

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 23, 2024

Alex Forrester
Bowman Engineering
11475 Great Oaks Way
Alpharetta, GA 30022

Re: Chick-Fil-A
5031 Montgomery Blvd. NE
Traffic Circulation Layout
Engineer's Stamp 05-23-24 (F17-D034)

Dear Ms. Forrester,

The TCL submittal received 05-17-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

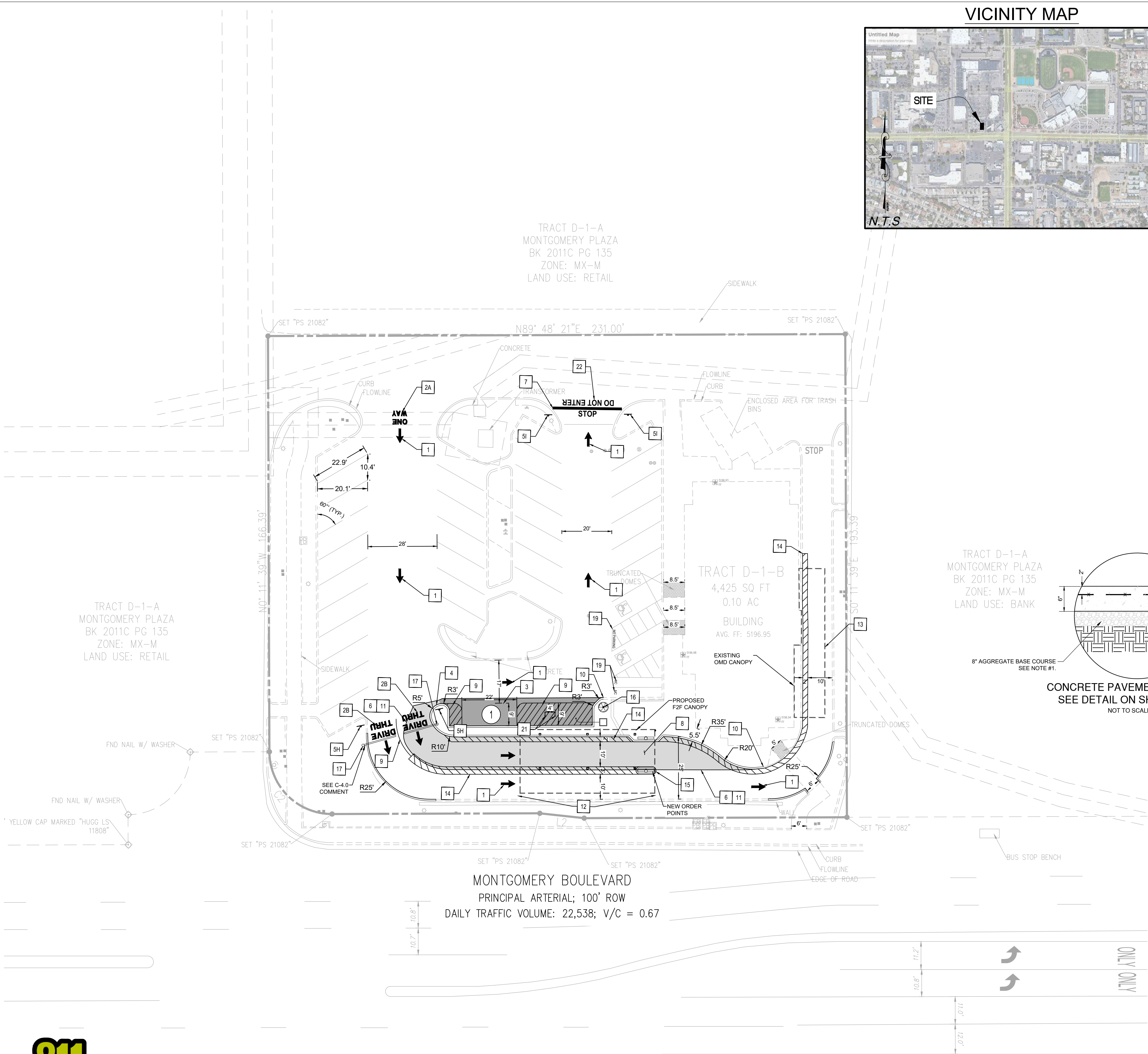
Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

