

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

May 2, 2024

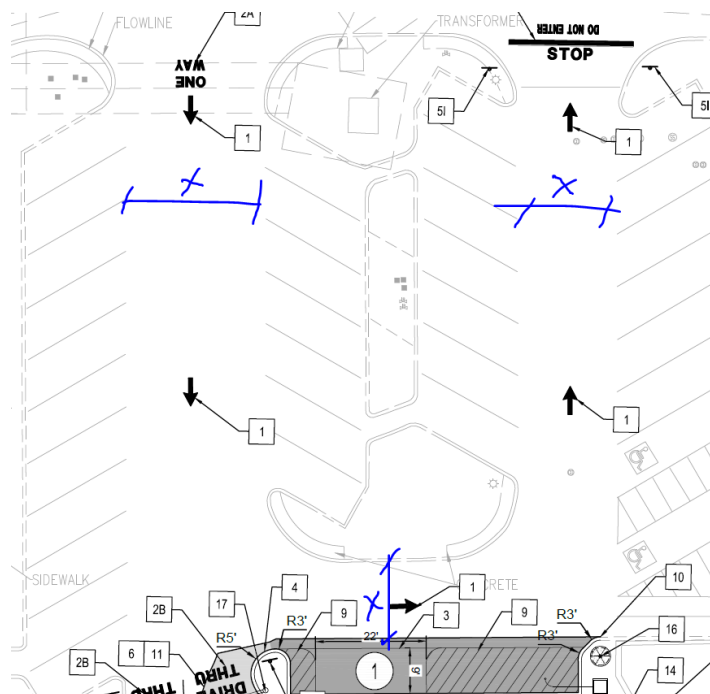
Andrew Wilson  
Bowman  
11475 Great Oaks Way  
Alpharetta, GA 30022

**Re: CHICK-FIL-A**  
**5031 Montgomery Blvd. NE**  
**Traffic Circulation Layout**  
Engineer's Stamp 04-09-24 (F17-D034)

Dear Mr. Wilson,

Based upon the information provided in your submittal received 04-19-24, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map on the site plan sheet C-2.0 showing the location of the development in relation to streets and well-known landmarks.
2. List the number of Motorcycle and Bicycle parking spaces required by the IDO.
3. Please show on the site plan, the required stacking spaces for the drive-thru lanes.
4. Please list the degree, width and length for all existing parking spaces. Some dimensions are not shown. See attached Angled Parking dimensions requirements for reference.
5. Show on the site plan the existing drive aisles width.



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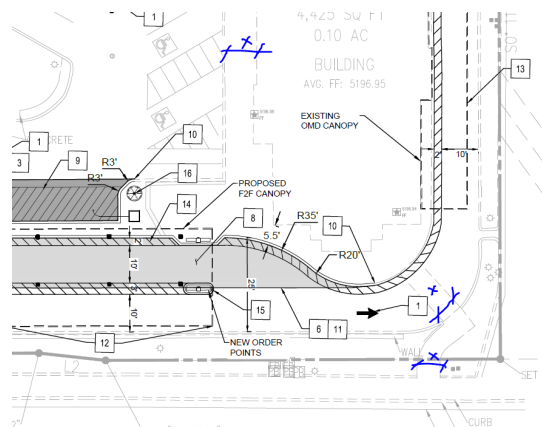
6. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
7. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1. B NMSA 1978)
8. Please provide all the existing ADA ramps details (width, running and cross slopes). ADA curb ramps must be updated to current standards and have truncated domes installed.
9. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
10. All bicycle racks shall be designed according to the following guidelines:
  - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
  - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
  - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
  - d. The rack allows varying bicycle frame sizes and styles to be attached.
  - e. The user is not required to lift the bicycle onto the bicycle rack.
  - f. Each bicycle parking space is accessible without moving another bicycle.
11. Bicycle racks shall be sturdy and anchored to a concrete pad.
12. A 1-foot clear zone around the bicycle parking stall shall be provided.
13. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
14. Please show on the site plan these dimensions.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



