -0.011 ft  
Critical Slope ft/ft

**VELOCITY VECTOR:****CATTLEGUARD GRATE CAPACITY CALCULATION:****CATTLEGUARD UNDERLYING BOX CROSS-SECTION:****Input**

Depth 1.83 ft  
Slope 0.02 ft/ft  
Manning's n 0.013  
Base Width 3.33 ft  
Right Side Slope 0:1  
Left Side Slope 0:1

**Output**

Flow 89.9 cfs  
Flow Area 8.09 sf  
Velocity 14.9 fps  
Velocity Head 3.38 ft  
Top Width 3.33 ft  
Froude Number 1.92  
Critical Depth 2.829 ft  
Critical Slope 0.30654 ft/ft

**CROSS-SECTION 4:****Input**

Flow Slope 176 cfs 0.01333 ft/ft

| Sta   | Elev  | n     | Sta | Elev  |
|-------|-------|-------|-----|-------|
| 0     | 38.30 | 0.013 | 0   | 38.20 |
| 15.33 | 38.25 | 0.013 | 15  | 38.15 |
| 29.33 | 38.20 | 0.013 | 29  | 38.10 |
| 43    | 38.15 | 0.013 | 43  | 38.05 |
| 57    | 38.10 | 0.013 | 57  | 38.00 |
| 71    | 38.05 | 0.013 | 71  | 37.95 |



LEGEND

- ☐

TELEPHONE PEDESTAL
- ⊕

CABLE PEDESTAL
- ▬

BLOCK WALL
- ⊗

ELECTRIC PEDESTAL
- ⊗

WATER METER
- ⊗

LIGHT POLE
- ⊗

POWER POLE
- ⊗

POWER POLE WITH FEED
- ⊗

GUY-WIRE ANCHOR
- ⊗

HYDRANT
- ⊗

SEWER CLEANOUT
- ⊗

SANITARY SEWER MANHOLE
- ⊗

STORM SEWER MANHOLE
- ⊗

STORM DRAIN INLET
- ⊗

CHAIN LINK FENCE
- ⊗

WROUGHT IRON FENCE

⊗

ELECTRIC TRANSFORMER

⊗

BOLLARD

⊗

HANDICAP PARKING SPACE

⊗

HANDICAP PARKING SIGN

⊗

WATER VALVE

⊗

UTILITY PULL BOX

⊗

TRAFFIC SIGNAL CABINET

⊗

GUARD RAIL

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TRAFFIC SIGNAL BOX

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AUTO SPRINKLER

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SANITARY SEWER LINE

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STORM DRAIN LINE

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WATER LINE

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GAS LINE

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UNDERGROUND COMMUNICATION LINE

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UNDERGROUND ELECTRIC LINE

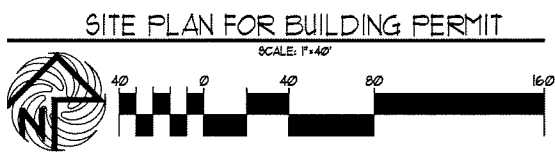
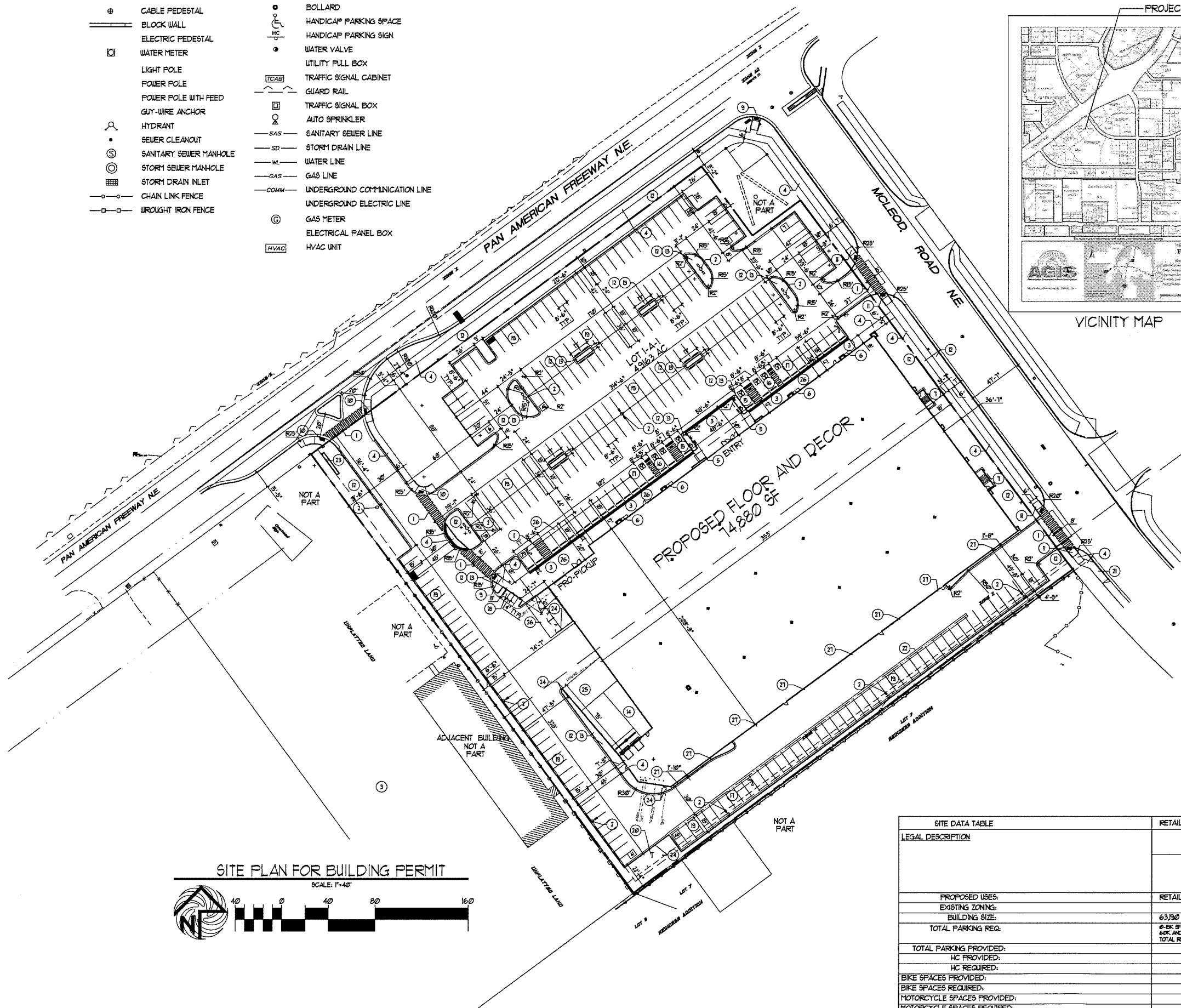
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GAS METER

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ELECTRICAL PANEL BOX

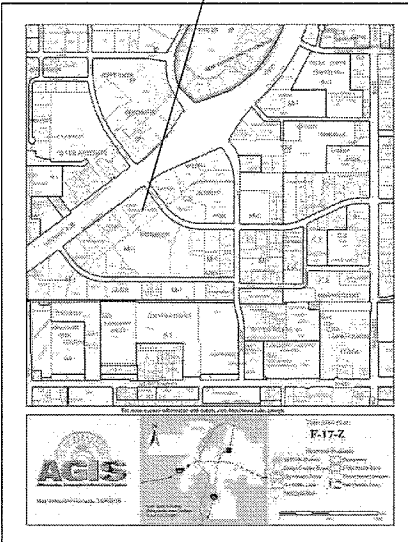
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HVAC UNIT

SITE PLAN FOR BUILDING PERMIT

SCALE: 1"=40'

PROJECT LOCATION



VICINITY MAP

KEYED NOTE:

- 1 8' PAINTED PEDESTRIAN CROSSWALK RE: DETAIL 5/AS103
- 2 LIGHT POLE LOCATION RE: DETAIL 1/AS102
- 3 CONC. SIDEWALK ADJACENT BLDG RE: DET 1/AS102
- 4 CONC. SIDEWALK RE: DET 4/AS102
- 5 INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 12/AS103
- 6 BENCH LOCATION RE: DETAIL 3/AS103
- 7 CONC. STAIR RUN WITH PAINTED HANDRAILING EA SIDE RE: BUILDING PLANS FOR DETAIL
- 8 HANDICAP RAMP RE: 10/AS102
- 9 HANDICAP RAMP RE: 11/AS102
- 10 HANDICAP RAMP RE: 12/AS102
- 11 HANDICAP RAMP RE: 6/AS102
- 12 INDICATES LANDSCAPE PLANTING AREA G.C. TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION
- 13 6" HIGH CONC. ISLAND RE: SITE GRADING PLAN FOR INFO
- 14 PROPOSED ROLL-OFF DUMPSTER LOCATION
- 15 H.C. PARKING STALL RE: DET 4/AS103
- 16 H.C. PARKING STALL RE: DET 6/AS103
- 17 WHEELSTOP RE: DET 1/AS103
- 18 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS, RE: SIGN DET. 11/AS103
- 19 PAINTED STRIPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPING SHALL BE 4" WHITE
- 20 PROPOSED TRANSFORMER LOCATION
- 21 EXISTING SIDEWALK TO REMAIN
- 22 CONCRETE SWALE RE: CIVIL FOR INFO
- 23 PROPOSED PYLON SIGN LOCATION
- 24 BOLLARD PAINTED SAFETY YELLOW RE: DET. 3/AS102
- 25 REINFORCED CONCRETE DOCK WELL AREA RE: STRUCTURAL FOR CONC. THICKNESS AND REINFORCEMENT REQUIREMENTS
- 26 CHAINLINK SLAB ENCLOSURE
- 27 INDICATES BLDG. DOWNSPOUT LOCATION