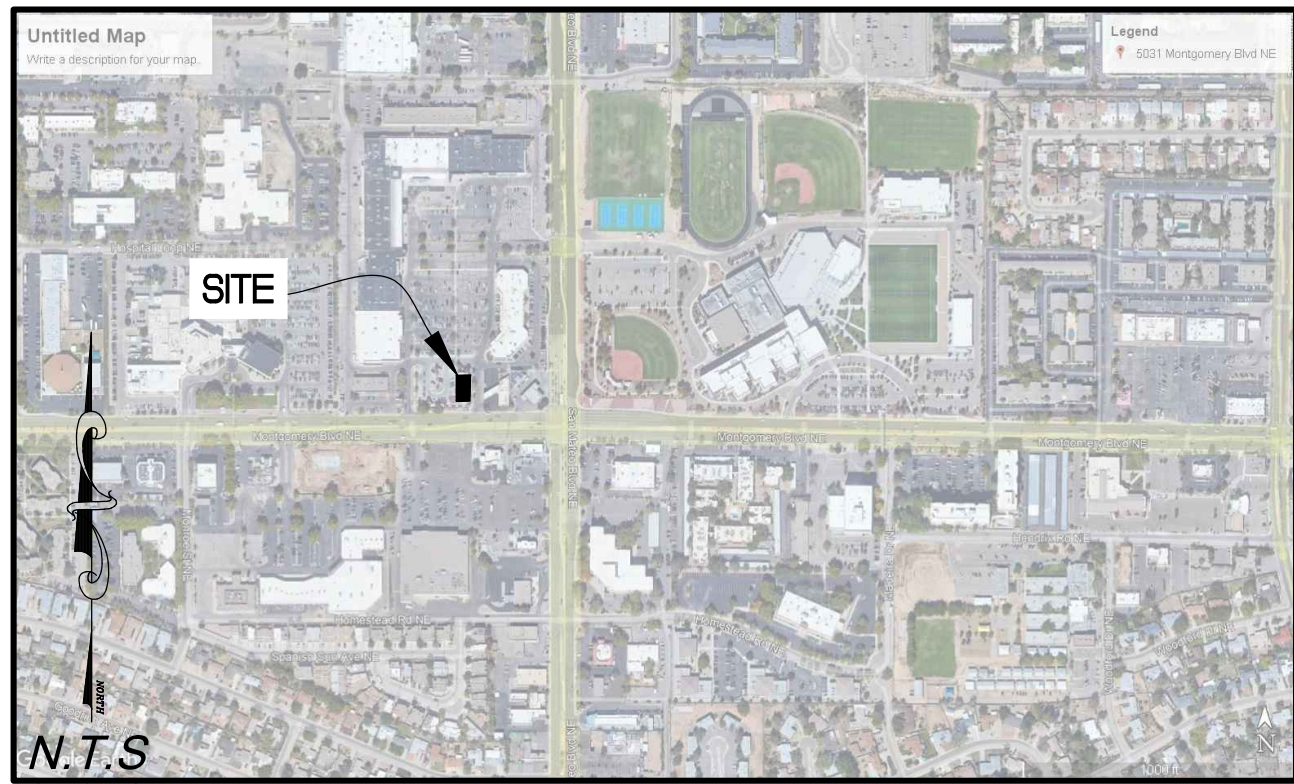
May 23, 2024
C-2.0 - SITE PLAN
File Path: V:\010014 - Chick-fil-A\010014-01-217 (ENG) - CFA 02793 Montgomery San Mateo Albuquerque\Engineering\Plans\Sheet Set\010014-01-217 - C-2.0 SITE PLAN.dwg
PROJECT: CHICK-FIL-A, 5200 BUFFINGTON RD, ATLANTA, GA 30349-2998
PROJECT NO.: 010014-01-217
SHEET NO.: 010014-01-217
SHEET TITLE: C-2.0 SITE PLAN
DRAWN BY: BOWMAN CONSULTING GROUP LTD.
CHECKED BY: KAI BURK
DATE: 5/23/2024
SCALE: 1" = 20'



Know what's below.
Call before you dig.



VICINITY MAP



LEGEND	
PROP. ASPHALT DRIVE	---
PROP. CONC. PAVEMENT	=====
PROP. CURB	=====
PROP. PARKING STRIPE	=====
PROP. SITE SIGNAGE	+
PROP. DIRECTIONAL ARROW	→
PROP. PARKING COUNT	9
PROP. ORDER POINT	○
PROPERTY LINE	---
EX. CONCRETE	=====
EX. CONCRETE CURB	=====
EX. SIGN	+
EX. LIGHT POLE	○
EX. TREE	○
EX. ACCESSIBLE MARKING	○
EX. BOLLARD	○
EX. DIRECTIONAL ARROW	→

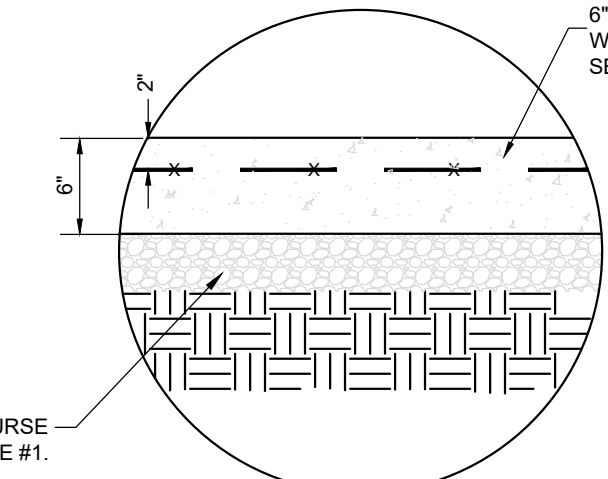
PARKING CALCULATIONS			
USE	QTY	RATIO	REQUIRED
BUILDING AREA	4,425	5.6 SPACE PER 1,000 SF	25
CFA STANDARD PARKING PROVIDED	32		
CFA ACCESSIBLE PARKING REQUIRED	2		
CFA ACCESSIBLE PARKING PROVIDED	2		
MOTORCYCLE PARKING REQUIRED	2		
MOTORCYCLE PARKING PROVIDED	2		
BICYCLE PARKING REQUIRED	3		
BICYCLE PARKING PROVIDED	3		
PROPOSED TOTAL PARKING	34		
EXISTING TOTAL PARKING	41		
DRIVE-THROUGH STACKING REQUIRED	12		
DRIVE-THROUGH STACKING PROVIDED	16		