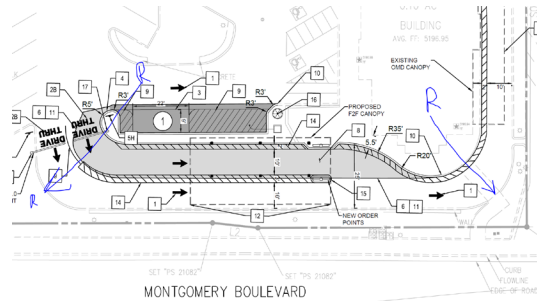
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15. The minimum drive through lane width is 12 feet with a 25-foot minimum radius (inside edge) for all turns. (A 15-foot radius can be used with an increase in lane width to 14 feet). Please dimension all lane widths and radii.



16. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
17. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).

18. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

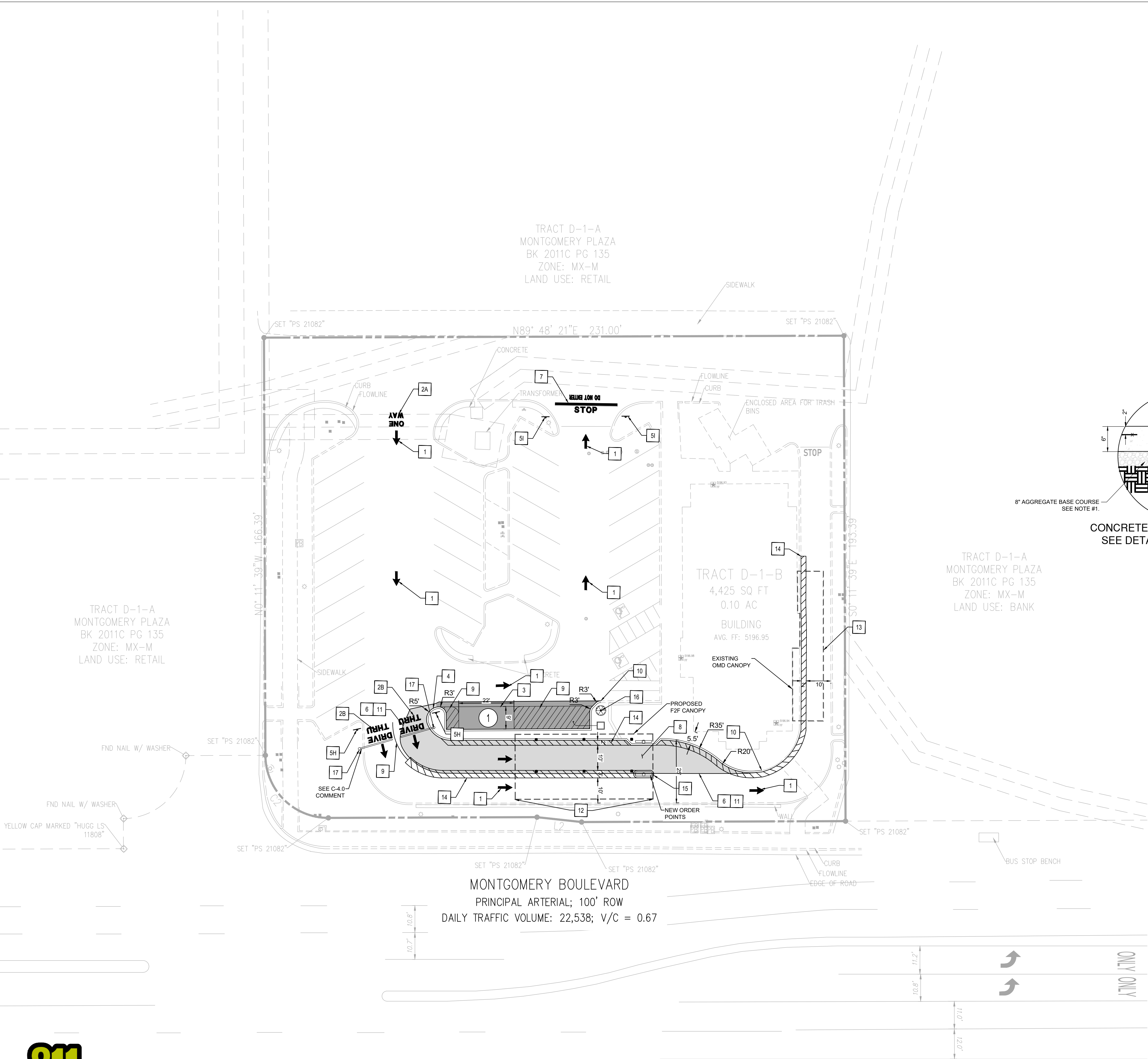
\ma via: email  
C: CO Clerk, File



April 9, 2024  
C-2.0 - SITE PLAN  
