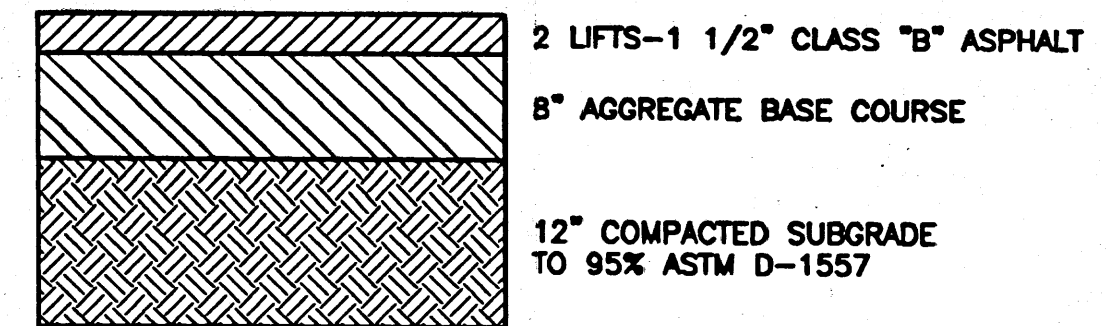
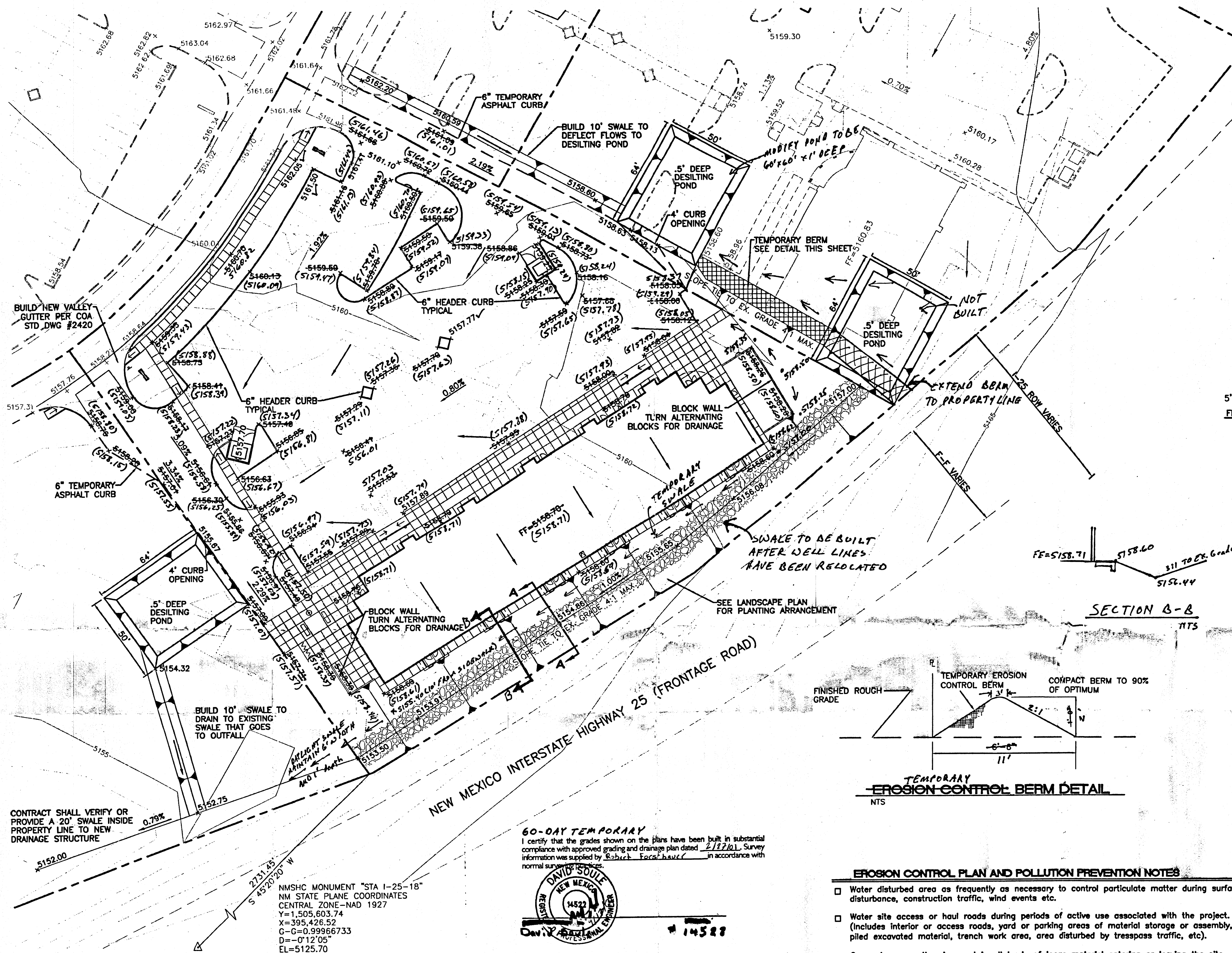
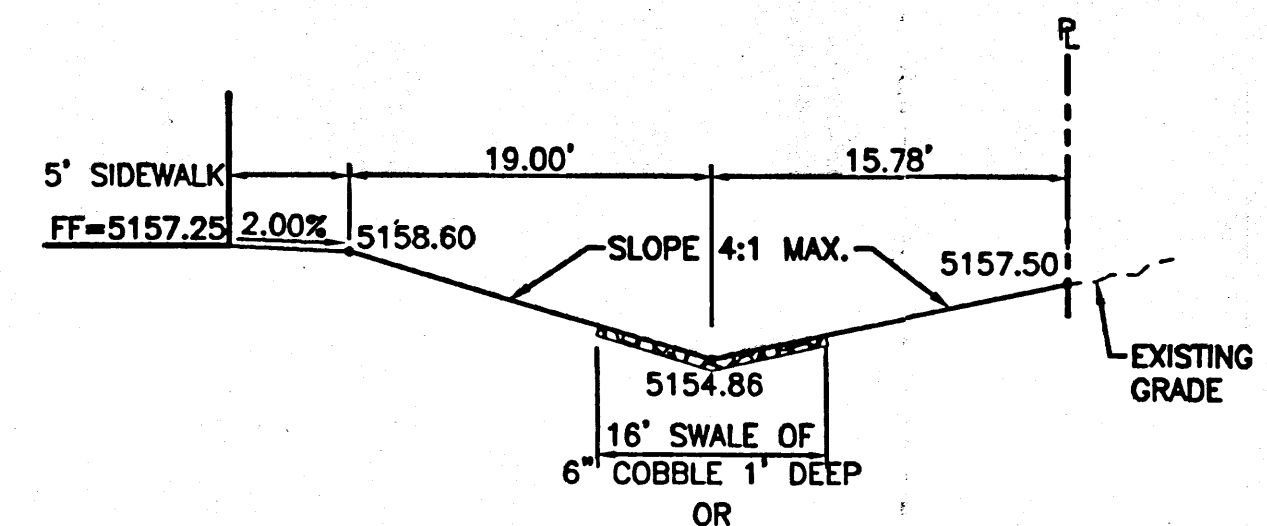
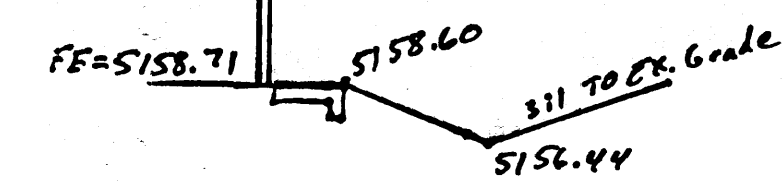