SITE SUMMARY	
JURISDICTION	CITY OF ALBUQUERQUE
ZONING	MX-M (MIXED USE MEDIUM INTENSITY ZONE DISTRICT)
USE	FAST FOOD RESTAURANT WITH DRIVE THRU
PARCEL ID	ABQ213744(CITY), 101706146301640115(COUNTY)
LOT	
SIZE	44,304.52 SF (1.02 AC)
BUILDING	
SIZE	4,425 SF
PARKING	
SIZE	9' X 19' (60'), 9' X 22' (PARALLEL)

BUILDING SETBACKS		
SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	5'	28.79'
REAR (NORTH)	15'	58.94'
SIDE (WEST)	0'	166.33'
SIDE (EAST)	0'	19.04'

EXISTING SITE CALCULATIONS			
EXISTING AREA	SF	ACRES	%
TOTAL PARCEL AREA	44,304	1.02	100.00%
EXIST. OPEN SPACE AREA	7,135	0.16	16.10%
EXIST. PERVIOUS AREA	7,135	0.16	16.10%
EXIST. IMPERVIOUS AREA	37,169	0.85	83.90%
EXIST. BUILDING AREA	4,425	0.10	9.99%
EXIST. PAVEMENT AREA	32,744	0.75	73.91%
EXIST. VEHICULAR USE AREA	26,516	0.61	59.85%

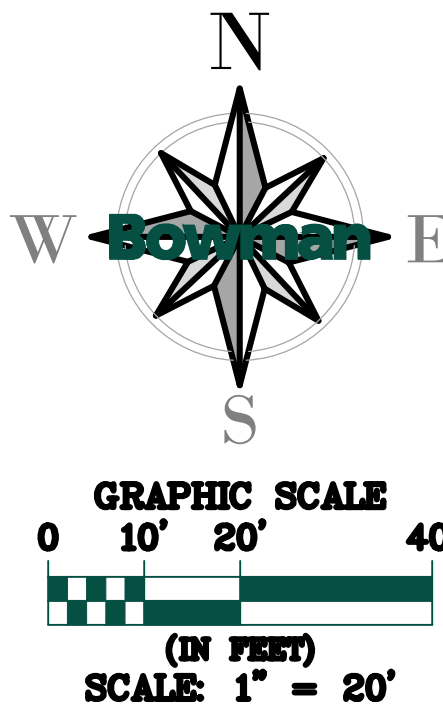
PROPOSED SITE CALCULATIONS			
PROPOSED AREA	SF	ACRES	%
TOTAL PARCEL AREA	44,304	1.02	100.00%
PROP. PERVIOUS AREA	6,994	0.16	15.79%
PROP. IMPERVIOUS AREA	37,310	0.86	84.21%
PROP. BUILDING AREA	4,425	0.10	9.99%
PROP. PAVEMENT AREA	32,885	0.75	74.23%
PROP. VEHICULAR USE AREA	27,284	0.63	61.58%



CONCRETE PAVEMENT SECTION
SEE DETAIL ON SHEET C-4.0
NOT TO SCALE

SITE NOTES

- CONST. DIRECTIONAL ARROW (TYP.)
- CONST. PAVEMENT MARKINGS GRAPHICS
 - ONE WAY GRAPHICS
 - DRIVE-THRU GRAPHICS
- CONST. PARALLEL PARKING STALL (4" YELLOW STRIPING)
- CONST. CURB
- DIRECTIONAL SIGNAGE
 - STOP SIGN (NOT USED)
 - BOLLARD MOUNTED HANDICAP SIGN (NOT USED)
 - CURBSIDE DELIVERY DESIGNATED SPACE (REMOVABLE SIGN) (NOT USED)
 - NO LEFT TURN SIGN (NOT USED)
 - ONE WAY SIGN (NOT USED)
 - RIGHT TURN ONLY SIGN (NOT USED)
 - PEDESTRIANS CROSSING (NOT USED)
 - DRIVE-THRU SIGN
 - DO NOT ENTER SIGN
- CONST. PAVEMENT EDGE
- CONST. 24" STOP LINE GRAPHIC
- CONST. CONCRETE PAVING DRIVE-THRU LANE
- CONST. 4" WIDE YELLOW STRIPING
- CONNECT TO EXISTING CURB
- CONNECT TO EXISTING EDGE OF PAVEMENT
- CONST. DOUBLE LANE F2F ORDER CANOPY
- EXISTING SINGLE ORDER MEAL DELIVERY CANOPY TO REMAIN
- CONST. SOLID 4" YELLOW STRIPING ON ENDS W/ 4" WIDE STRIPES @ 3" O.C., YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE
- NEW ORDER POINT
- RELOCATED FLAG POLE AND BASE
- CONST. CLEARANCE BAR
- EXISTING BUILDING MOUNTED ACCESSIBLE PARKING SIGN TO REMAIN - INSTALL PENALTY SIGN IF NECESSARY
- "NO PARKING" PAVEMENT MARKING
- "MC" MOTORCYCLE PAVEMENT MARKING
- BICYCLE RACKS
- "DO NOT ENTER" PAVEMENT MARKING



NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY OF ALBUQUERQUE PAVING SIDEWALK DETAIL.

TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Arroyo 5/23/2024
Signed Date



Chick-fil-A

Chick-fil-A
5200 Buffington Rd
Atlanta, GA 30349-2998

Bowman

Certificate of Authorization License No. LSE001241
11475 Great Oaks Way Suite 350
Alpharetta, GA 30022
Phone: (678) 374-6667
© Bowman Consulting Group Ltd

SEAL



KAI BURK PE #28466

CHICK-FIL-A
MONTGOMERY & SAN MATEO
5031 MONTGOMERY BLVD.
ALBUQUERQUE, NEW MEXICO 87106

FSU#02793

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT #010014-01-217
ISSUED FOR PERMIT
DATE May 23, 2024
DRAWN BY BCG

Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representatives.
SHEET

SITE PLAN

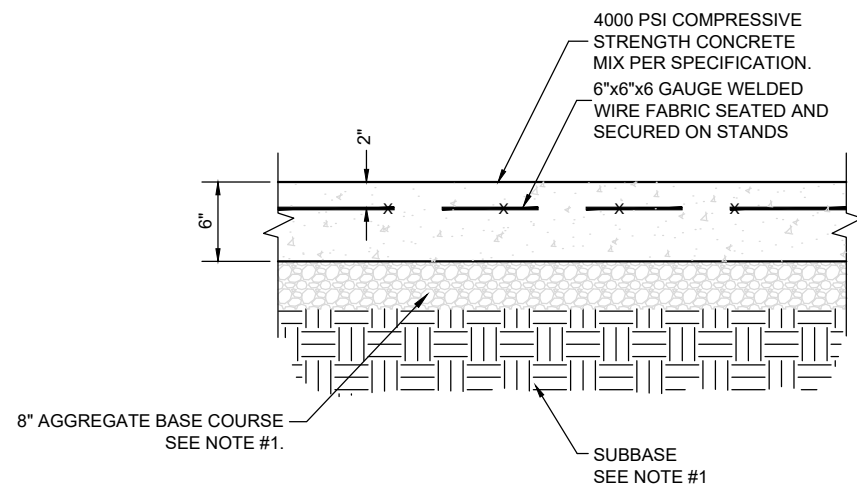
SHEET NUMBER

C-2.0

May 23, 2024
File Path: Y:\010014 - Chick-fil-A\010014-01-217 (ENG) - CFA 02793 Montgomery San Mateo Albuquerque\Engineering\Plans\Sheet Set\010014-01-217 - C-4.0 STANDARD DETAILS.dwg
THIS DOCUMENT, TOGETHER WITH THE CONTRACT AND SPECIFICATIONS, IS AN INSTRUMENT OF SERVICE. IT PROVIDES ONLY THE DESIGN OF THE WORK AND DOES NOT CONSTITUTE A GUARANTEE OF THE RESULTS. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE PROJECT OWNER AND ALL OTHER SOURCES. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE PROJECT OWNER AND ALL OTHER SOURCES. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE PROJECT OWNER AND ALL OTHER SOURCES.

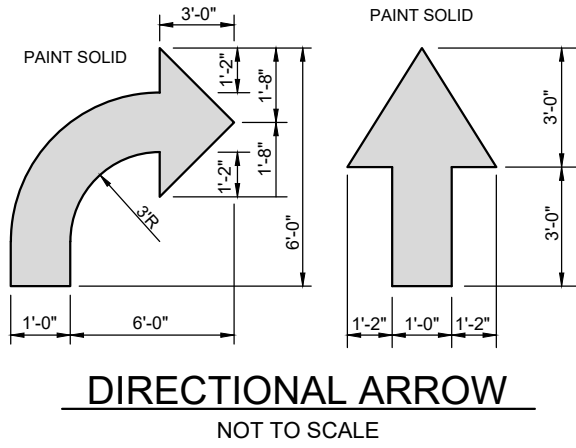


Know what's below.
Call before you dig.



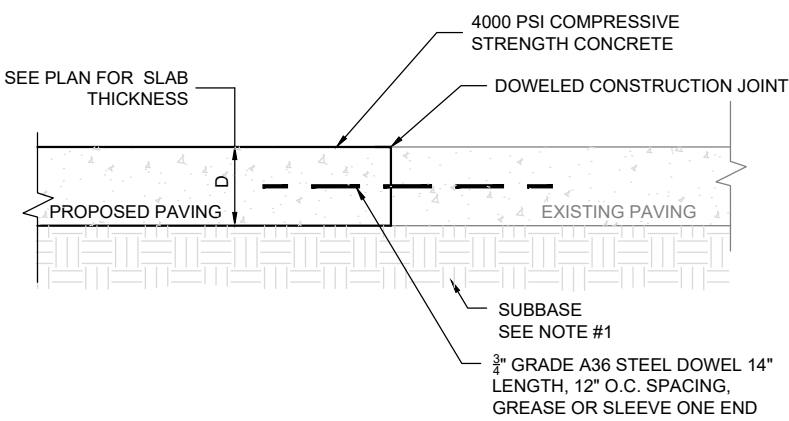
NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