FOR INFORMATION ONLY

| SITE DATA TABLE             | RETAIL USES  | WAREHOUSE                | ALL USES (RETAIL/WAREHOUSE)       |
|-----------------------------|--|--------------------------|-----------------------------------|
| LEGAL DESCRIPTION           |  |                          |                                   |
| PROPOSED USES:              | RETAIL USES  | WAREHOUSE                | ALL USES (RETAIL/WAREHOUSE)       |
| EXISTING ZONING:            |  |                          |                                   |
| BUILDING SIZE:              | 63,300 SF  | 11,600 SF                | 14,880 SF                         |
| TOTAL PARKING REQ:          | 63,300 SF<br>@ 5K SF = 15 SPACES/ 40-60K SF = 100 SPACES<br>60K AND GREATER = 3/54 SF/SPR K=10 SPACES<br>TOTAL REQUIRED = 165 SPACES | 11,600/ 1,000 = 6 SPACES | TOTAL SPACES REQ= 211 SPACES      |
| TOTAL PARKING PROVIDED:     |  |                          | 213 SPACES PROVIDED               |
| HC PROVIDED:                |  |                          | 8 HC (INCLUDING 4 VAN ACCESSIBLE) |
| HC REQUIRED:                |  |                          | 8 HC SPACES                       |
| BIKE SPACES PROVIDED:       |  |                          | 15 BIKE SPACES                    |
| BIKE SPACES REQUIRED:       |  |                          | 13 BIKE SPACES                    |
| MOTORCYCLE SPACES PROVIDED: |  |                          | 5 MOTO SPACES                     |
| MOTORCYCLE SPACES REQUIRED: |  |                          | 5 MOTO SPACES                     |

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MODULUS ARCHITECTS

100 SUN AVE. N.W. SUITE 305

ALBUQUERQUE, NEW MEXICO 87102

PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE  
FLOOR AND DECOR  
PAN AMERICAN FREEWAY  
ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER  
STEPHEN DUNBAR, AIA

JOB NO.  
FD-1

DRAWN BY  
XXX

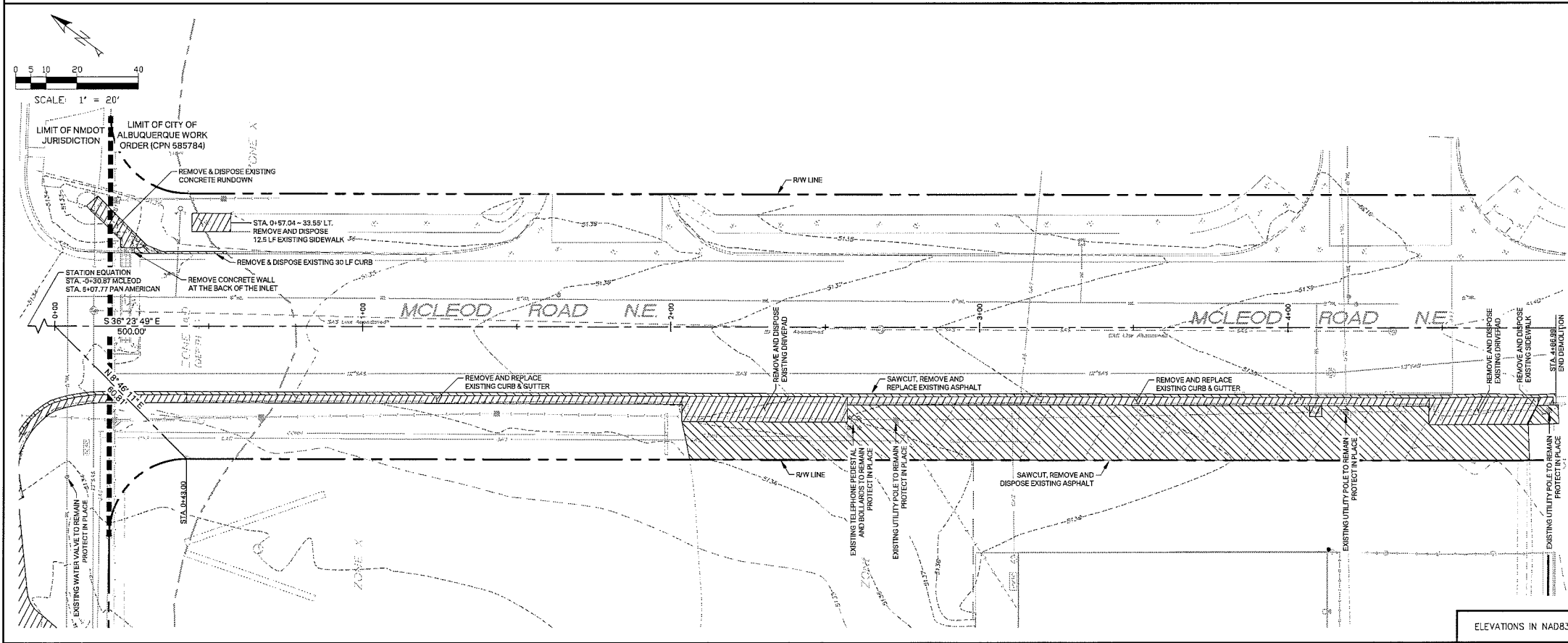
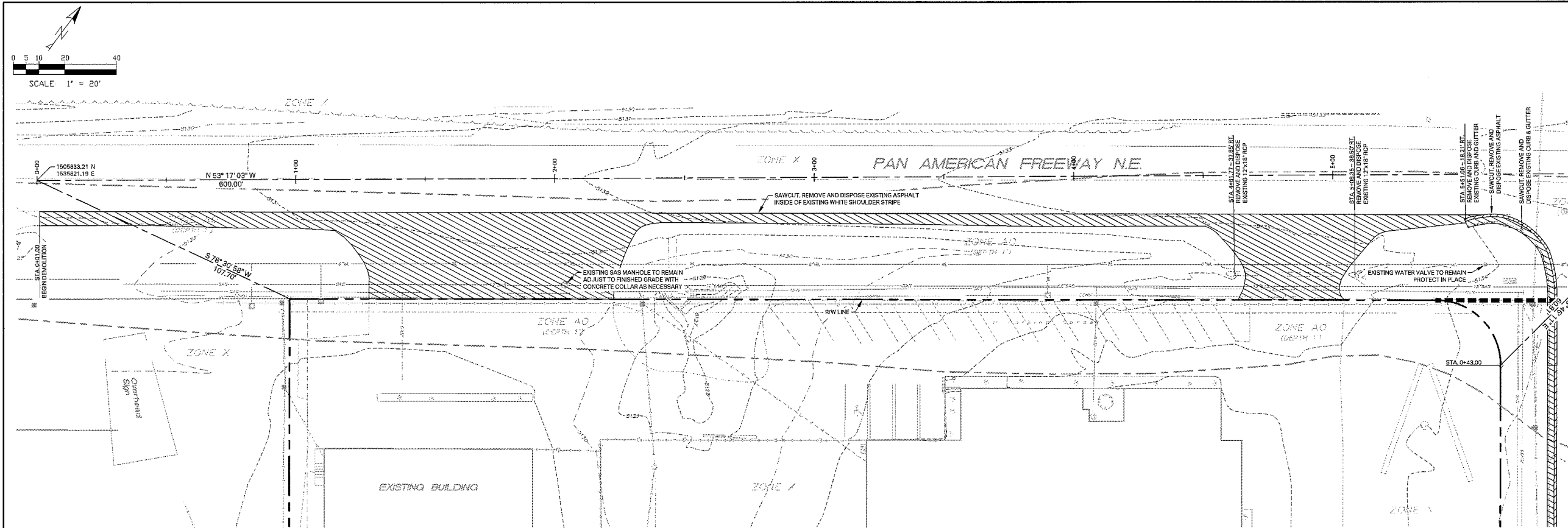
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3/5/11

SCALE  
RE: SCALE

AS101

SHEET TITLE  
SITE PLAN FOR BUILDING PERMIT





LEGEND  
[Hatched Box] PROPOSED DEMOLITION



TITLE: MCLEOD & I-25 EAST FRONTAGE IMPROVEMENTS  
DEMOLITION PLAN

Design Review Committee City Engineer Approval

Last Design Update

| Mo./Day/Yr. | Mo./Day/Yr. |
|-------------|-------------|
|             |             |
|             |             |
|             |             |

ELEVATIONS IN NAD83

CITY PROJECT NO.  
585784

ZONE MAP NO.  
F-17-Z

SHEET 8 OF 16

| SURVEY INFORMATION |    | BENCH MARKS |     | AS-BUILT INFORMATION        |      |
|--------------------|----|-------------|-----|-----------------------------|------|
| NO.                | BY | DATE        | NO. | CONTRACTOR                  | DATE |
|                    |    |             |     | CITY OF ALBUQUERQUE I-25-18 |      |
|                    |    |             |     | A MMSHC BRASS DISC SET IN   |      |
|                    |    |             |     | TOP OF A CONCRETE POST 0.3  |      |
|                    |    |             |     | FEET ABOVE GROUND LOCATED   |      |
|                    |    |             |     | 4.5 MILES NORTHEAST OF      |      |
|                    |    |             |     | DOWNTOWN ALBUQUERQUE.       |      |
|                    |    |             |     | ELEVATION 5128.34           |      |