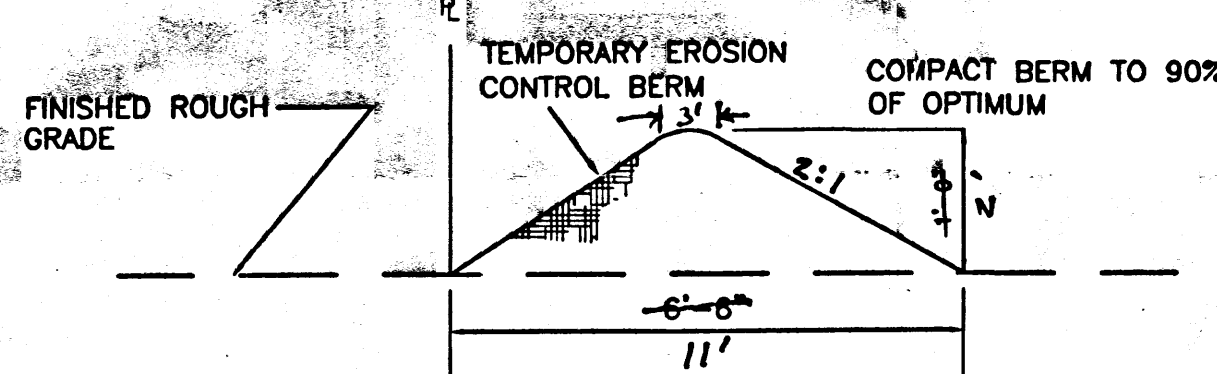
PAVING SECTION FOR PRIVATE STREETS
NTS



TO BE BUILT ONCE WELL LINES
ARE RELOCATED
SECTION A-A
NTS



SECTION B-B
NTS



TEMPORARY
EROSION CONTROL BERM DETAIL
NTS

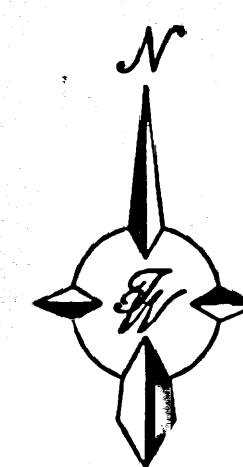
- GENERAL NOTES**
1. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
 2. ROOF DRAINS TO BACK OF BUILDING WITH ROOF DRAINS DAYLIGHTING UNDER THE SIDEWALK INTO THE SWALE.
 3. SEE ARCHITECTURAL PLANS FOR WHEELCHAIR RAMP DETAILS.
 4. TEMPORARY DESILTING PONDS AND BERM SHALL BE MAINTAINED BY THE 25 DEVELOPMENT MANAGEMENT UNTIL ADJACENT TRACTS ARE DEVELOPED AND PONDS ARE REMOVED.
 5. THE DRAINAGE SWALE SHALL BE MAINTAINED BY THE OWNER OF TRACT 1-1.

ROUGH GRADING APPROVAL

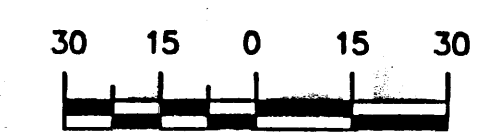
DATE

LEGEND

---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	TEMPORARY ASPHALT CURB
---	BOUNDARY LINE
---	PROPOSED SIDEWALK
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	FLOW ARROW
---	SLOPE TIE
---	PROPOSED SPOT ELEVATION
---	FUTURE SPOT ELEVATION
---	AS-BUILT SPOT ELEVATION

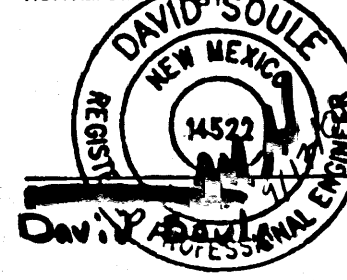


GRAPHIC SCALE



SCALE: 1"=30'

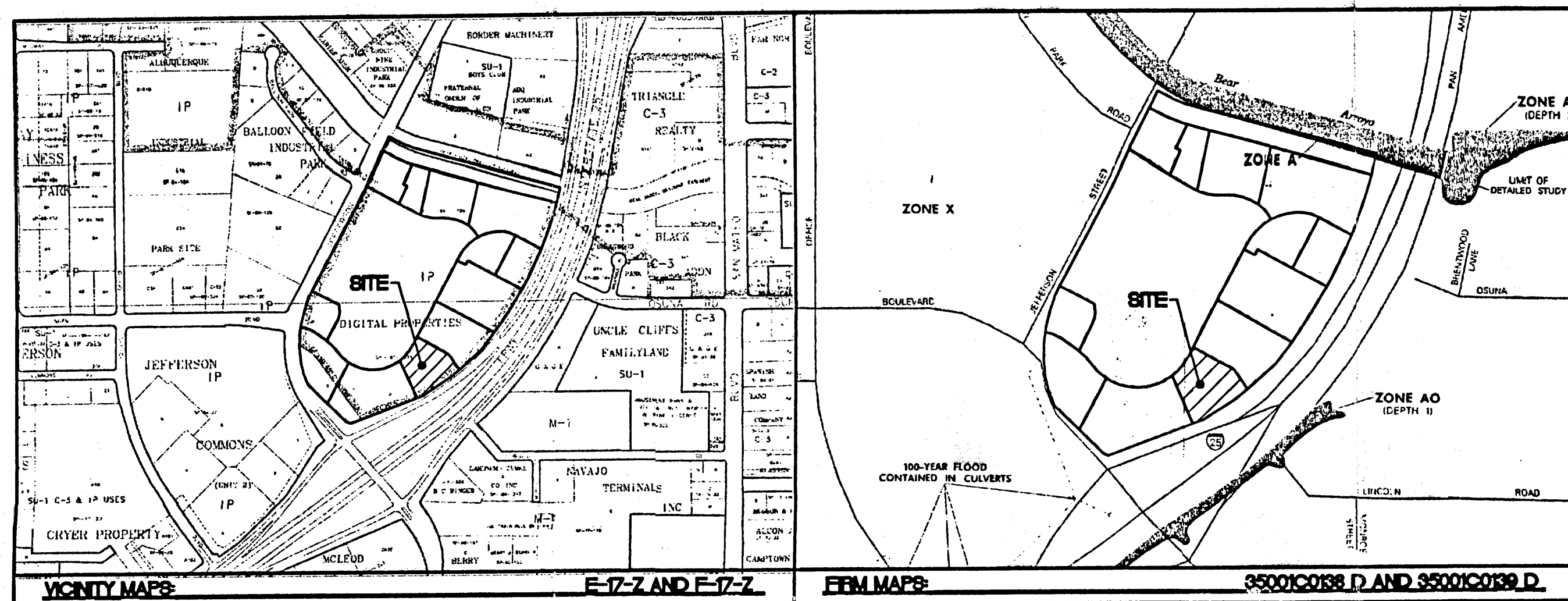
60-DAY TEMPORARY
I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 2/27/01. Survey information was supplied by David Soule in accordance with normal surveying practices.



