

# CITY OF ALBUQUERQUE



September 3, 2020

David Soule, PE  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**Re: Jefferson Hotel**  
**4949 Jefferson St. NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 9-10-18 (F17D044C)  
Certification dated 7-28-20

Dear Mr. Soule

Based upon the information provided in your submittal received 9-1-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

*Jeanne Wolfenbarger*

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

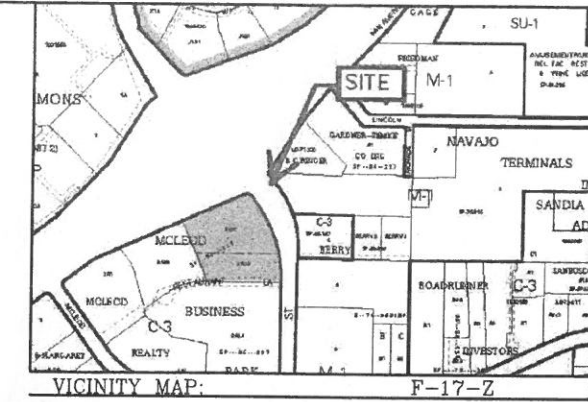
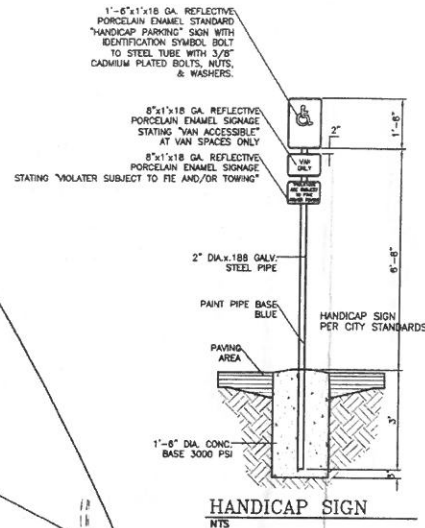
Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

TRAFFIC CIRCULATION LAYOUT  
APPROVED  
*[Signature]* 9/20/18  
Signed Date

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

Interstate 25  
(Pan American Highway)  
(R/W Varies)



LEGAL DESCRIPTION:  
Tracts 2-A-3-C-1 & 2-A-3-C-2 McLeod Business Park  
ADDRESS: 4949 JEFFERSON STREET

- LEGEND
- BOUNDARY
  - EASEMENT
  - RIGHT-OF-WAY
  - PROPOSED CURB
  - EXISTING CURB AND GUTTER
  - EXISTING SIDEWALK

CLEAR SIGHT TRIANGLE (TYP)  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

EXECUTIVE SUMMARY:

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THE SITE IS LOCATED ON THE WEST SIDE OF JEFFERSON BOULEVARD BETWEEN INTERSTATE 25 AND HOTEL LANE. THE SITE IS CURRENTLY A RESTAURANT WITH LARGE PARKING AREA AND AN UNDEVELOPED AREA. THE EXISTING HOTEL DRIVEWAYS AT JEFFERSON SHALL REMAIN. THE HOTEL WILL BE WEST OF THE EXISTING RESTAURANT. A NEW ACCESS WILL BE PROVIDED ON HOTEL LANE. THE TWO TRACTS HAVE CROSS LOT ACCESS EASEMENTS. NO TRAFFIC STUDY WAS REQUIRED FOR THIS DEVELOPMENT DUE TO BEING LESS THAN THE THRESHOLD

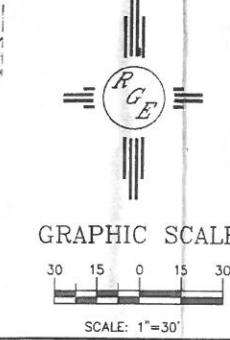
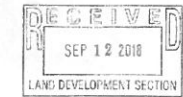
NOTE:

ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY STANDARD DETAIL 2430 AND 2415A

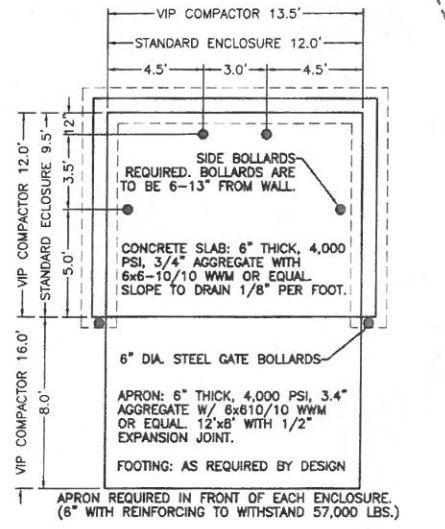
SITE DATA

	TRACT 2A3C2	TRACT 2A3C1
ZONING	C3	C3
BUILDING SIZE	40,888	10,598
LOT SIZE	2.7761 AC±	2.1794 AC±

- PARKING
- RESTAURANT 8 SPACES PER 1000SF (7900 SF/1000SF=79 SPACES TOTAL) LESS 9 SPACES BUS ROUTE CREDIT 69 SPACES REQUIRED 94 SPACES PROVIDED
- HOTEL 88 ROOM HOTEL 88 SPACES TOTAL LESS 8 SPACES BUS ROUTE CREDIT 80 SPACES REQUIRED 154 SPACES PROVIDED
- HANDICAP PARKING RESTAURANT 4 REQUIRED 8 PROVIDED
- HANDICAP PARKING HOTEL 4 REQUIRED 4 PROVIDED
- MOTORCYCLE PARKING RESTAURANT 3 REQUIRED 3 PROVIDED
- MOTORCYCLE PARKING HOTEL 3 REQUIRED 4 PROVIDED
- BICYCLE SPACES RESTAURANT 6 REQUIRED 6 PROVIDED
- BICYCLE SPACES HOTEL 2 REQUIRED 2 PROVIDED



ENGINEER'S SEAL  DAVID SOULE P.E. #14522	JEFFERSON HOTEL TRAFFIC CONTROL LAYOUT  Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 878-0999	DRAWN BY WCW/J DATE 9-09-18 21882-LAYOUT-2-30-18 SHEET # JOB # 21882
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NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL  
NTS

Proposed enclosure location appears acceptable 9-12-18 CW

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# **RIO GRANDE ENGINEERING OF NEW MEXICO, LLC**

## **TRAFFIC CERTIFICATION**

I, DAVID SOULE, NMPE, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/10/19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER MEDINA NMPLS 15702 OF THE FIRM TERRA LANDSURVEY CORPORATION. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/25/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

### *EXCEPTIONS:*

*THE OWNER ELECTED NOT TO PAVE AL LARGE PORTION OF THE PARKING LOT, THE PARKING IS STILL WITHIN STANDARDS. THE DUMPSTER WAS MOVED DUE TO SOLID WASTE REQUEST.*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

\_\_\_\_\_  
Signature of Engineer or Architect

7/28/20

\_\_\_\_\_  
Date



7/28/20