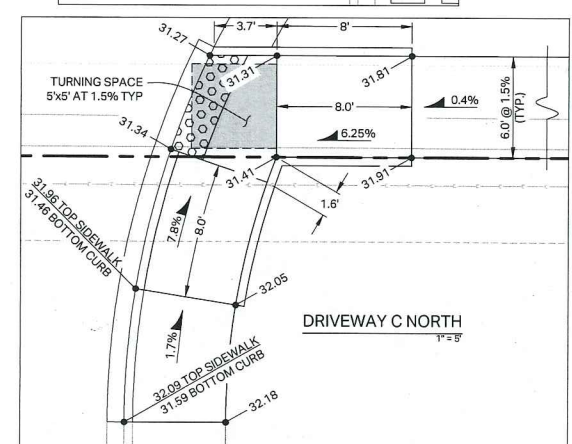
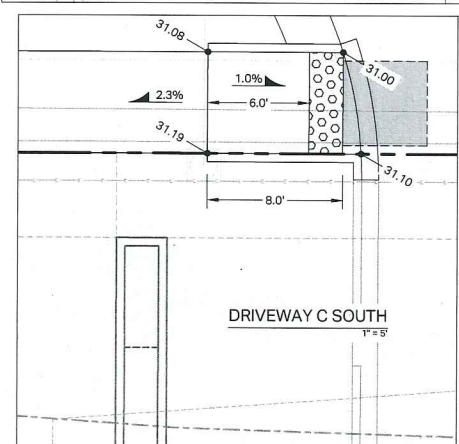
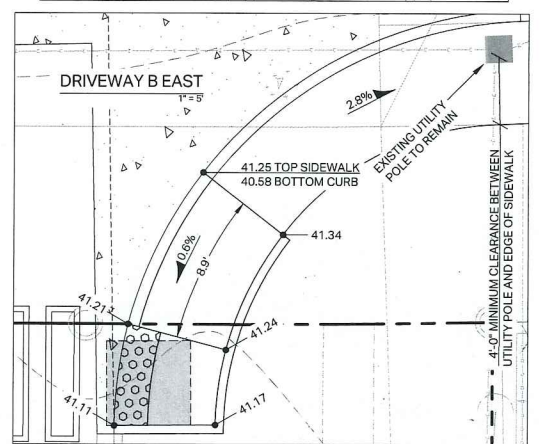
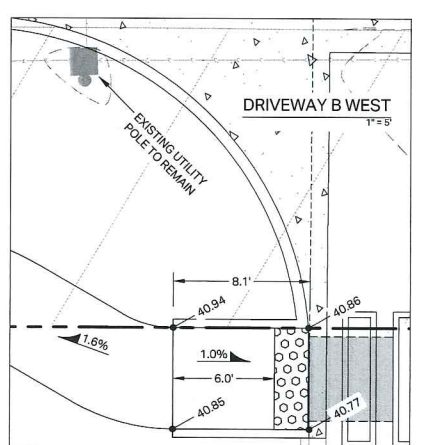
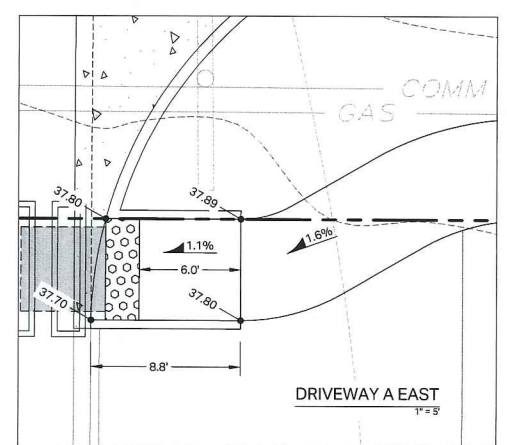
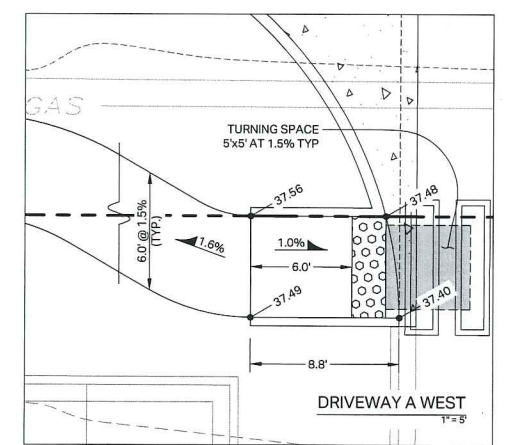
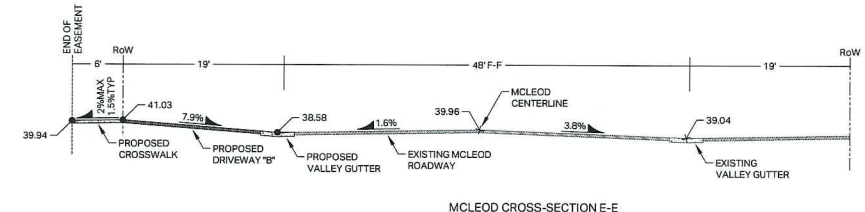
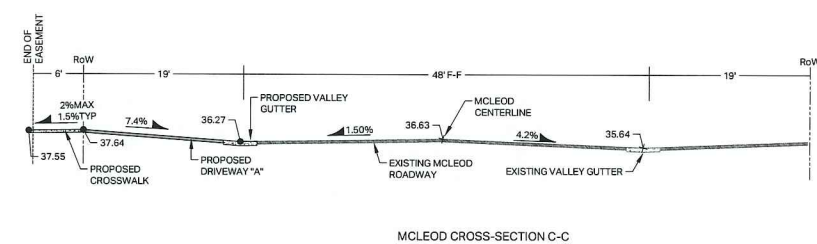
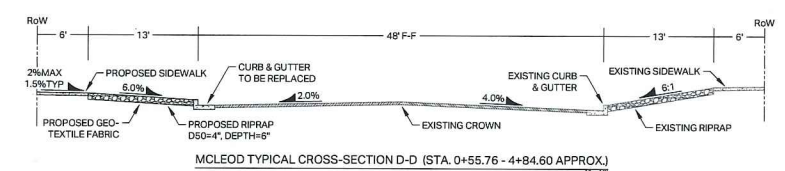
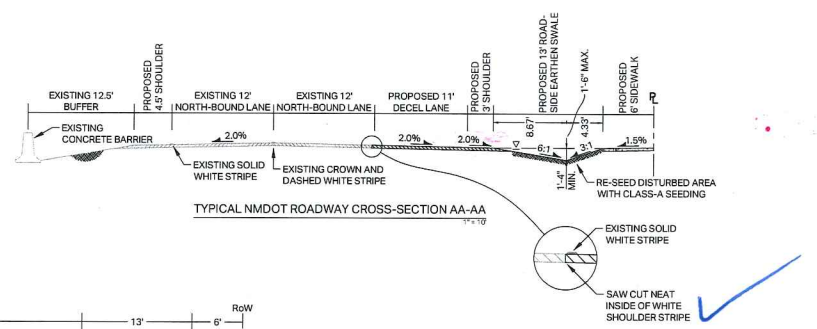
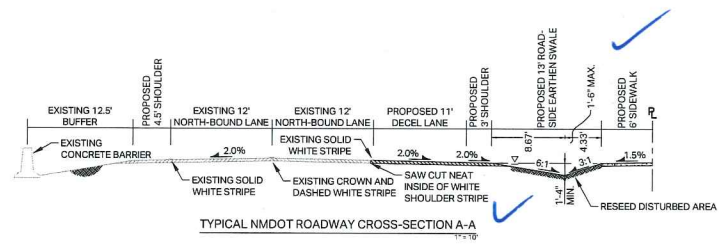
| REVISIONS |      | REMARKS |  |
|-----------|------|---------|--|
| NO.       | DATE | BY      |  |
|           |      |         |  |
|           |      |         |  |

|             |    |      |        |
|-------------|----|------|--------|
| DESIGNED BY | HF | DATE | 2/2018 |
| DRAWN BY    | JS | DATE | 2/2018 |
| CHECKED BY  | HF | DATE | 2/2018 |



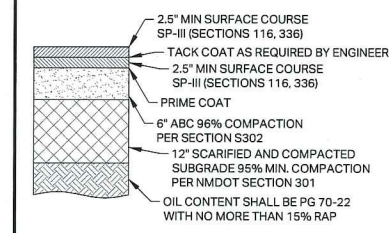




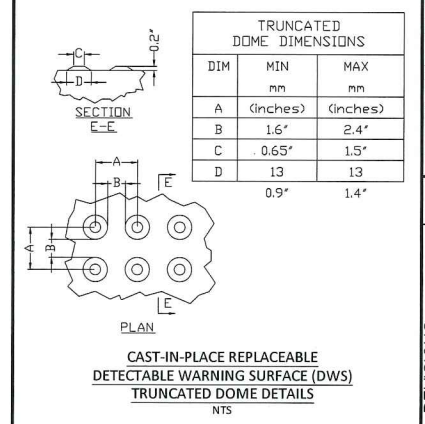


- GENERAL NOTES:
1. DETECTABLE WARNING SURFACES SHALL HAVE A 2" MINIMUM WIDTH AND SHALL BE CAST-IN-PLACE WITH REPLACEABLE DOMES. CONTRACTOR SHALL FIELD VERIFY THE EXISTING PUBLIC STREET PAVEMENT SECTIONS PRIOR TO CONSTRUCTION.
  2. ALL ADA RAMP SHALL HAVE A 8.3% MAXIMUM SLOPE. LANDING AREAS SHALL HAVE A 2.0% MAXIMUM SLOPE IN ALL DIRECTIONS.
  3. ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY DAMAGE AND REPAIRS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

NOTE:  
THIS PAVEMENT SECTION IS TO BE FOLLOWED UNLESS THE EXISTING SECTION IS GREATER.