14522

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

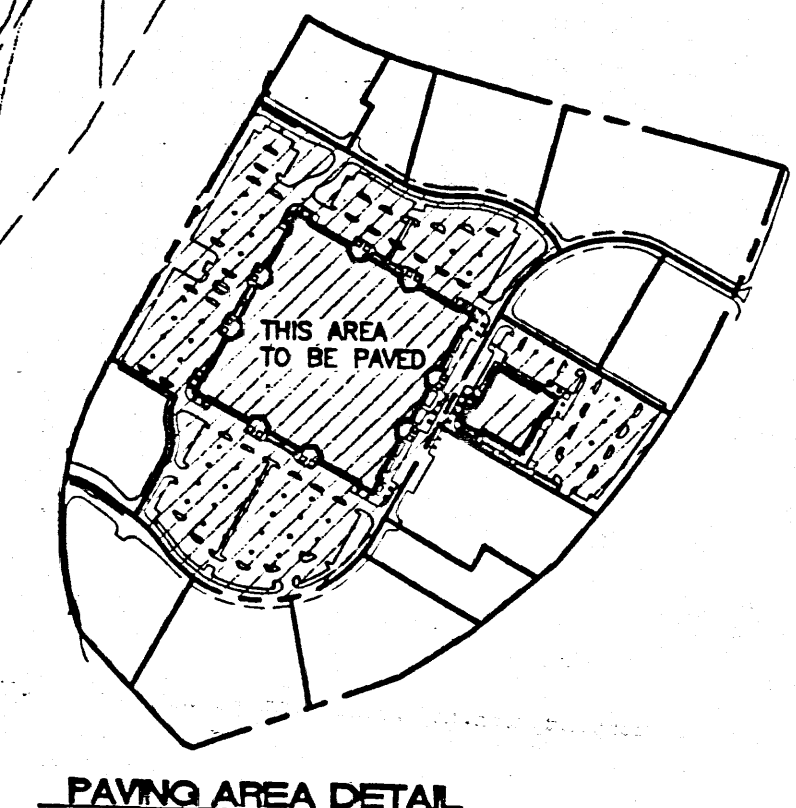
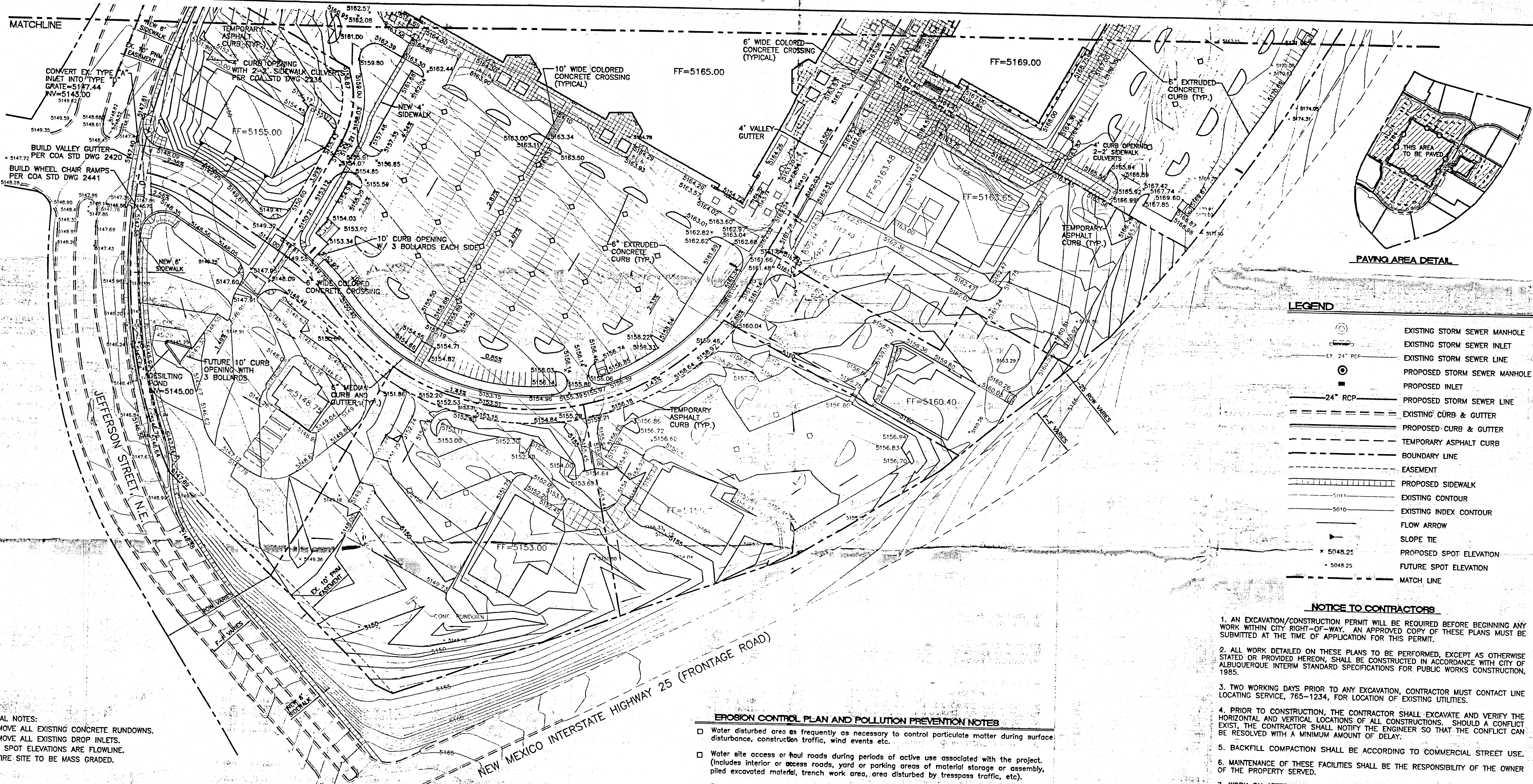
- Water disturbed area as frequently as necessary to control particulate matter during surface disturbance, construction traffic, wind events etc.
 - Water site access or haul roads during periods of active use associated with the project. (Includes interior or access roads, yard or parking areas of material storage or assembly, piled excavated material, trench work area, area disturbed by trespass traffic, etc).
 - Cover, tarp, or otherwise contain all loads of loose material entering or leaving the site.
 - Halt surface disturbance when soil or wind conditions prevent or limit effective particulate matter control. (No "transported material").
 - Restore all off-site or excess surface disturbance areas to near pre-existing condition.
 - Reseed undeveloped disturbed area either on site or off-site to City of Albuquerque Specifications #1012-"Native Grass Seeding"
 - Clean-up particulate and transported material from nearby property and the public right-of-way.
 - Construction of temporary erosion control fencing.
 - Special measures required.
 - Control of alternate access route or trespass traffic.
 - Stabilization of area proposed for future sale or future development.
1. Contractor is responsible for obtaining a topsoil disturbance permit prior to beginning work.
 2. Contractor is responsible for cleaning all sediment out of the existing right-of-way.
 3. Repair of damaged facilities and clean-up of sediment accumulated on adjacent properties and in public facilities is the responsibility of the contractor.
 4. All exposed earth surfaces must be protected from wind and water erosion prior to final acceptance of any project.
 5. Contractor is responsible for maintaining all storm sewer run off on site.