File Path: V:\010014 - Chick-fil-A\010014-01-217 (ENG) - CFA 02793 Montgomery San Mateo Albuquerque\Engineering\Planes\Sheet Set\010014-01-217 - C-2.0 SITE PLAN.dwg  
This document, together with the contract and all other documents, shall be read in conjunction with the contract documents and shall be read in conjunction with the contract documents. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM BOWMAN CONSULTING GROUP, INC. (BCG). BCG SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING GROUP, INC. FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DOCUMENT.



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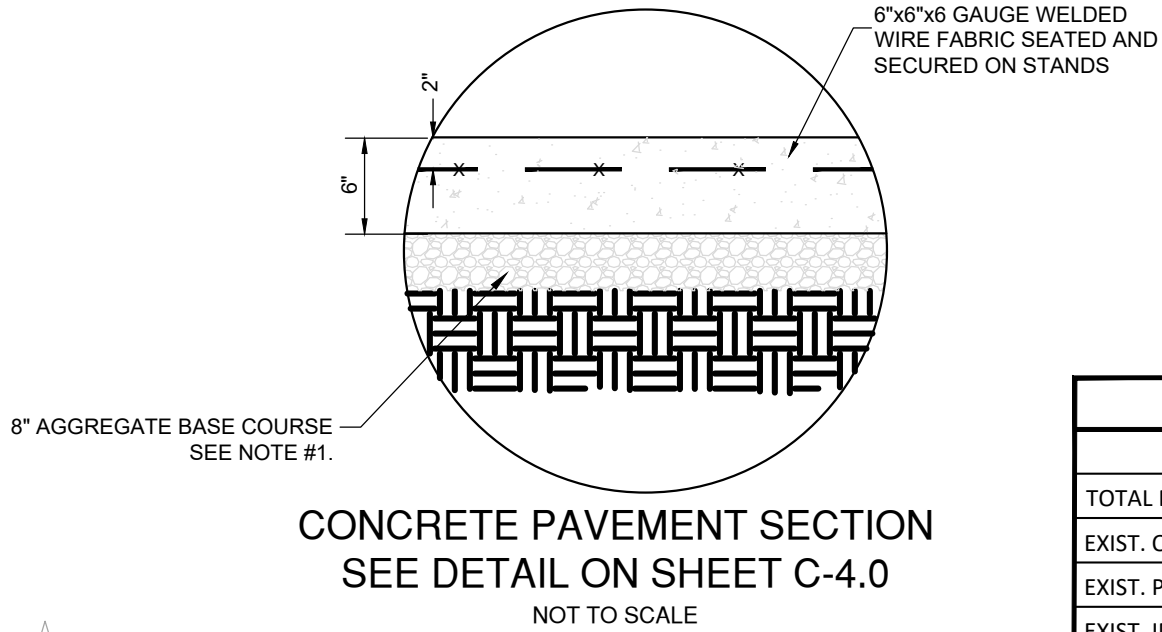