26
C2.0 CONCRETE PAVEMENT DRIVE-THRU LANE
NOT TO SCALE



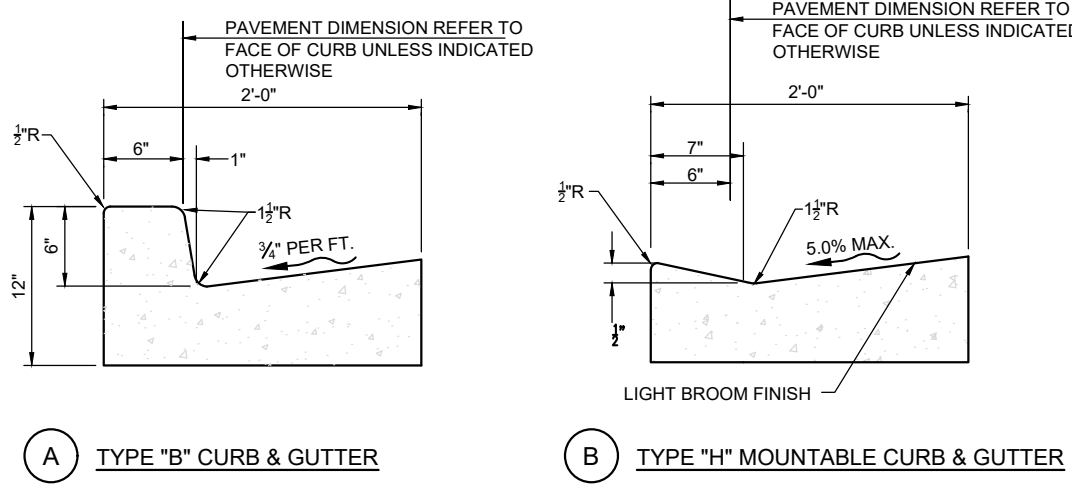
NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

1
C2.0 PAVEMENT MARKINGS - 1
NOT TO SCALE



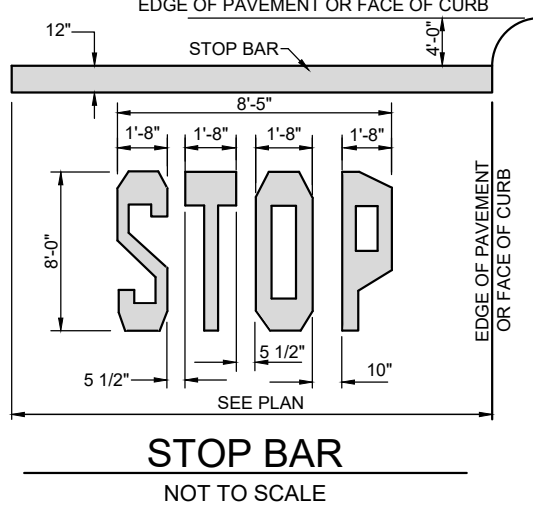
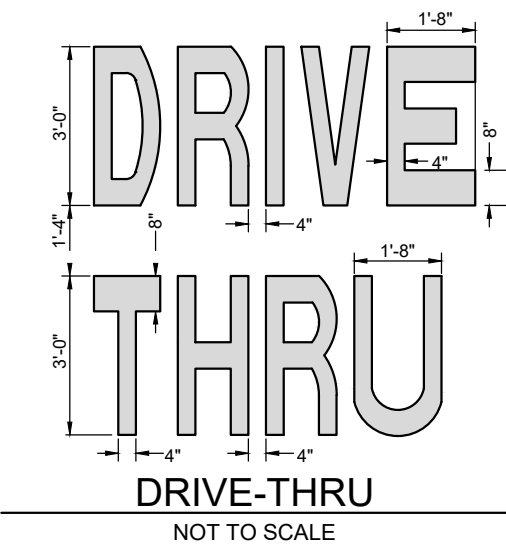
NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

22
C2.0 TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT
NOT TO SCALE



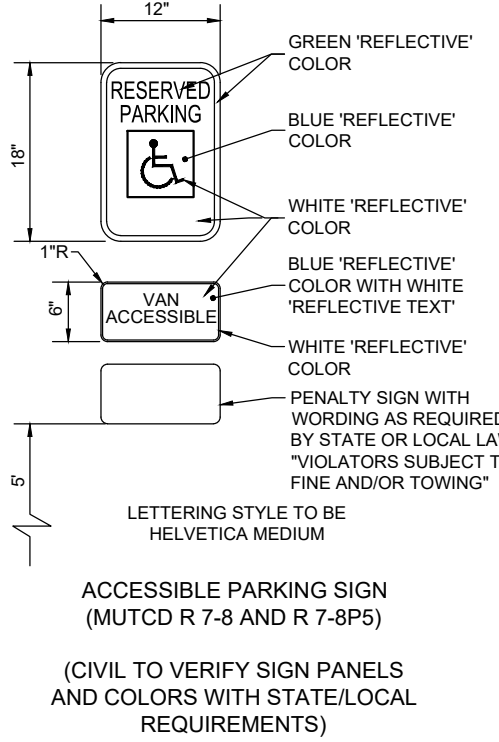
NOTES:
1. CONC. FOR CURBING SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS.
2. CONTRACTION JOINTS @ 1'-0" O.C. TOOLED $\frac{1}{4}$ " (4 $\frac{1}{4}$ " - 4) WIDE, 1" OR MAX. DIA DEPTH WHICHEVER IS GREATER. EXPANSION JOINTS @ 40'-0" MAX. UNLESS NOTED OTHERWISE ON PLANS.
3. IF NEEDED, DOWEL INTO ADJACENT CONC. SLAB PER THE EXPANSION JOINT DETAIL.
4. GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRANSVERSE & LONGITUDINAL.