PAN AMERICAN PAVEMENT SECTION  
NTS



CAST-IN-PLACE REPLACEABLE  
DETECTABLE WARNING SURFACE (DWS)  
TRUNCATED DOME DETAILS  
NTS

**RESPEC**  
WATER & NATURAL RESOURCES  
5971 JEFFERSON, STE 101  
ALBUQUERQUE, NM 87109  
PHONE (505) 366-4187

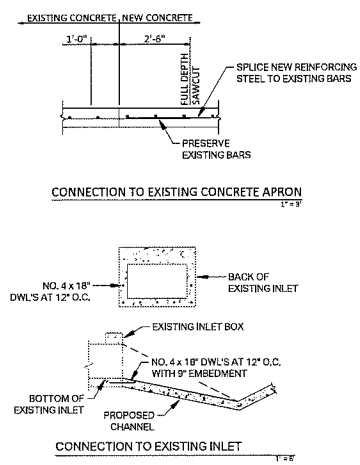
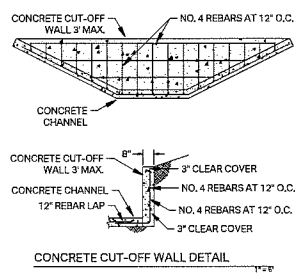
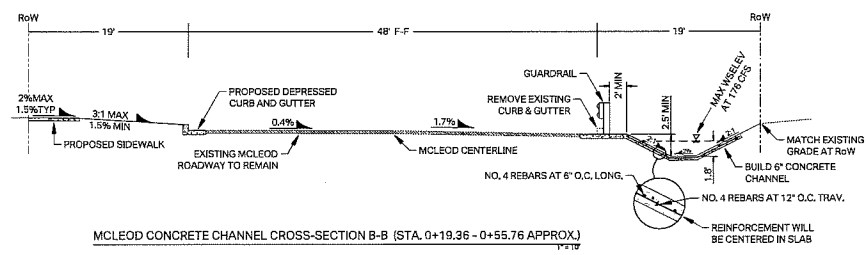
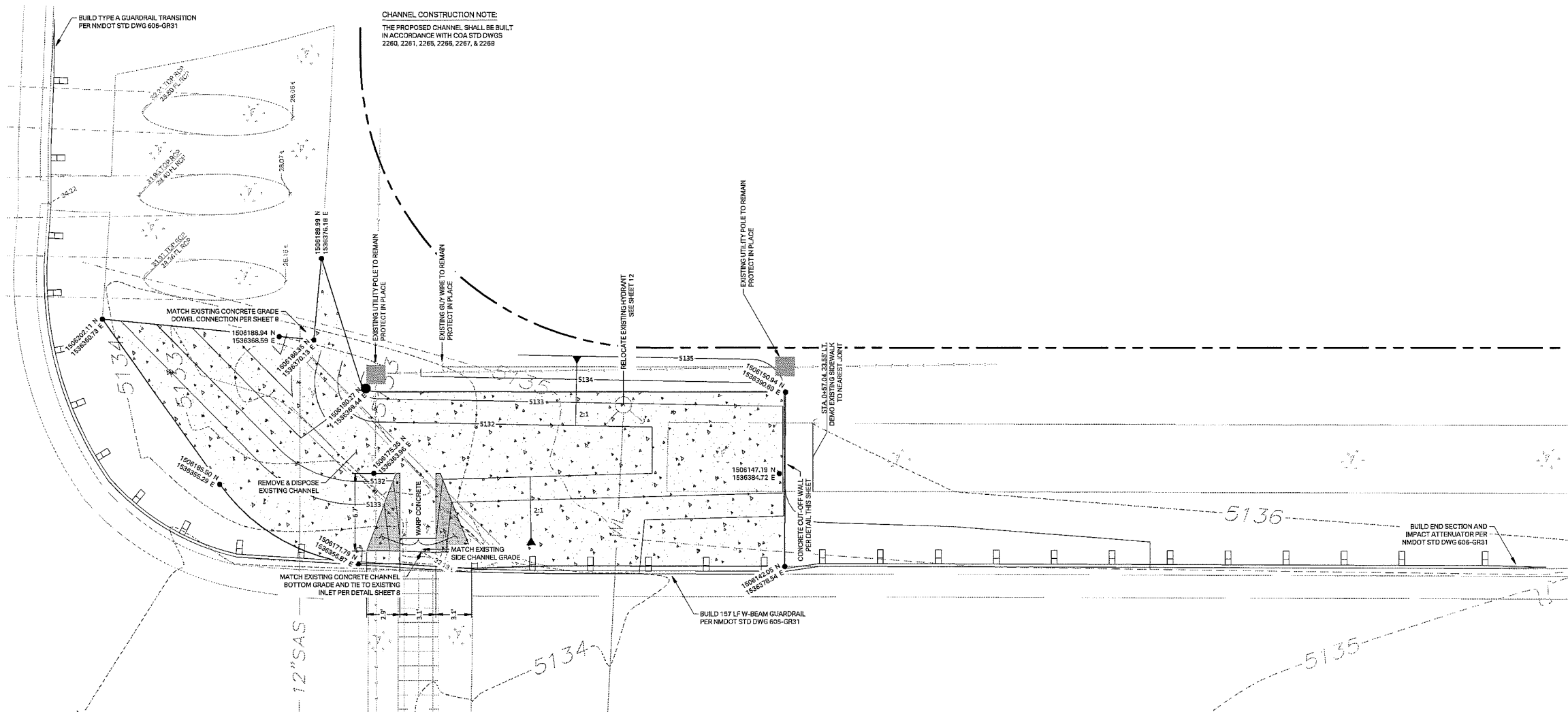
CITY OF ALBUQUERQUE  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ENGINEERING DIVISION

TITLE: MCLEOD & I-25 EAST FRONTAGE IMPROVEMENTS  
ROADWAY DETAILS

| Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. | Mo./Day/Yr. |
|-------------------------|------------------------|--------------------|-------------|-------------|
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |

CITY PROJECT NO. 585784  
ZONE MAP NO. F-17-Z  
SHEET 10 A OF 16





CITY OF ALBUQUERQUE  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ENGINEERING DIVISION

TITLE: MCLEOD & I-25 EAST FRONTAGE IMPROVEMENTS  
ROADWAY DETAILS

|                         |                        |                    |             |             |
|-------------------------|------------------------|--------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. | Mo./Day/Yr. |
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |

|                     |                            |                        |               |          |
|---------------------|----------------------------|------------------------|---------------|----------|
| ELEVATIONS IN NAD83 | CITY PROJECT NO.<br>585784 | ZONE MAP NO.<br>F-17-Z | SHEET<br>10 B | OF<br>16 |
|---------------------|----------------------------|------------------------|---------------|----------|

| SURVEY INFORMATION |    | BENCH MARKS |  | AS-BUILT INFORMATION         |  |
|--------------------|----|-------------|--|------------------------------|--|
| NO.                | BY | DATE        |  | CONTRACTOR                   |  |
|                    |    |             |  | CITY OF ALBUQUERQUE I-25-18. |  |
|                    |    |             |  | A NM5HC BRASS DISC SET IN    |  |
|                    |    |             |  | TOP OF A CONCRETE POST 0.3   |  |
|                    |    |             |  | FEET ABOVE GROUND LOCATED    |  |
|                    |    |             |  | 4.5 MILES NORTHEAST OF       |  |
|                    |    |             |  | DOWNTOWN ALBUQUERQUE.        |  |
|                    |    |             |  | ELEVATION 5128.34            |  |

|     |    |      |  |                              |  |
|-----|----|------|--|------------------------------|--|
| NO. | BY | DATE |  | CONTRACTOR                   |  |
|     |    |      |  | CITY OF ALBUQUERQUE I-25-18. |  |
|     |    |      |  | A NM5HC BRASS DISC SET IN    |  |
|     |    |      |  | TOP OF A CONCRETE POST 0.3   |  |
|     |    |      |  | FEET ABOVE GROUND LOCATED    |  |
|     |    |      |  | 4.5 MILES NORTHEAST OF       |  |
|     |    |      |  | DOWNTOWN ALBUQUERQUE.        |  |
|     |    |      |  | ELEVATION 5128.34            |  |



| REVISIONS | REMARKS | BY |
|-----------|---------|----|
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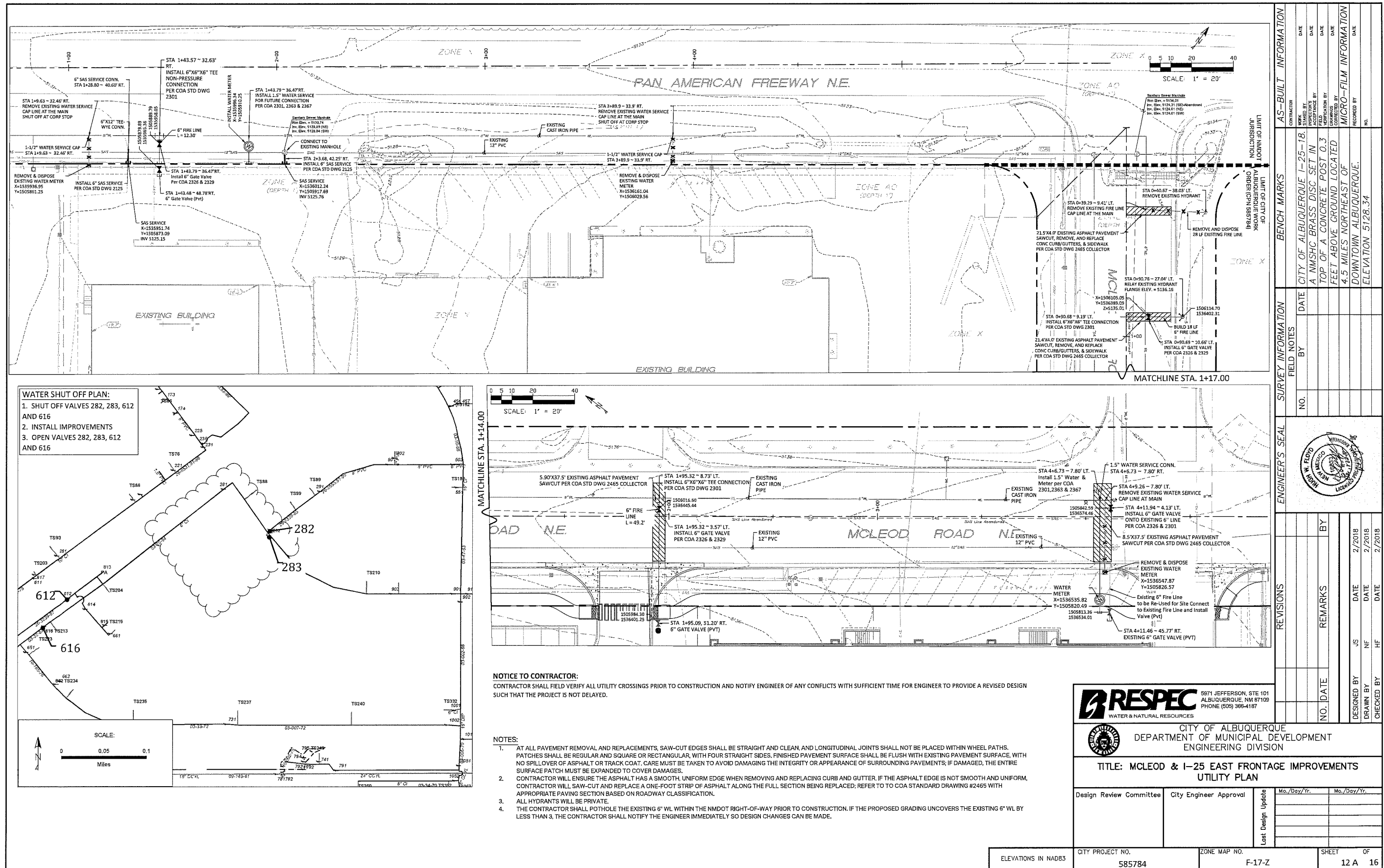
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|-----|------|----|
| NO. | DATE | BY |
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|             |      |        |
|-------------|------|--------|
| DESIGNED BY | DATE | 2/2018 |
| DRAWN BY    | DATE | 2/2018 |
| CHECKED BY  | DATE | 2/2018 |