LEGEND	
PROP. ASPHALT DRIVE	---
PROP. CONC. PAVEMENT	=====
PROP. CURB	=====
PROP. PARKING STRIPE	=====
PROP. SITE SIGNAGE	+
PROP. DIRECTIONAL ARROW	→
PROP. PARKING COUNT	9
PROP. ORDER POINT	○
PROPERTY LINE	---
EX. CONCRETE	=====
EX. CONCRETE CURB	=====
EX. SIGN	+
EX. LIGHT POLE	⊙
EX. TREE	⊙
EX. ACCESSIBLE MARKING	⊙
EX. BOLLARD	⊙
EX. DIRECTIONAL ARROW	→

PARKING CALCULATIONS			
USE	QTY	RATIO	REQUIRED
BUILDING AREA	4,425	5.6 SPACE PER 1,000 SF	25
CFA STANDARD PARKING PROVIDED	32		
CFA ACCESSIBLE PARKING REQUIRED	2		
CFA ACCESSIBLE PARKING PROVIDED	2		
PROPOSED TOTAL PARKING	34		
EXISTING TOTAL PARKING	41		

SITE SUMMARY	
JURISDICTION	CITY OF ALBUQUERQUE
ZONING	MX-M (MIXED USE MEDIUM INTENSITY ZONE DISTRICT)
USE	FAST FOOD RESTAURANT WITH DRIVE THRU
PARCEL ID	ABQ213744(CITY), 101706146301640115(COUNTY)
LOT	
SIZE	44,304.52 SF (1.02 AC)
BUILDING	
SIZE	4,425 SF
PARKING	
SIZE	9' X 19' (60'), 9' X 22' (PARALLEL)

BUILDING SETBACKS		
SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	5'	28.79'
REAR (NORTH)	15'	58.94'
SIDE (WEST)	0'	166.33'
SIDE (EAST)	0'	19.04'



EXISTING SITE CALCULATIONS			
EXISTING AREA	SF	ACRES	%
TOTAL PARCEL AREA	44,304	1.02	100.00%
EXIST. OPEN SPACE AREA	7,135	0.16	16.10%
EXIST. PERVIOUS AREA	7,135	0.16	16.10%
EXIST. IMPERVIOUS AREA	37,169	0.85	83.90%
EXIST. BUILDING AREA	4,425	0.10	9.99%
EXIST. PAVEMENT AREA	32,744	0.75	73.91%
EXIST. VEHICULAR USE AREA	26,516	0.61	59.85%

PROPOSED SITE CALCULATIONS			
PROPOSED AREA	SF	ACRES	%
TOTAL PARCEL AREA	44,304	1.02	100.00%
PROP. PERVIOUS AREA	6,994	0.16	15.79%
PROP. IMPERVIOUS AREA	37,310	0.86	84.21%
PROP. BUILDING AREA	4,425	0.10	9.99%
PROP. PAVEMENT AREA	32,885	0.75	74.23%
PROP. VEHICULAR USE AREA	27,284	0.63	61.58%