	SHOPS @ 25 GRADING AND DRAINAGE PLAN	DRAWN BY JDN DATE 02-26-01 2030GR3.DWG
	SHEET # 1 OF 2	JOB # 200030

ENGINEER'S SEAL
 RONALD R. BOHANNON
 P.E. #7868

TIERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

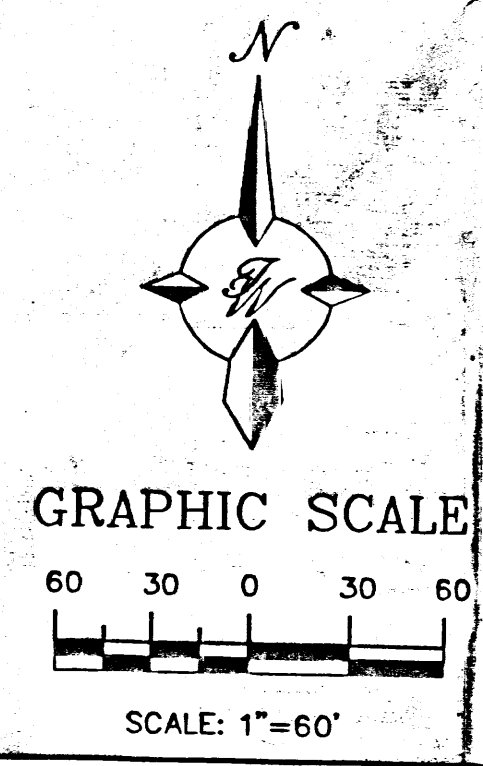


LEGEND	
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED INLET
	24\"/>
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	TEMPORARY ASPHALT CURB
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	MATCH LINE

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO COMMERCIAL STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

ROUGH GRADING APPROVAL _____ DATE _____



ENGINEER'S SEAL

25

GRADING AND DRAINAGE

PLAN SHEET 'A'

TIERRA WEST, LLC

4421 MCLEOD ROAD, N.E., SUITE D
ALBUQUERQUE, NEW MEXICO 87109
(505)883-7592

DRAWN BY JDN

DATE 05-05-99

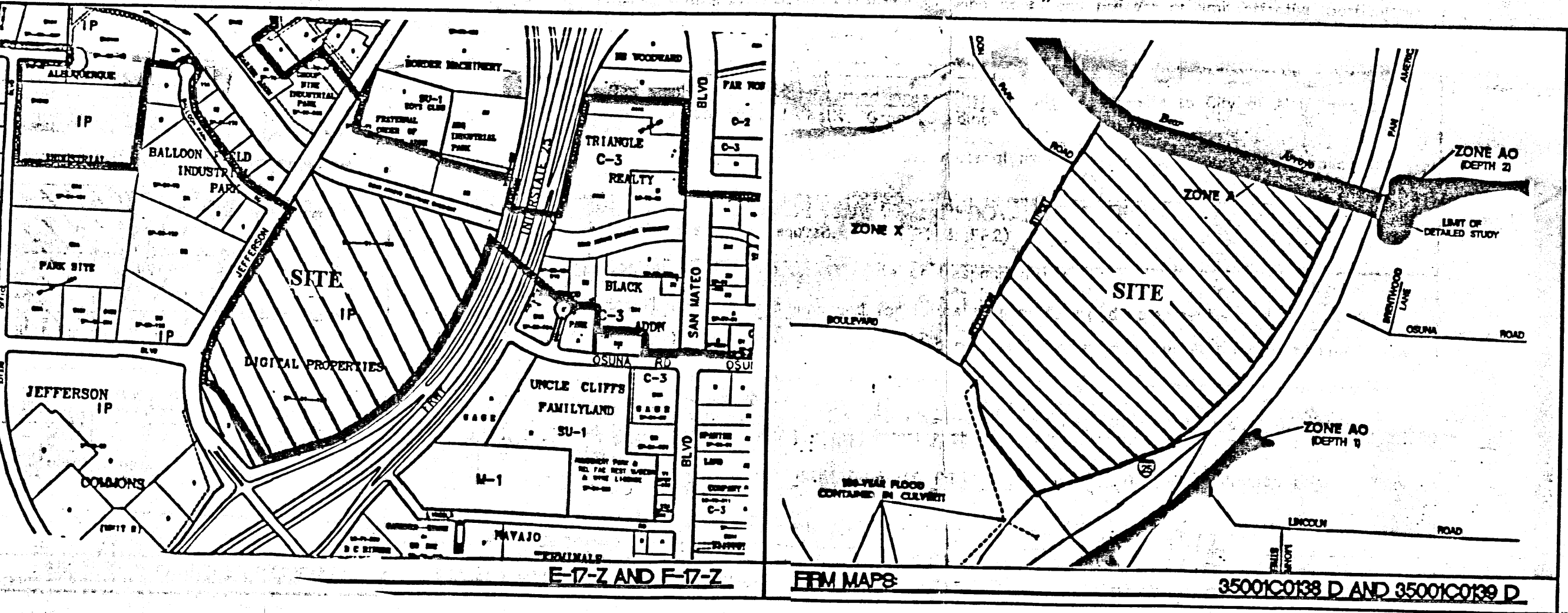
9854GRA1.DWG

SHEET # 3 OF 21

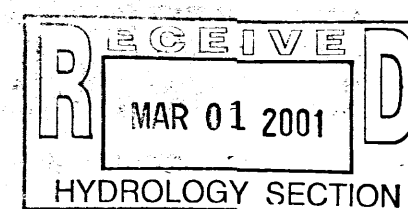
JOB # 980054

- GENERAL NOTES:**
1. REMOVE ALL EXISTING CONCRETE RUNDOWNS.
 2. REMOVE ALL EXISTING DROP INLETS.
 3. ALL SPOT ELEVATIONS ARE FLOWLINE.
 4. ENTIRE SITE TO BE MASS GRADED.

- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
- ☐ Water disturbed area as frequently as necessary to control particulate matter during surface disturbance, construction traffic, wind events etc.
 - ☐ Water site access or haul roads during periods of active use associated with the project. (Includes interior or access roads, yard or parking areas of material storage or assembly, piled excavated material, trench work area, area disturbed by trespass traffic, etc).
 - ☐ Cover, tarp, or otherwise contain all loads of loose material entering or leaving the site.
 - ☐ Halt surface disturbance when soil or wind conditions prevent or limit effective particulate matter control. (No "transported material").
 - ☐ Restore all off-site or excess surface disturbance areas to near pre-existing condition.
 - ☐ Reseeding undeveloped disturbed area either on site or off-site to City of Albuquerque Specifications #1012 "Native Grass Seeding"
 - ☐ Clean-up particulate and transported material from nearby property and the public right-of-way.
 - ☐ Construction of temporary erosion control fencing.
 - ☐ Special measures required. (SEE PP1 & PP2)
 - ☐ Control of alternate access route or trespass traffic.
 - ☐ Stabilization of area proposed for future sale or future development.
1. Contractor is responsible for obtaining a topsoil disturbance permit prior to beginning work.
 2. Contractor is responsible for cleaning all sediment out of the existing right-of-way.
 3. Repair of damaged facilities and clean-up of sediment accumulated on adjacent properties and in public facilities is the responsibility of the contractor.
 4. All exposed earth surfaces must be protected from wind and water erosion prior to final acceptance of any project.
 5. Contractor is responsible for maintaining all storm sewer run off on site.



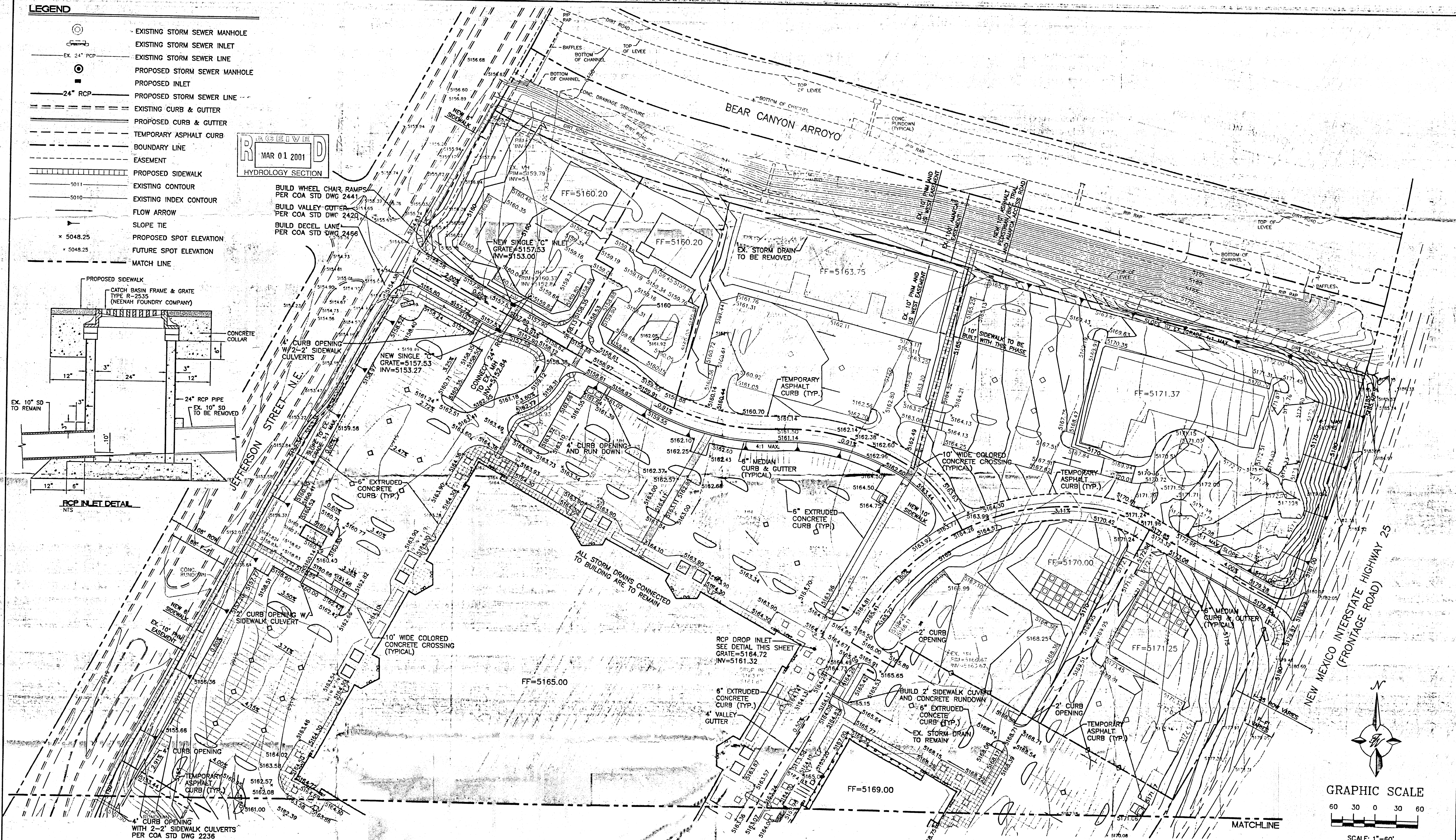
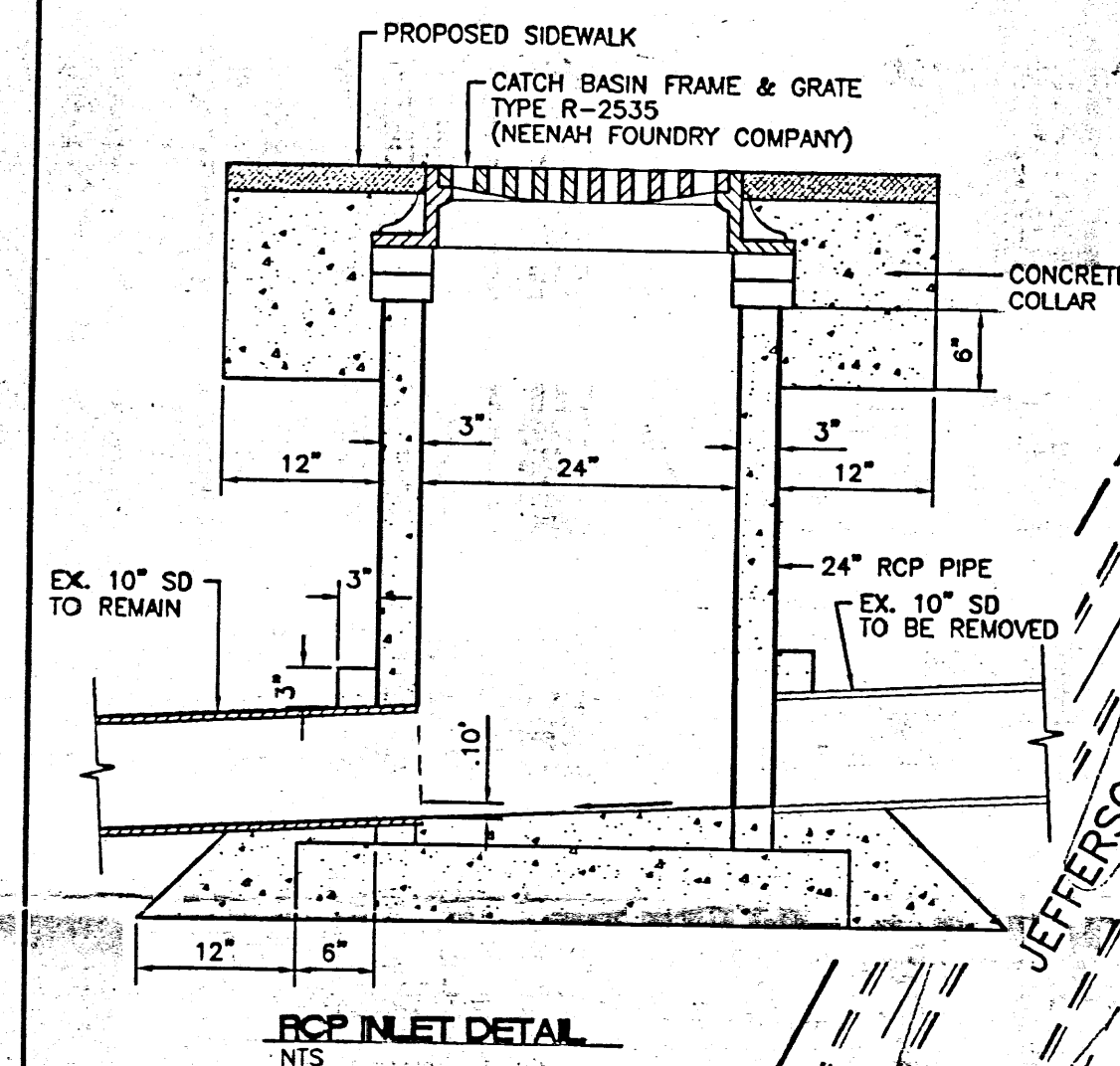
	· EXISTING STORM SEWER MANHOLE
	· EXISTING STORM SEWER INLET
— EX. 24" PCP —	· EXISTING STORM SEWER LINE
	· PROPOSED STORM SEWER MANHOLE
■	· PROPOSED INLET
— 24" RCP —	· PROPOSED STORM SEWER LINE
	· EXISTING CURB & GUTTER
	· PROPOSED CURB & GUTTER
	· TEMPORARY ASPHALT CURB
	· BOUNDARY LINE
	· EASEMENT
	· PROPOSED SIDEWALK
— 5011 —	· EXISTING CONTOUR
— 5010 —	· EXISTING INDEX CONTOUR
	· FLOW ARROW
	· SLOPE TIE
× 5048.25	· PROPOSED SPOT ELEVATION
× 5048.25	· FUTURE SPOT ELEVATION
	· MATCH LINE