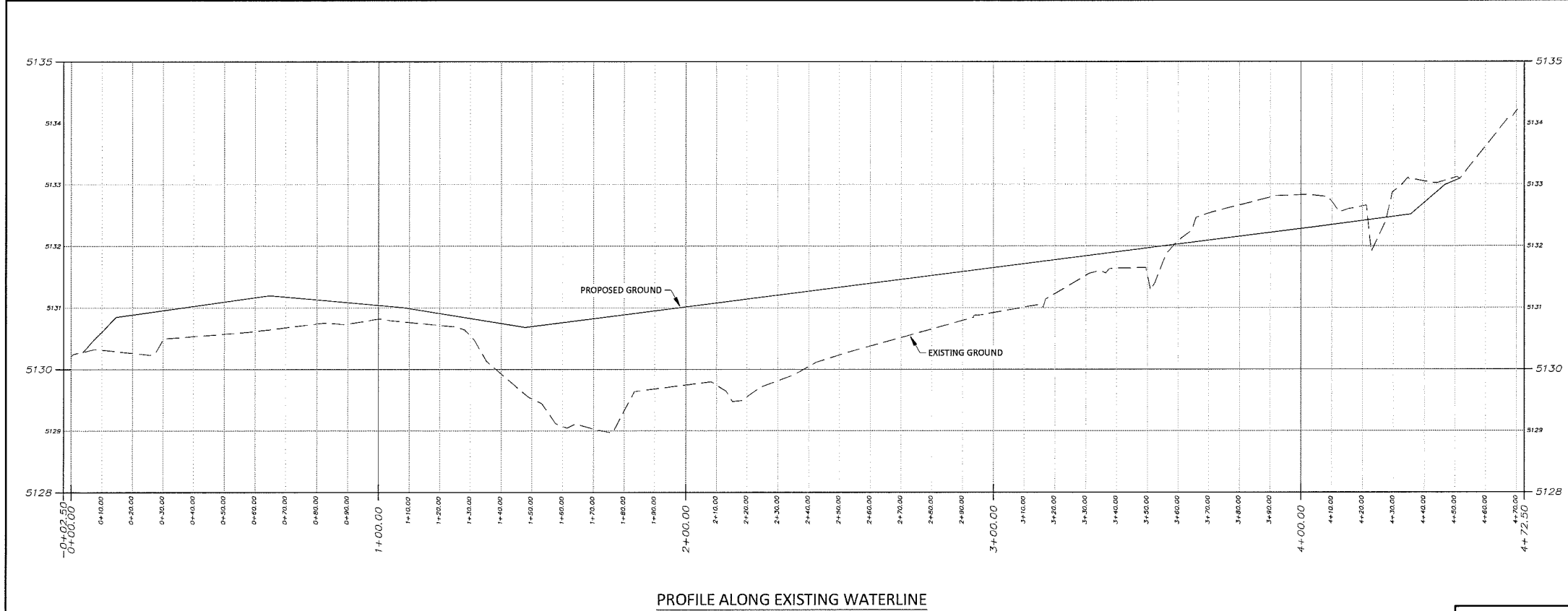
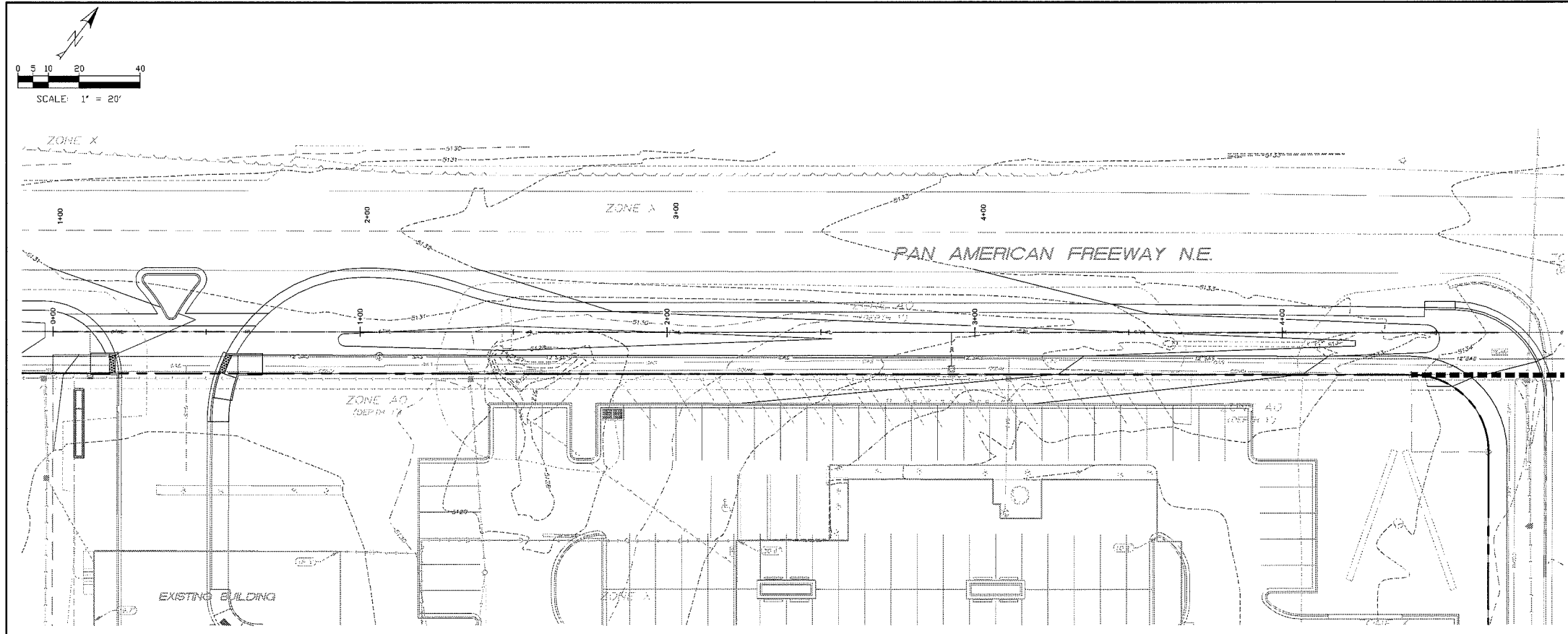


|                     |                            |                        |             |          |
|---------------------|----------------------------|------------------------|-------------|----------|
| ELEVATIONS IN NAD83 | CITY PROJECT NO.<br>585784 | ZONE MAP NO.<br>F-17-Z | SHEET<br>11 | OF<br>16 |
|---------------------|----------------------------|------------------------|-------------|----------|



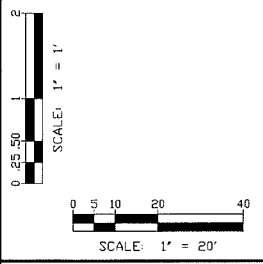






PROFILE ALONG EXISTING WATERLINE

ELEVATIONS IN NAD83



**RESPEC**  
WATER & NATURAL RESOURCES  
5971 JEFFERSON, STE 101  
ALBUQUERQUE, NM 87109  
PHONE (505) 966-4187

CITY OF ALBUQUERQUE  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ENGINEERING DIVISION

**TITLE: MCLEOD & I-25 EAST FRONTAGE IMPROVEMENTS  
UTILITY PLAN**

|                         |                        |                    |             |             |
|-------------------------|------------------------|--------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. | Mo./Day/Yr. |
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |
|                         |                        |                    |             |             |

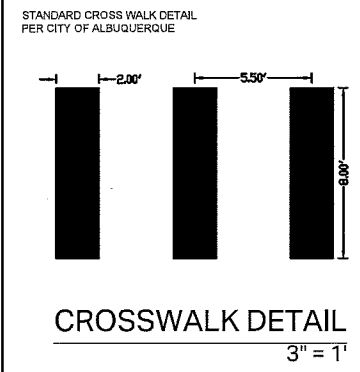
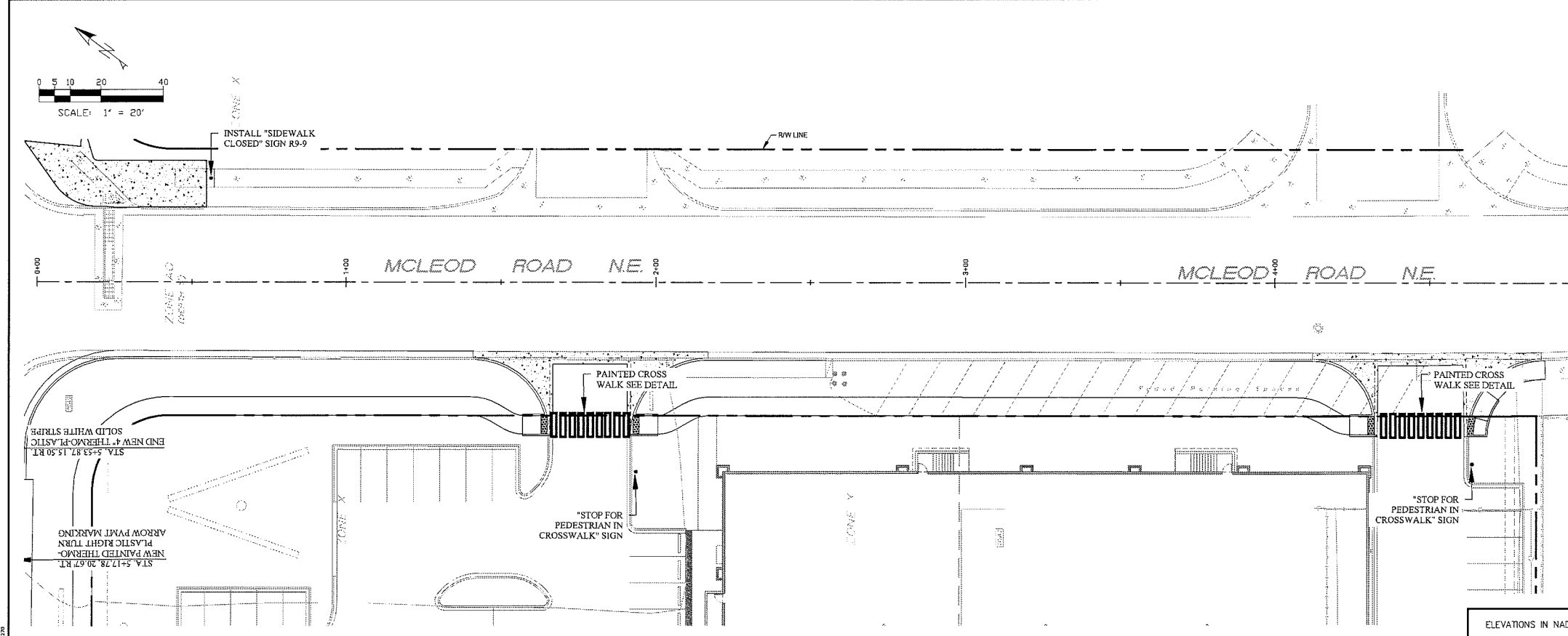
CITY PROJECT NO. 585784 ZONE MAP NO. F-17-Z SHEET 12 B OF 16


| SURVEY INFORMATION |    | BENCH MARKS |                             | AS-BUILT INFORMATION |      |
|--------------------|----|-------------|-----------------------------|----------------------|------|
| NO.                | BY | DATE        | CONTRACTOR                  | DATE                 | DATE |
|                    |    |             | CITY OF ALBUQUERQUE I-25-18 |                      |      |
|                    |    |             | A NMSHC BRASS DISC SET IN   |                      |      |
|                    |    |             | TOP OF A CONCRETE POST 0.3  |                      |      |
|                    |    |             | FEET ABOVE GROUND LOCATED   |                      |      |
|                    |    |             | 4.5 MILES NORTHEAST OF      |                      |      |
|                    |    |             | DOWNTOWN ALBUQUERQUE.       |                      |      |
|                    |    |             | ELEVATION 5128.34           |                      |      |



| REVISIONS |      | REMARKS |      |
|-----------|------|---------|------|
| NO.       | DATE | BY      | DATE |
|           |      |         |      |
|           |      |         |      |
|           |      |         |      |