11
C2.0 CONCRETE CURB & GUTTER
NOT TO SCALE



NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.
4. IF STOP SIGNS ARE PROPOSED, "STOP" LETTERING ON STOP BAR DETAIL IS NOT REQUIRED.

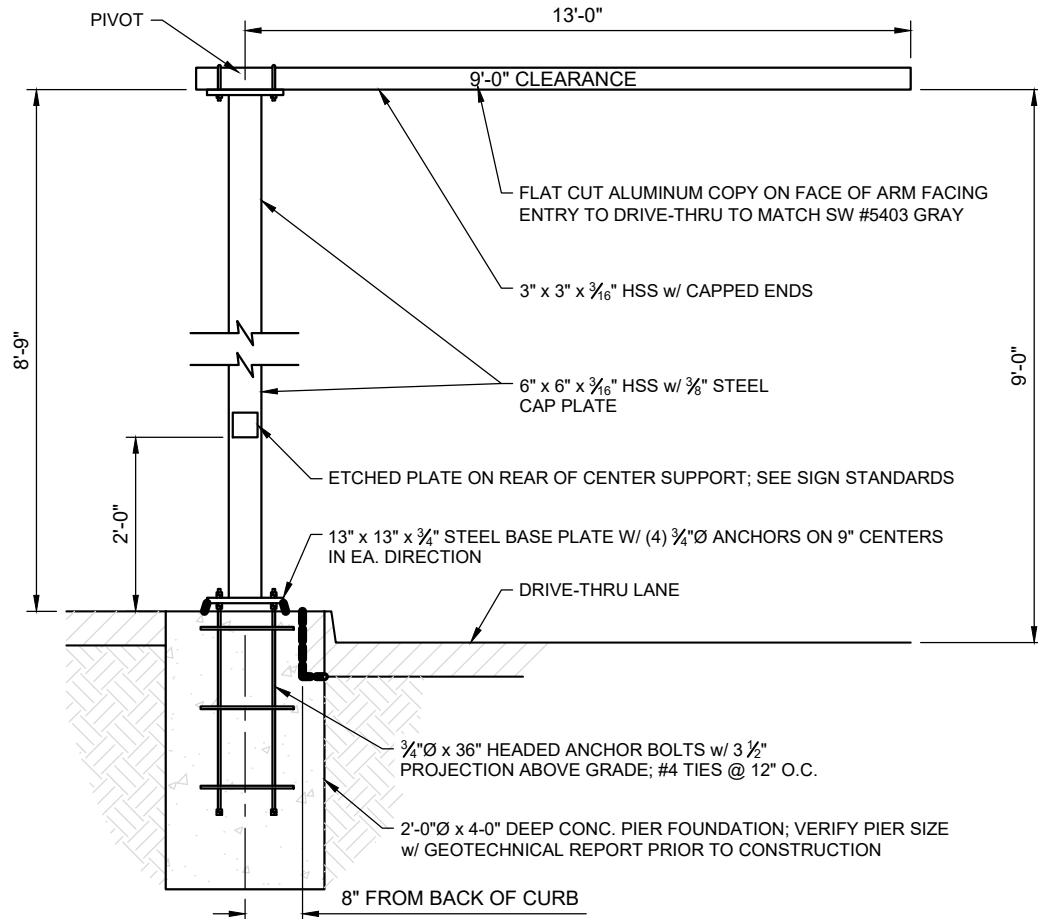
2
C2.0 PAVEMENT MARKINGS - 2
NOT TO SCALE



6
C4.0 ACCESIBLE PARKING SIGN
NOT TO SCALE

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Arroyo 5/23/2024
Signed Date



NOTES:
1. ENTIRE CLEARANCE BAR & HARDWARE TO BE POWDER COATED OPC P-820 MATTE BLACK FINISH
2. CLEARANCE BAR ARM TO ROTATE WHEN STRUCK & RETURN TO ORIGINAL POSITION
3. COORDINATE W/ THE ARCHITECT & STRUCTURAL ENGINEER

5
C2.0 DRIVE-THRU CLEARANCE BAR
NOT TO SCALE



Chick-fil-A

Chick-fil-A
5200 Buffington Rd
Atlanta, GA 30349-2998

Bowman

Certificate of Authorization License No. LSE001241
11475 Great Oaks Way Suite 350
Alpharetta, GA 30022
Phone: (678) 374-6667
© Bowman Consulting Group Ltd

SEAL



KAI BURK PE #28466

CHICK-FIL-A
MONTGOMERY & SAN MATEO
5031 MONTGOMERY BLVD.
ALBUQUERQUE, NEW MEXICO 87106

FSU#02793

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 010014-01-217
ISSUED FOR PERMIT
DATE May 23, 2024
DRAWN BY BCG

Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representatives.