#### SITE NOTES

- 1

CONST. DIRECTIONAL ARROW (TYP.)
- 2

CONST. PAVEMENT MARKINGS GRAPHICS
- 2A

ONE WAY GRAPHICS
- 2B

DRIVE-THRU GRAPHICS
- 3

CONST. PARALLEL PARKING STALL (4" YELLOW STRIPING)
- 4

CONST. CURB
- 5

DIRECTIONAL SIGNAGE
- 5A

STOP SIGN (NOT USED)
- 5B

BOLLARD MOUNTED HANDICAP SIGN (NOT USED)
- 5C

CURBSIDE DELIVERY DESIGNATED SPACE (REMOVABLE SIGN) (NOT USED)
- 5D

NO LEFT TURN SIGN (NOT USED)
- 5E

ONE WAY SIGN (NOT USED)
- 5F

RIGHT TURN ONLY SIGN (NOT USED)
- 5G

PEDESTRIANS CROSSING (NOT USED)
- 5H

DRIVE-THRU SIGN
- 5I

DO NOT ENTER SIGN
- 6

CONST. PAVEMENT EDGE
- 7

CONST. 24" STOP LINE GRAPHIC
- 8

CONST. CONCRETE PAVING DRIVE-THRU LANE
- 9

CONST. 4" WIDE YELLOW STRIPING
- 10

CONNECT TO EXISTING CURB
- 11

CONNECT TO EXISTING EDGE OF PAVEMENT
- 12

CONST. DOUBLE LANE F2F ORDER CANOPY
- 13

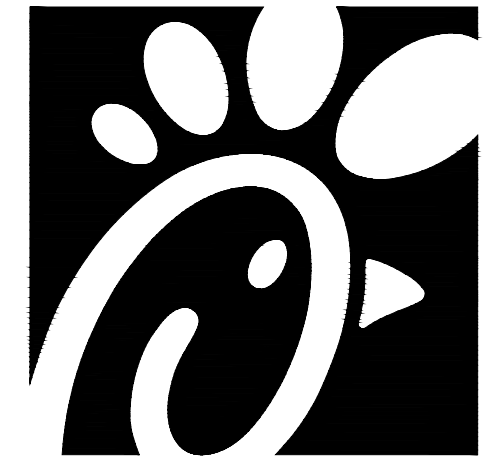
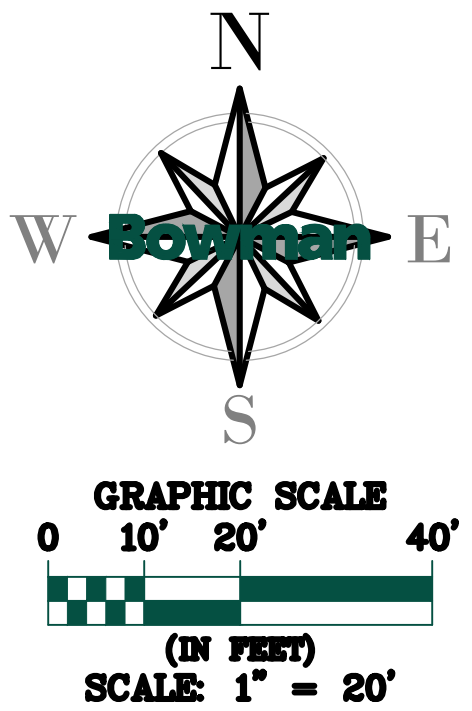
EXISTING SINGLE ORDER MEAL DELIVERY CANOPY TO REMAIN
- 14

CONST. SOLID 4" YELLOW STRIPING ON ENDS W/ 4" WIDE STRIPES @ 3" O.C., YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE
- 15

NEW ORDER POINT
- 16

RELOCATED FLAG POLE AND BASE
- 17

CONST. CLEARANCE BAR



Chick-fil-A  
5200 Buffington Rd  
Atlanta, GA 30349-2998

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**CHICK-FIL-A**  
**MONTGOMERY & SAN MATEO**  
5031 MONTGOMERY BLVD.  
ALBUQUERQUE, NEW MEXICO 87106  
**FSU#02793**

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 010014-01-217	
ISSUED FOR	PERMIT
DATE	April 9, 2024
DRAWN BY	BCG