BUILD WHEEL CHAIR RAMPS
PER COA STD DWG 2441

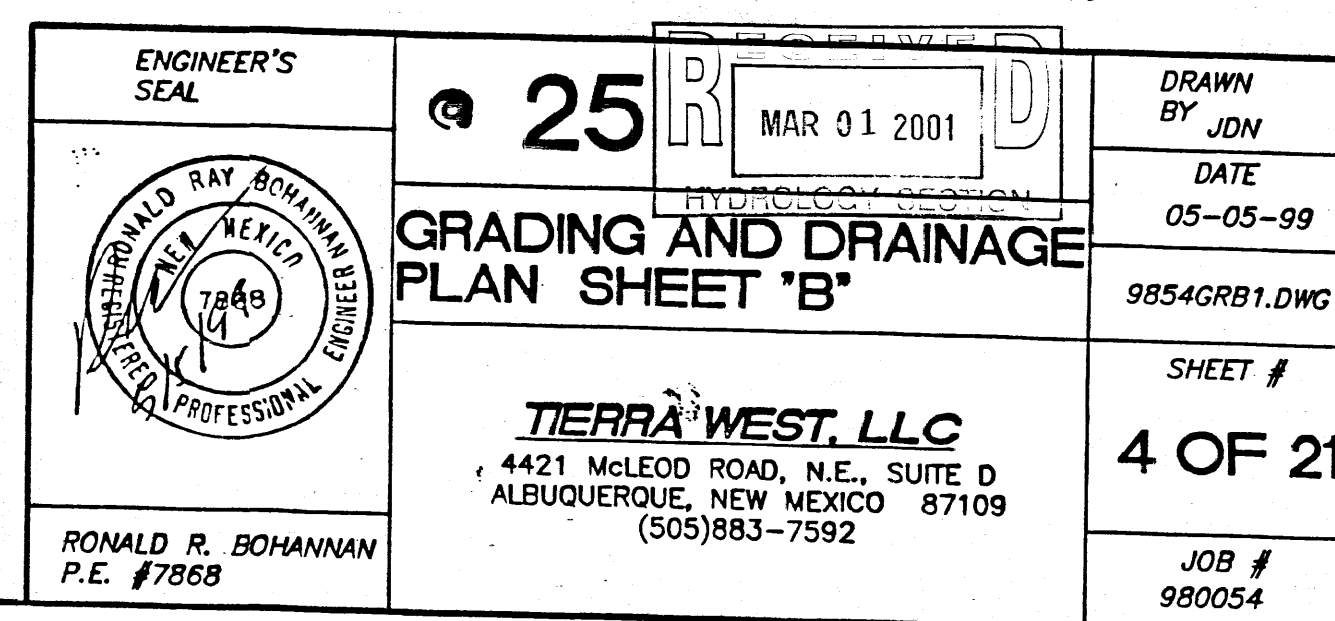
BUILD VALLEY GUTTER
PER COA STD DWG 2420