SHEET
CFA STANDARD
DETAILS

SHEET NUMBER

C-4.0



Know what's below.
Call before you dig.

/ TRANSPORTATION DESIGN /

Section 7-4(J)(7) Entrance and Gate Requirements for Private Ways and Streets

1. All gated communities must include a turnaround for visitors at the gate so that the vehicle does not stand in or back into the City right-of-way.
2. Where a single gate is provided, the minimum width shall be 20 feet. For divided streets, the minimum width shall be 12 feet.
3. Additional entrance and gate requirements may be required by the Fire Marshal.

Part 7-4(K) Off-street Parking and Site Design

This section provides guidance on site design and off-street parking layout. The overall site design shall accommodate all modes of transportation including automobiles, pedestrians, bicyclists, and motorcyclists. To facilitate efficient parking operations, the designer shall also consider the interface of the site with adjacent development areas.

Section 7-4(K)(1) General Provisions

1. All sites and off-street parking areas shall be designed to comply with ADA/PROWAG standards.
2. The number of off-street, vehicle, bicycle and motorcycle parking spaces shall be provided as established in the [IDO Section 14-16-5-5 Parking and Loading](#).
3. Site design shall comply with design requirements and landscape buffers established by the [IDO Part 14-16-5 Dimensional Standards](#).
4. Parking and site layout shall be designed such that vehicles do not back into the City right-of-way, except single-family dwellings may back into local streets.

Section 7-4(K)(2) Bicycle Parking

Off-street bicycle parking location, layout and rack options vary widely. The following guidelines shall be considered when placing and designing bicycle parking areas and choosing rack options. Alternative rack design, placement, or installation methods not meeting the guidelines below may be considered and are reviewed on a case-by-case basis by the City Engineer.

1. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum of 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Combi/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the [IDO Section 14-16-5-5\(E\)](#) for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
2. Bicycle parking spaces shall be located in a well-lit area, visible from and, where feasible, located within 50 feet of the primary pedestrian entrance it serves. Bicycle rack placement shall meet the following placement requirements. (See [FIGURE 7.4.115](#) for direction on bicycle stall layout.)

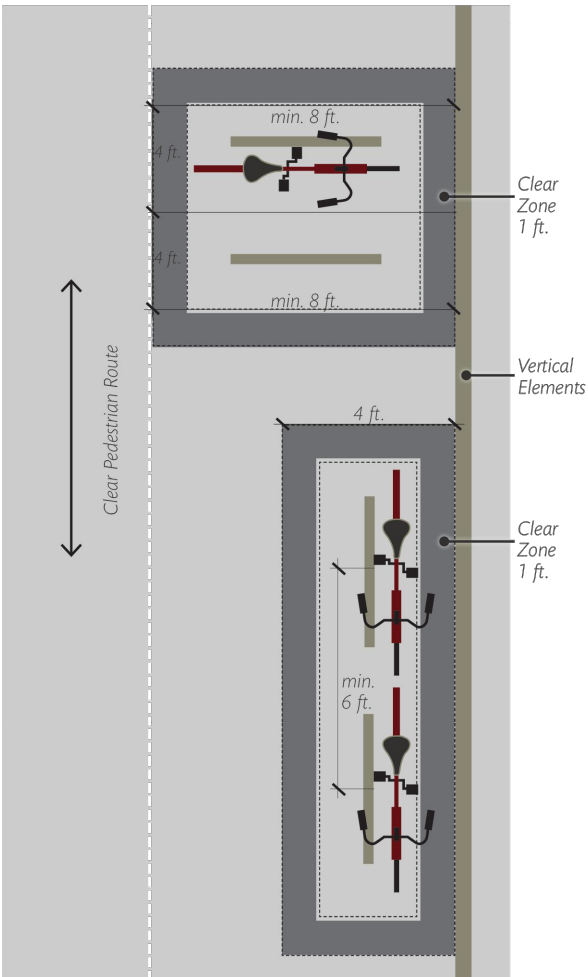
7-137

LAST PRINTED: SEPTEMBER 4, 2020

/ TRANSPORTATION DESIGN /

- a. Bicycle parking shall be separated from vehicle parking areas and driveways by a barrier, such as a curb, rail, or bollard, or be located to minimize the possibility of vehicles striking parked bicycles.
 - b. Bicycle racks shall be placed in a designated area and shall not infringe upon the width of the required clear pedestrian access route. (See [Part 7-4\(E\) Pedestrian Facilities](#).)
 - c. Bicycle racks shall not be placed directly in front of entrances or in locations that impede pedestrian flow.
3. Bicycle racks shall be sturdy and anchored to a concrete pad.
 4. A 1-foot clear zone around the bicycle parking stall shall be provided.
 5. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