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SHEET

SITE PLAN

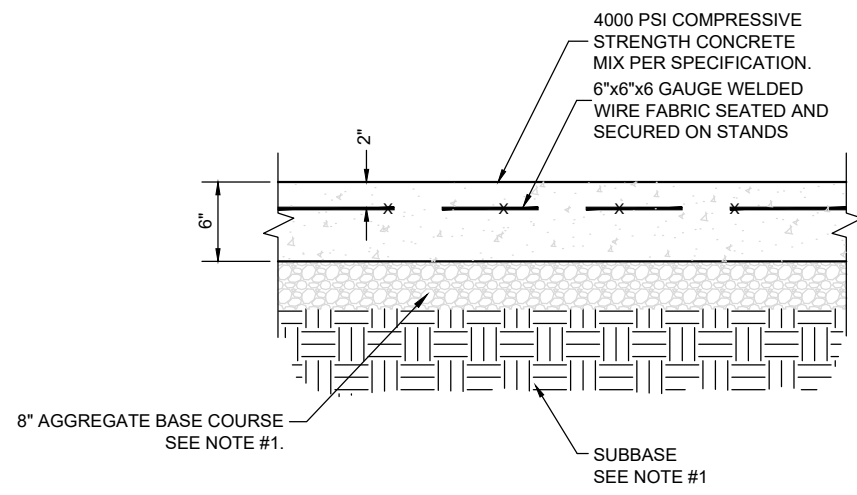
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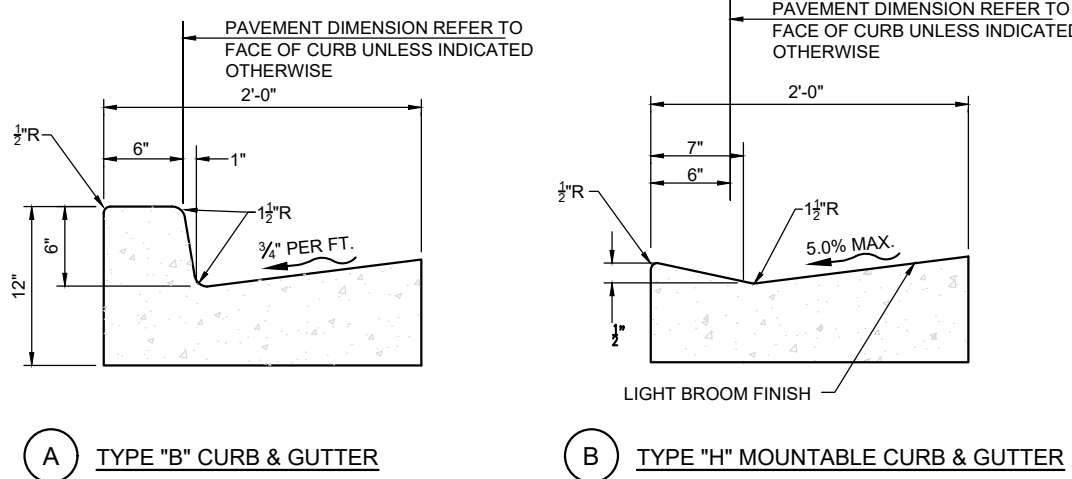




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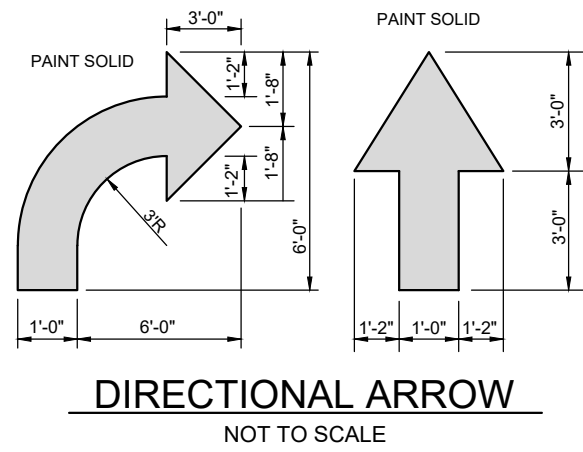
NOTE:  
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



NOTES:  
1. CONC. FOR CURBING SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS.  
2. CONTRACTION JOINTS @ 1'-0\"/>