 CITY OF ALBUQUERQUE  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
 ENGINEERING DIVISION

TITLE: MCLEOD & I-25 EAST FRONTAGE IMPROVEMENTS  
SIGNING AND STRIPING PLAN

|                            |                        |                        |             |                   |
|----------------------------|------------------------|------------------------|-------------|-------------------|
| Design Review Committee    | City Engineer Approval | Last Design Update     | Mo./Day/Yr. | Mo./Day/Yr.       |
|                            |                        |                        |             |                   |
|                            |                        |                        |             |                   |
|                            |                        |                        |             |                   |
|                            |                        |                        |             |                   |
| CITY PROJECT NO.<br>585784 |                        | ZONE MAP NO.<br>F-17-Z |             | SHEET OF<br>13 16 |









# **TRAFFIC CONTROL**

**ACORD**<sup>TM</sup>**CERTIFICATE OF LIABILITY INSURANCE**

DATE (MM/DD/YYYY)

1/23/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer any rights to the certificate holder in lieu of such endorsement(s).

|  |  |
|--|--|
| PRODUCER<br><b>USI Southwest Inc. NM - CL</b><br><b>4100 Osuna Road NE Suite 2-203</b><br><b>Albuquerque, NM 87109</b><br><b>505 262-2621</b>            | CONTACT NAME: <b>Hilton Stout</b><br>PHONE (A/C, No, Ext): <b>505 262-2621</b> FAX (A/C, No): <b>855-512-3881</b><br>E-MAIL ADDRESS: <b>Hilton.Stout@usi.com</b> |
| INSURED<br><b>4404 McLeod &amp; I-25 LLC</b><br><b>% Maestas Development Group</b><br><b>6801 Jefferson NE Suite 300</b><br><b>Albuquerque, NM 87109</b> | INSURER(S) AFFORDING COVERAGE<br>INSURER A : CNA Insurance Comp. NAIC # <b>20443</b><br>INSURER B :<br>INSURER C :<br>INSURER D :<br>INSURER E :<br>INSURER F :  |

**COVERAGES****CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| INSR LTR | TYPE OF INSURANCE   | ADDL SUBR INSR WVD | POLICY NUMBER     | POLICY EFF (MM/DD/YYYY) | POLICY EXP (MM/DD/YYYY) | LIMITS  |
|----------|---|--------------------|-------------------|-------------------------|-------------------------|---|
| <b>A</b> | <b>COMMERCIAL GENERAL LIABILITY</b><br><input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR<br>GEN'L AGGREGATE LIMIT APPLIES PER:<br><input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC<br>OTHER: | <b>X</b>           | <b>6057296148</b> | <b>01/23/2018</b>       | <b>01/23/2019</b>       | EACH OCCURRENCE \$ <b>1,000,000</b><br>DAMAGE TO RENTED PREMISES (Ea occurrence) \$ <b>50,000</b><br>MED EXP (Any one person) \$ <b>5,000</b><br>PERSONAL & ADV INJURY \$ <b>1,000,000</b><br>GENERAL AGGREGATE \$ <b>2,000,000</b><br>PRODUCTS - COMP/OP AGG \$ <b>2,000,000</b> |
|          | <b>AUTOMOBILE LIABILITY</b><br><input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY<br><input type="checkbox"/> HIRED AUTOS ONLY<br><input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY   |                    |                   |                         |                         | COMBINED SINGLE LIMIT (Ea accident) \$<br>BODILY INJURY (Per person) \$<br>BODILY INJURY (Per accident) \$<br>PROPERTY DAMAGE (Per accident) \$   |
|          | <b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR<br><b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE<br>DED <input type="checkbox"/> RETENTION \$   |                    |                   |                         |                         | EACH OCCURRENCE \$<br>AGGREGATE \$  |
|          | <b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b><br>ANY PROPRIETOR/PARTNER/EXECUTIVE/OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y/N<br>(Mandatory in NH)<br>If yes, describe under DESCRIPTION OF OPERATIONS below   | <b>N/A</b>         |                   |                         |                         | PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/><br>E.L. EACH ACCIDENT \$<br>E.L. DISEASE - EA EMPLOYEE \$<br>E.L. DISEASE - POLICY LIMIT \$  |

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The General Liability policy includes an additional insured endorsement that provides additional insured status to the Certificate holder only with regard to the to the above referenced.

**CERTIFICATE HOLDER****CANCELLATION**

**Mr. Tim Trujillo District 3 Drainage Engineer**  
**NMDOT-District Three**  
**7500 Pan American Freeway NE**  
**PO Box 91750**  
**Albuquerque, NM 87199-1750**

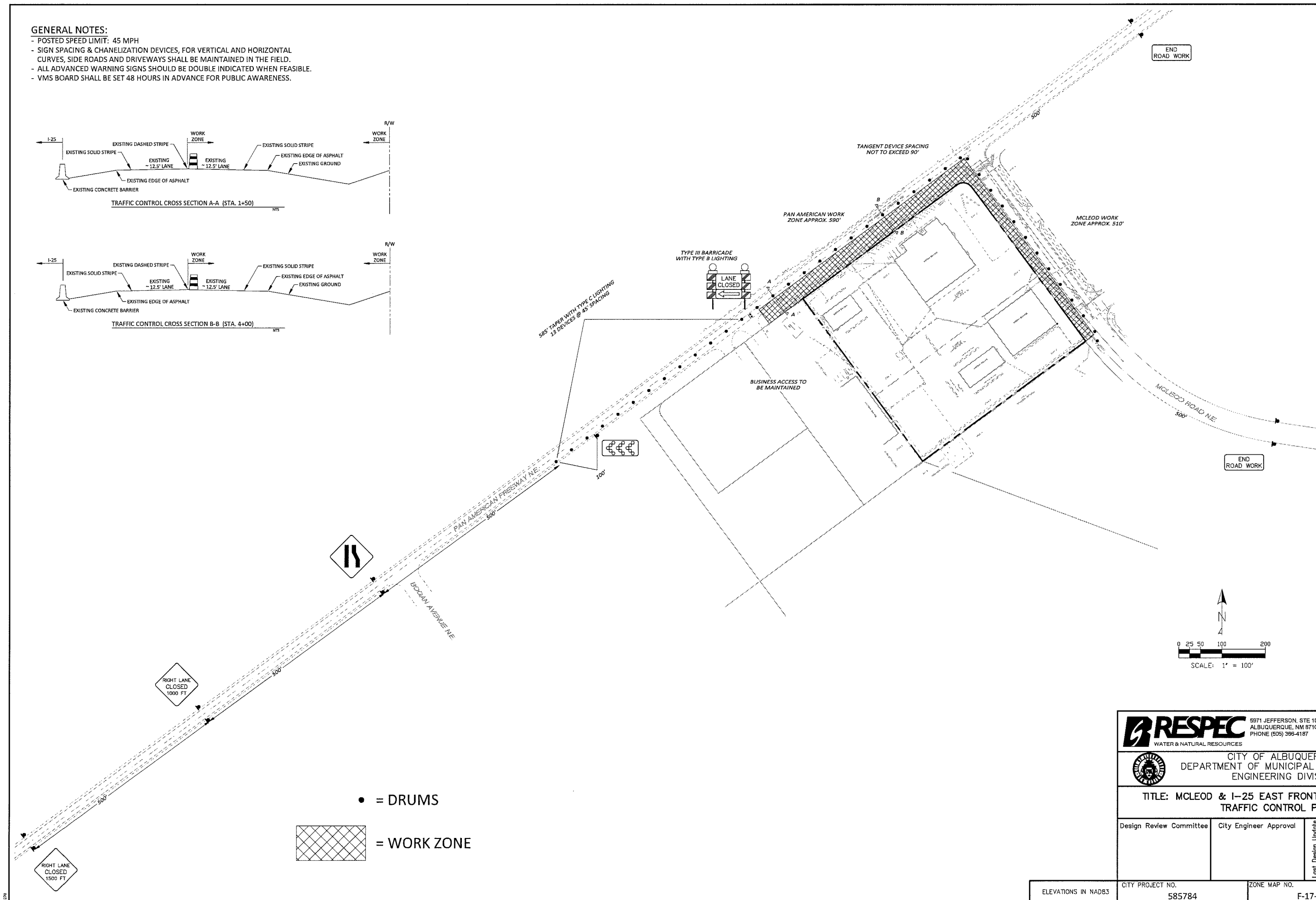
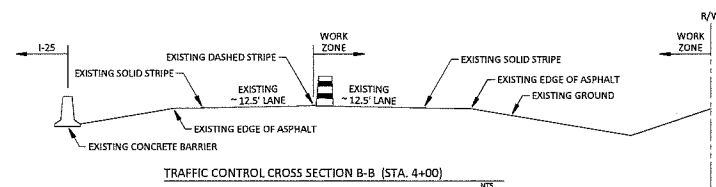
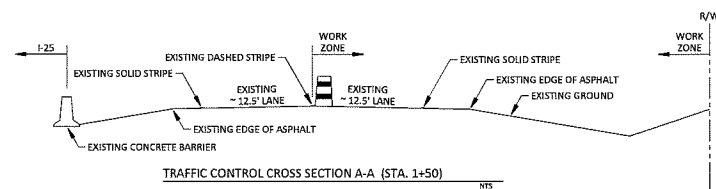
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