FIGURE 7.4.115 Bicycle Parking Stall Layout Options

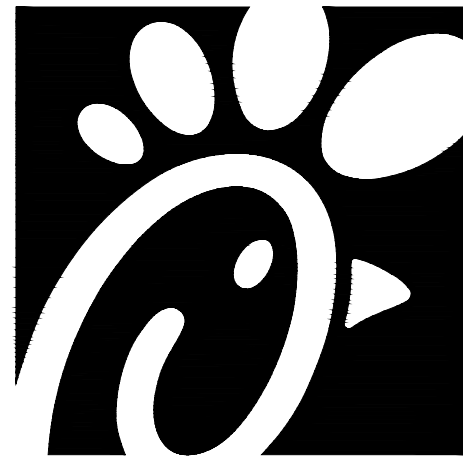
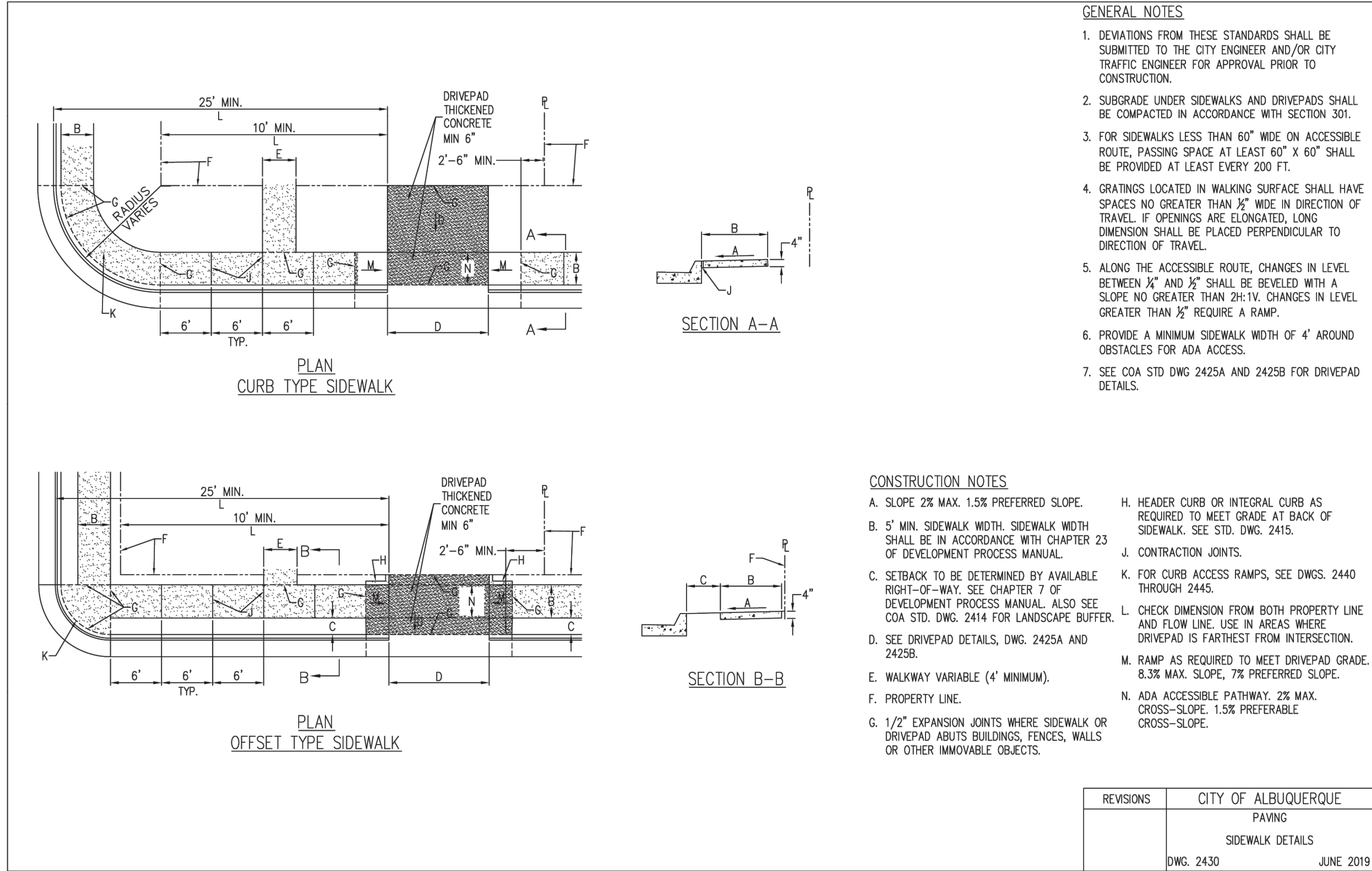


Section 7-4(K)(3) Motorcycle Parking

1. Motorcycle parking shall be a minimum of 4 feet wide and 8 feet long. (See [TABLE 7.4.77](#) and [FIGURE 7.4.116](#).)
2. Motorcycle parking spaces shall be located in a well-lit area that is visible from the primary building entrance on the site.

7-138

LAST PRINTED: SEPTEMBER 4, 2020



Chick-fil-A
5200 Buffington Rd
Atlanta, GA 30349-2998

Bowman

Certificate of Authorization License No. LSE001241
11475 Great Oaks Way Suite 350
Alpharetta, GA 30022
Phone: (678) 374-6687
© Bowman Consulting Group Ltd

SEAL



KAI BURK PE #28466

CHICK-FIL-A
MONTGOMERY & SAN MATEO
5031 MONTGOMERY BLVD.
ALBUQUERQUE, NEW MEXICO 87106
FSU#02793

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 010014-01-217

ISSUED FOR PERMIT

DATE May 23, 2024

DRAWN BY BCG

Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representatives.

SHEET

STANDARD
DETAILS

SHEET NUMBER

C-5.0