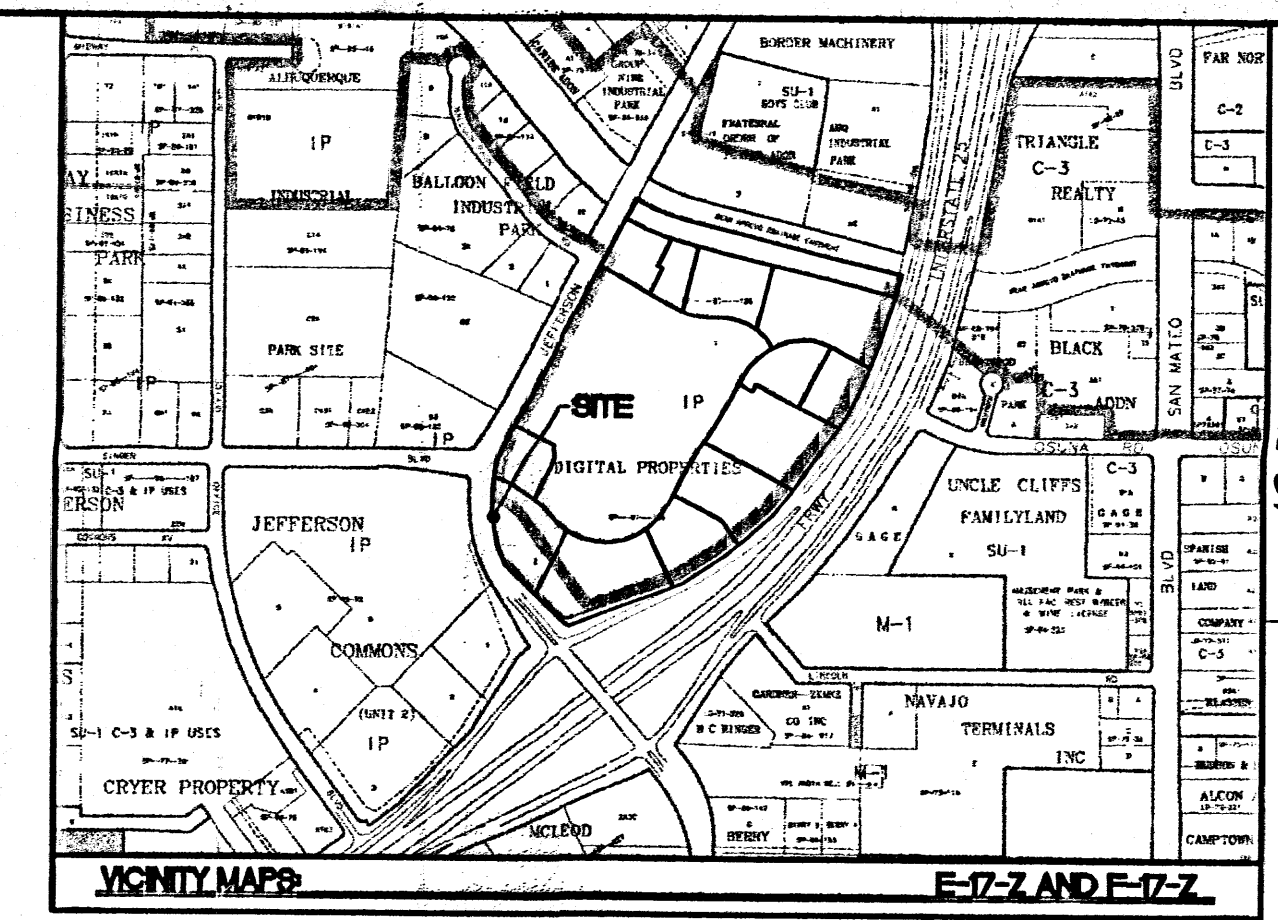
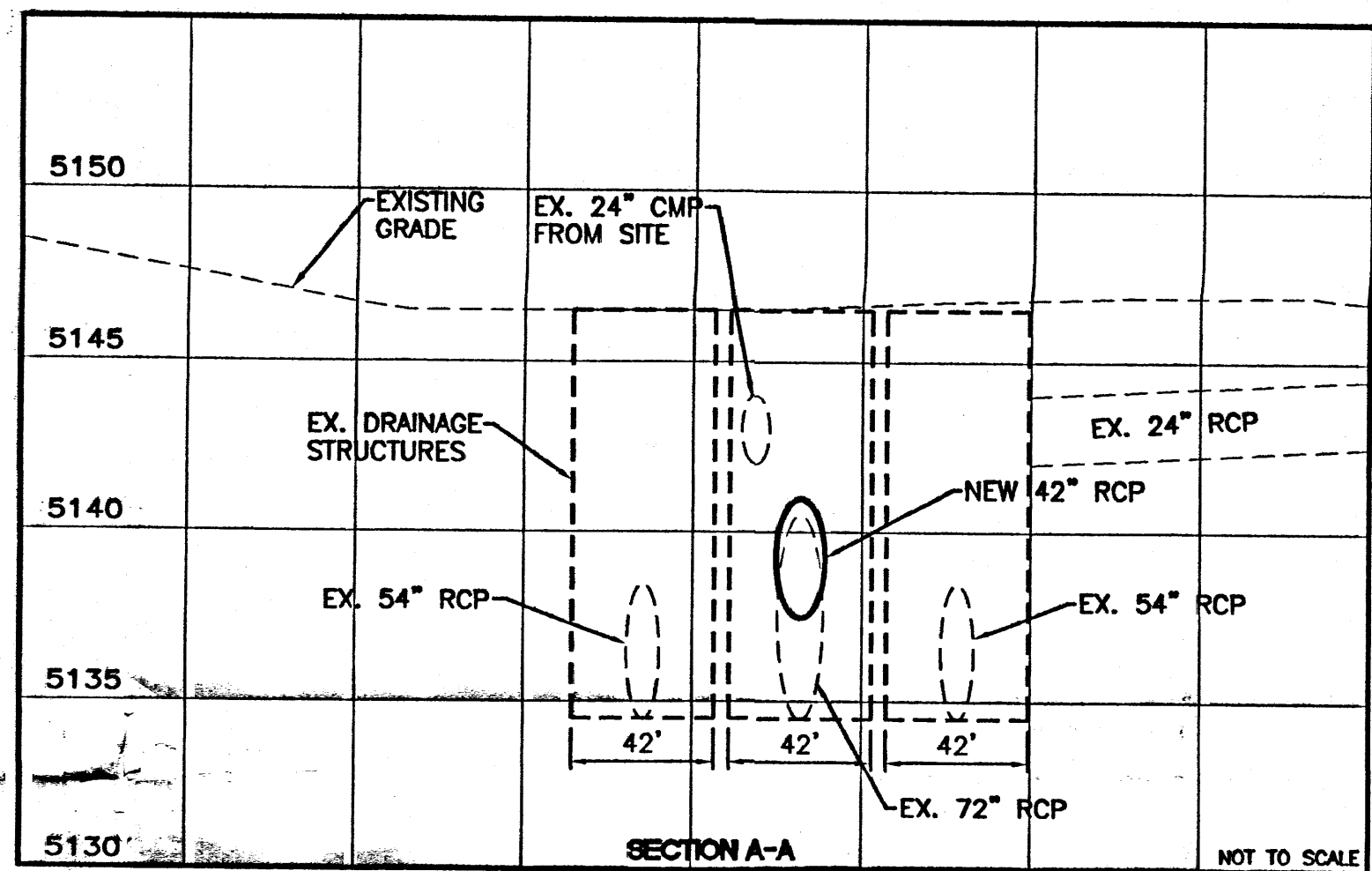
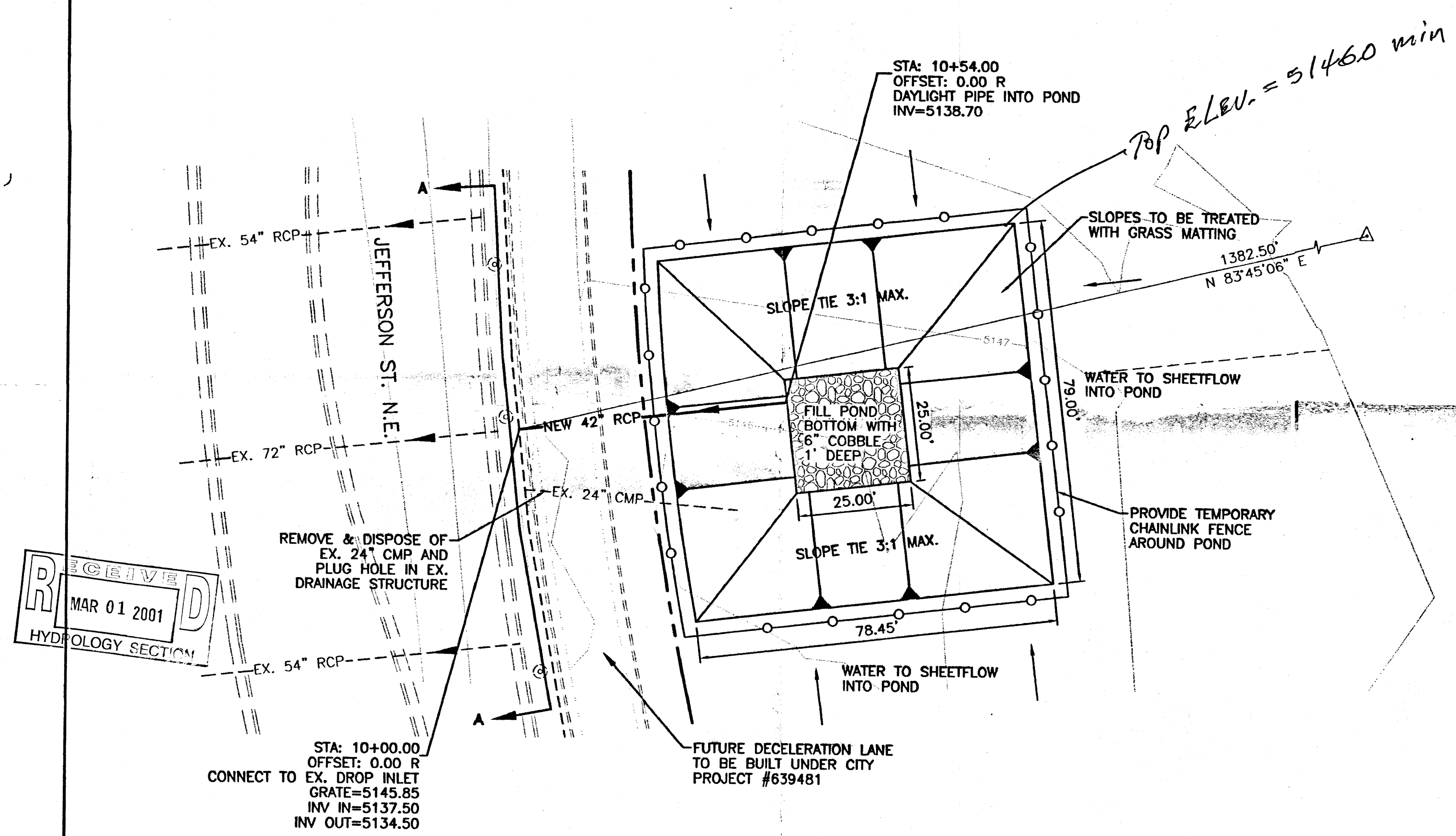
BUILD DECEL LANE
PER COA STD DWG 2466