*Anthony J. Davis*

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| REVISIONS |  |  |  | ENGINEER'S SEAL |  | SURVEY INFORMATION |    | BENCH MARKS |                              | AS-BUILT INFORMATION |  |
|-----------|--|--|--|-----------------|--|--------------------|----|-------------|------------------------------|----------------------|--|
|           |  |  |  |                 |  | FIELD NOTES        |    |             |                              | CONTRACTOR           |  |
|           |  |  |  |                 |  | NO.                | BY | DATE        | CITY OF ALBUQUERQUE 1-25-18. |                      |  |
|           |  |  |  |                 |  |                    |    |             | A NMSHC BRASS DISC SET IN    |                      |  |
|           |  |  |  |                 |  |                    |    |             | TOP OF A CONCRETE POST 0.3   |                      |  |
|           |  |  |  |                 |  |                    |    |             | FEET ABOVE GROUND LOCATED    |                      |  |
|           |  |  |  |                 |  |                    |    |             | 4.5 MILLS NORTHEAST OF       |                      |  |
|           |  |  |  |                 |  |                    |    |             | DOWNTOWN ALBUQUERQUE.        |                      |  |
|           |  |  |  |                 |  |                    |    |             | ELEVATION 5128.34            |                      |  |
|           |  |  |  |                 |  |                    |    |             | NO.                          |                      |  |

PROFESSIONAL ENGINEER  
NEW MEXICO  
1953  
W. FLUID  
LICENSE NO. 11387

DESIGNED BY HF DATE 2/2018

DRAWN BY JS DATE 2/2018

STAGE IMPROVEMENTS PLAN

ROQUE DEVELOPMENT

SION

Ms./Day/Yr.

Ms./Day/Yr.

SHEET

15

OF

# **TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

1017 061 171275 30929  
1017 061 180258 30927

*[Signature]*  
Bernalillo County Treasurer

2/15/18  
Date

## **PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

## **DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

## **PURPOSE OF PLAT:**

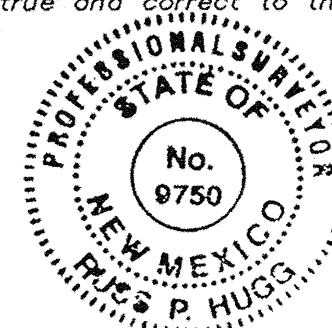
The purpose of this Plat is to:

- Combine 2 existing Lots into 1 new Lot as shown hereon.
- To acknowledge the vacation of the previous Private Blanket Access Easement granted by plat filed July 7, 2017 which was VACATED BY 17DRB-10234.
- To acknowledge and show the new Private Blanket Access Easement recorded by separate document as noted hereon.
- Grant the Public easements as shown hereon.

## **SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
October 18, 2017



PLAT OF

LOT 1-A-1

**NORRIS AND MARGARET PENNY ADDITION**

(BEING A REPLAT OF LOTS 1-A AND 2,  
NORRIS AND MARGARET PENNY ADDITION)

SITUATE WITHIN

**THE ELENA GALLEGOS GRANT**

WITHIN

**PROJECTED SECTION 35, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN**

**CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO**

OCTOBER, 2017

PROJECT NUMBER: 1010327

## **PLAT APPROVAL**

### **UTILITY APPROVALS:**

*[Signature]*  
Public Service Company of New Mexico

11-2-17  
Date

*[Signature]*  
New Mexico Gas Company

10-25-17  
Date

*[Signature]*  
Qwest Corporation d/b/a CenturyLink QC.

10/25/2017  
Date

*[Signature]*  
Comcast

10/25/17  
Date

### **CITY APPROVALS:**

*[Signature]* Steven N. Risenhoover P.S.  
City Surveyor  
Department of Municipal Development

10/23/17  
Date

*[Signature]*  
Real Property Division

2/14/18  
Date

*[Signature]*  
Environmental Health Department

2/14/18  
Date

*[Signature]*  
Traffic Engineering, Transportation Division

2/14/18  
Date

*[Signature]*  
ABCWUA

2/14/18  
Date

*[Signature]*  
Parks and Recreation Department

2/14/18  
Date

*[Signature]*  
AMAPCA

2/6/18  
Date

*[Signature]*  
City Engineer

2/14/2018  
Date

*[Signature]*  
DRB Chairperson, Planning Department

2-14-18  
Date

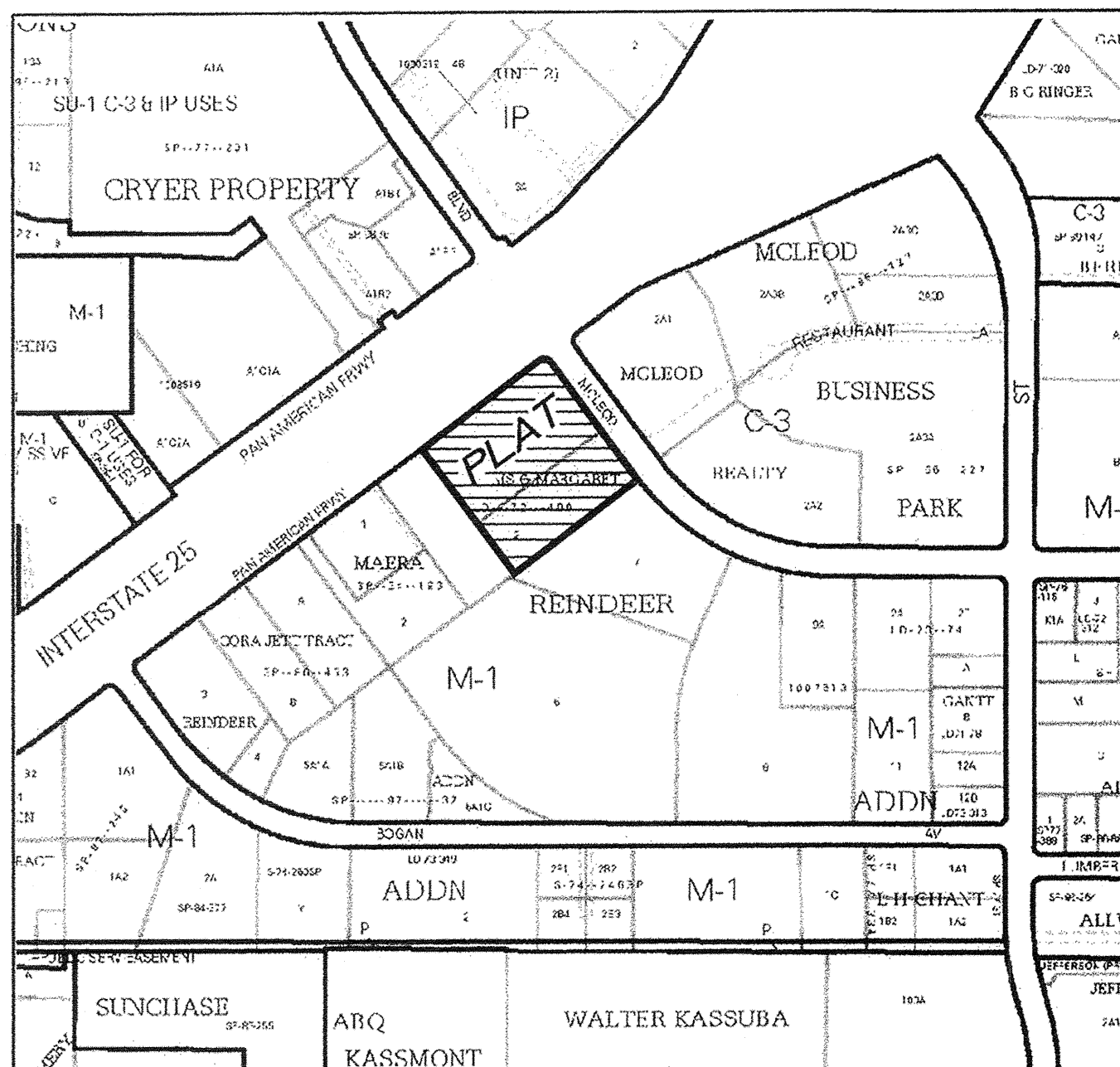
DOCH 2018013790

02/15/2018 11:01 AM Page: 1 of 3  
PLAT R. \$25.00 B: 2018013790 Linda Stover, Bernalillo County

SHEET 1 OF 3

**SURV TEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366  
Fax: 505-897-3377



VICINITY MAP  
Not To Scale

## **GENERAL NOTES**

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ( ).
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page F-17.

## **SUBDIVISION DATA**

- Total number of existing Lots: 2
- Total number of Lots created: 1
- Additional Public Right of way dedicated 0 Ac.
- Gross Subdivision acreage: 4.9163 acres.

## **SHEET INDEX**

- |              |  |
|--------------|--|
| SHEET 1 OF 3 | Approvals, General Notes, Etc...               |
| SHEET 2 OF 3 | Legal Description, Free consent and dedication |
| SHEET 3 OF 3 | Existing Plat Boundary                         |



PLAT OF  
LOT 1-A-1  
NORRIS AND MARGARET PENNY ADDITION  
(BEING A REPLAT OF LOTS 1-A AND 2,  
NORRIS AND MARGARET PENNY ADDITION)

SITUATE WITHIN  
THE ELENA GALLEGOS GRANT  
WITHIN  
PROJECTED SECTION 35, TOWNSHIP 11 NORTH, RANGE 3 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
OCTOBER, 2017

LEGAL DESCRIPTION

Lot 1-A, NORRIS AND MARGARET PENNY ADDITION, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on July 7, 2017, in Plat Book 2017C, Page 78  
AND  
Lot 2, NORRIS AND MARGARET PENNY ADDITION, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on December 11, 1972, in Plat Volume B7, folio 75.