## 26 CONCRETE PAVEMENT DRIVE-THRU LANE

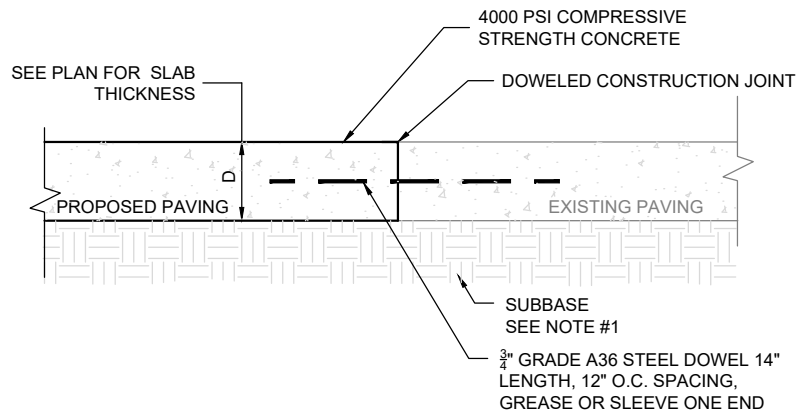
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NOTES:  
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.  
2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.  
3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

## 1 PAVEMENT MARKINGS - 1

C2.0



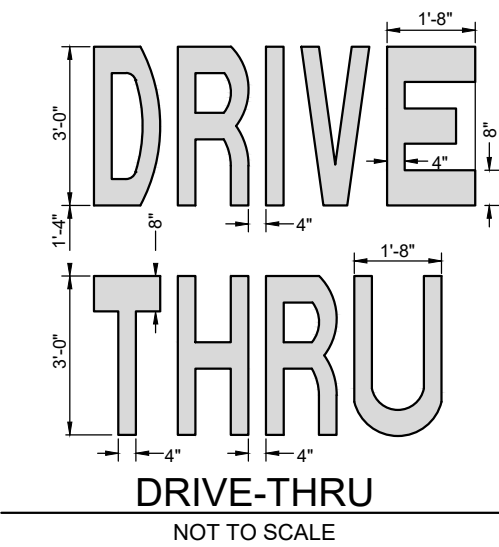
NOTE:  
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## 22 TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT

C2.0

## 11 CONCRETE CURB & GUTTER

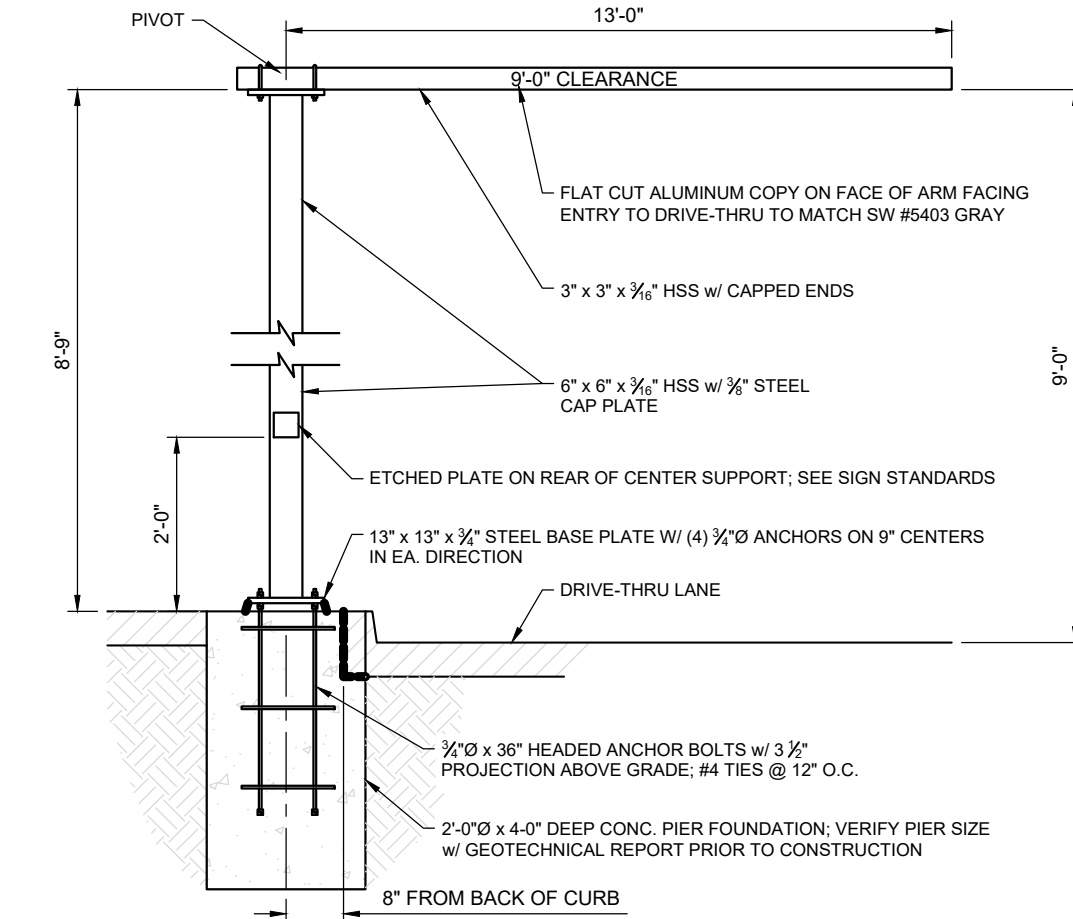
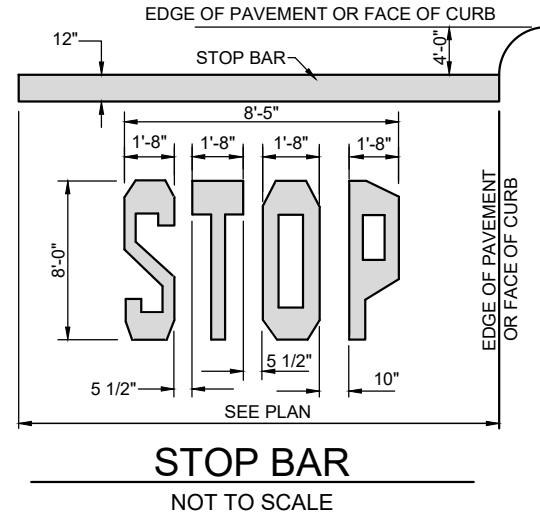
C2.0



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4. IF STOP SIGNS ARE PROPOSED, \"STOP\" LETTERING ON STOP BAR DETAIL IS NOT REQUIRED.

## 2 PAVEMENT MARKINGS - 2

C2.0



NOTES:  
1. ENTIRE CLEARANCE BAR & HARDWARE TO BE POWDER COATED OPC P-820 MATTE BLACK FINISH  
2. CLEARANCE BAR ARM TO ROTATE WHEN STRUCK & RETURN TO ORIGINAL POSITION  
3. COORDINATE W/ THE ARCHITECT & STRUCTURAL ENGINEER

## 5 DRIVE-THRU CLEARANCE BAR

C2.0



Chick-fil-A

Chick-fil-A  
5200 Buffington Rd  
Atlanta, GA 30349-2998

Bowman

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SEAL



KAI BURK PE #28466

CHICK-FIL-A  
MONTGOMERY & SAN MATEO  
5031 MONTGOMERY BLVD.  
ALBUQUERQUE, NEW MEXICO 87106

FSU#02793

REVISION SCHEDULE  
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 010014-01-217  
ISSUED FOR PERMIT  
DATE April 9, 2024  
DRAWN BY BCG

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SHEET  
CFA STANDARD  
DETAILS

SHEET NUMBER

C-4.0