Said parcel contains 4.9163 Acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF LOT 1-A-1, NORRIS AND MARGARET PENNY ADDITION (BEING A REPLAT OF LOTS 1-A AND 2, MORRIS AND MARGARET PENNY ADDITION) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

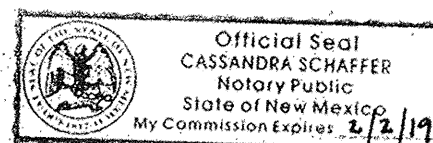
4404 Mcleod, LLC  
a New Mexico limited liability company

By: Steve Maestas, Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 23<sup>rd</sup> day  
of October 2017, by Steve Maestas, as Manager  
of 4404 Mcleod, LLC.



[Signature]  
Notary Public

02/02/2019  
My commission expires

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY

- Plat entitled "PLAT OF LOT 1-A-1, NORRIS AND MARGARET PENNY ADDITION (BEING A REPLAT OF LOTS 1-A AND 2, MORRIS AND MARGARET PENNY ADDITION) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO" filed July 7, 2017, Plat Book 2017C, Page 78, records of Bernalillo County, New Mexico.
- Plat entitled "PLAT OF LOTS 1 & 2 OF NORRIS AND MARGARET PENNY ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, NOVEMBER 21, 1972", filed December 11, 1972, Volume B7, Folio 75, records of Bernalillo County, New Mexico.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS  
ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

FLOOD ZONE DETERMINATION

The smaller Northwestern portion of the property, excluding the buildings, appears to lie within Flood Zone "AO" (Depth 1'), [Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.]; the larger Southeastern portion of the property, including all buildings, appears to lie within Flood Zone "X", (areas determined to be outside 0.2% annual chance floodplain), in accordance with the National Flood Insurance Programs Rate Map No. 35001C0138 H, Effective Date 8-16-2012.

DOCH 2018013790  
02/15/2018 11:01 AM Page: 2 of 3  
PLAT R-325.00 S-2018C S-0016 Linda Stover, Bernalillo County

SHEET 2 OF 3

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| CURVE TABLE |        |         |         |        |               |
|-------------|--------|---------|---------|--------|---------------|
| CURVE       | LENGTH | RADIUS  | TANGENT | CHORD  | CHORD BEARING |
| C1          | 24.10' | 743.00' | 12.05'  | 24.10' | S36°47'33"E   |
| C2          | 9.32'  | 743.00' | 4.66'   | 9.32'  | S36°13'21"E   |

| LINE TABLE |        |             |
|------------|--------|-------------|
| LINE       | LENGTH | BEARING     |
| L1         | 16.93  | S13°48'54"E |
| L2         | 46.04  | S36°23'49"E |
| L3         | 16.93  | S58°58'45"E |
| L4         | 16.93  | S13°48'54"E |
| L5         | 45.76  | S36°26'06"E |
| L6         | 6.54   | N63°20'54"E |

PLAT OF  
**LOT 1-A-1**  
**NORRIS AND MARGARET PENNY ADDITION**  
 (BEING A REPLAT OF LOTS 1-A AND 2,  
 NORRIS AND MARGARET PENNY ADDITION)

SITUATE WITHIN  
**THE ELENA GALLEGOS GRANT**  
 WITHIN

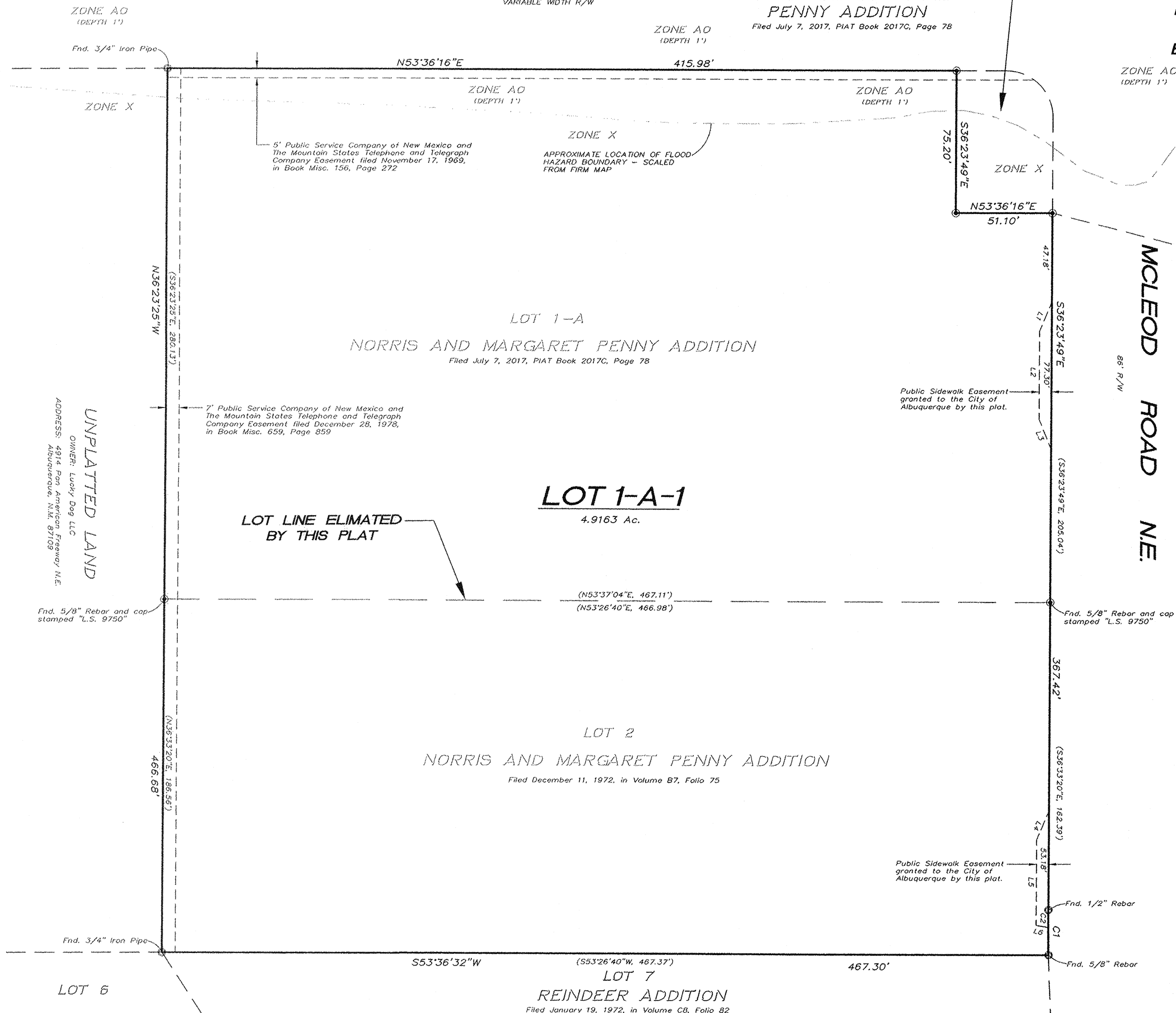
**PROJECTED SECTION 35, TOWNSHIP 11 NORTH, RANGE 3 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

**PAN AMERICAN FREEWAY N.E.**

(I-25 FRONTAGE ROAD - NORTH)  
 VARIABLE WIDTH R/W

**LOT 1-B**  
**NORRIS AND MARGARET PENNY ADDITION**  
 Filed July 7, 2017, PIAT Book 2017C, Page 78

OCTOBER, 2017



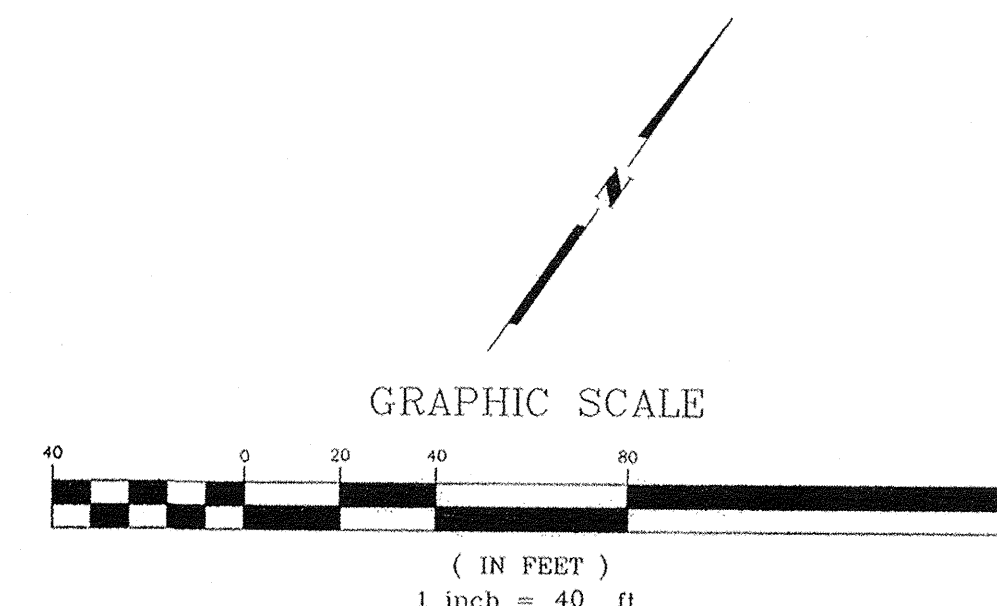
ALBUQUERQUE CONTROL SURVEY  
 MONUMENT "8-F18R"  
 N.M. State Plane Coordinates  
 (Central Zone = NAD83)  
 N=1,508,127.905 US Survey feet  
 E=1,541,450.788 US Survey feet  
 Elev.= 5235.657 US Survey feet (NAVD 88)  
 Delta Alpha = -00°11'26.03"  
 Ground to Grid Factor = 0.999664658

**EASEMENT NOTE**

The Private Blanket Access Easement across Lot 1-A for the benefit and use of adjoining Lots 1-B and 2 that was granted by the previous plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 7, 2017 in Plat Book 2017C, Page 78 as Document # 2017065629 is hereby VACATED by 17DRB-70294. Lot 2 is being combined with Lot 1-A with this platting action and an access easement for the benefit of Lot 1-B has been recorded by a separate document in the Office of the County Clerk of Bernalillo County, New Mexico on November 23, 2017 as Document # 2017101192.

**NMDOT ACCESS NOTE**

Should Lot 1-A-1 be further subdivided in the future to create separate parcels or pad sites, no additional access will be granted by NMDOT to Pan American Freeway N.E. Ingress and Egress easements shall be required to allow any future parcels or pad sites access to the permitted driveway location.



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