GENERAL NOTES:

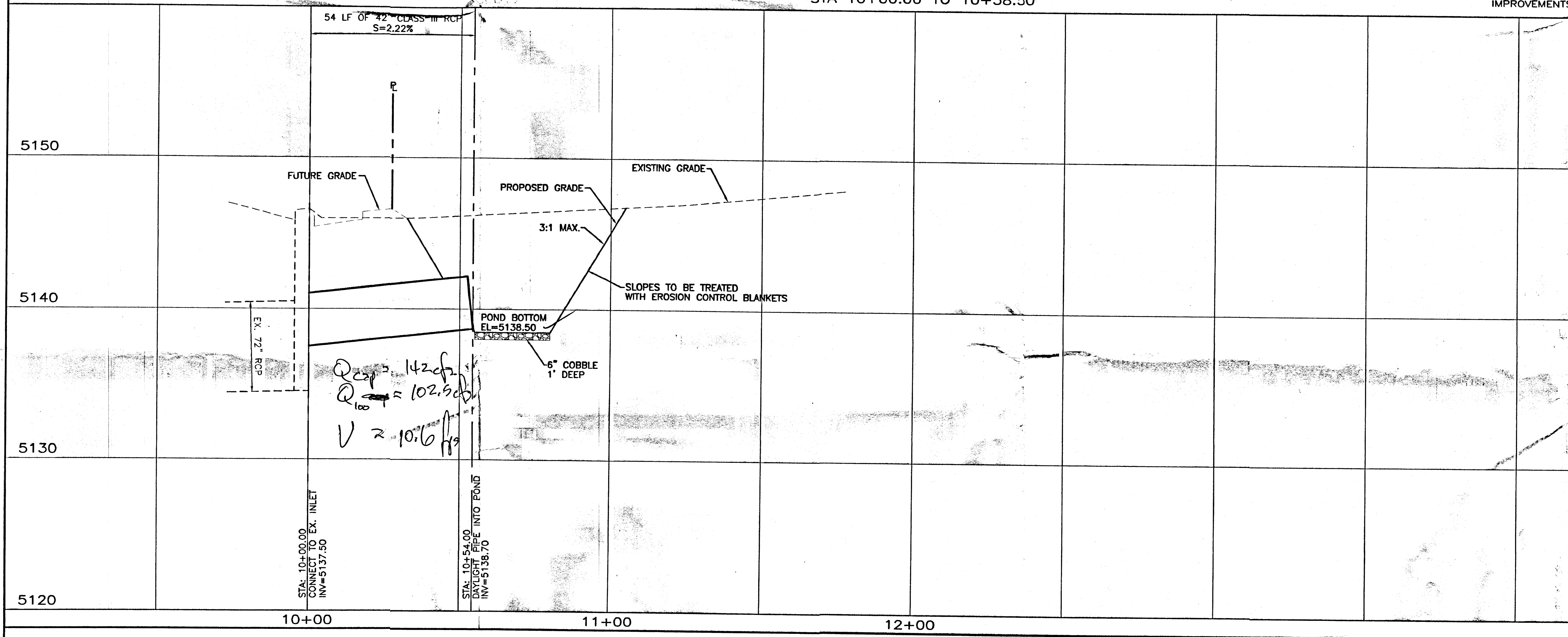
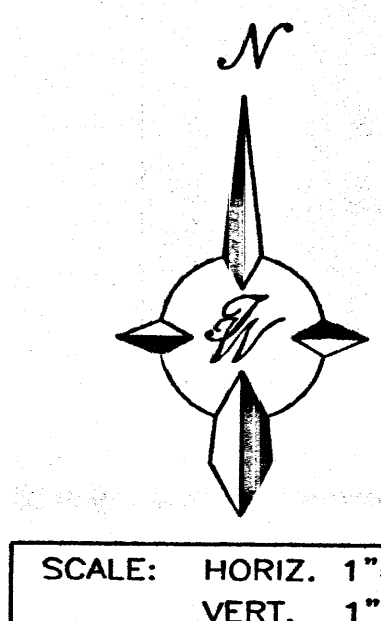
1. ALL EXISTING DROP INLETS ARE TO BE REMOVED.
2. EX. 10" STORM DRAIN ALONG NORTH PROPERTY LINE IS TO BE REMOVED.
3. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
4. ALL EX. STORM SEWER MANHOLE RIMS WILL NEED TO BE ADJUSTED TO NEW GRADE.





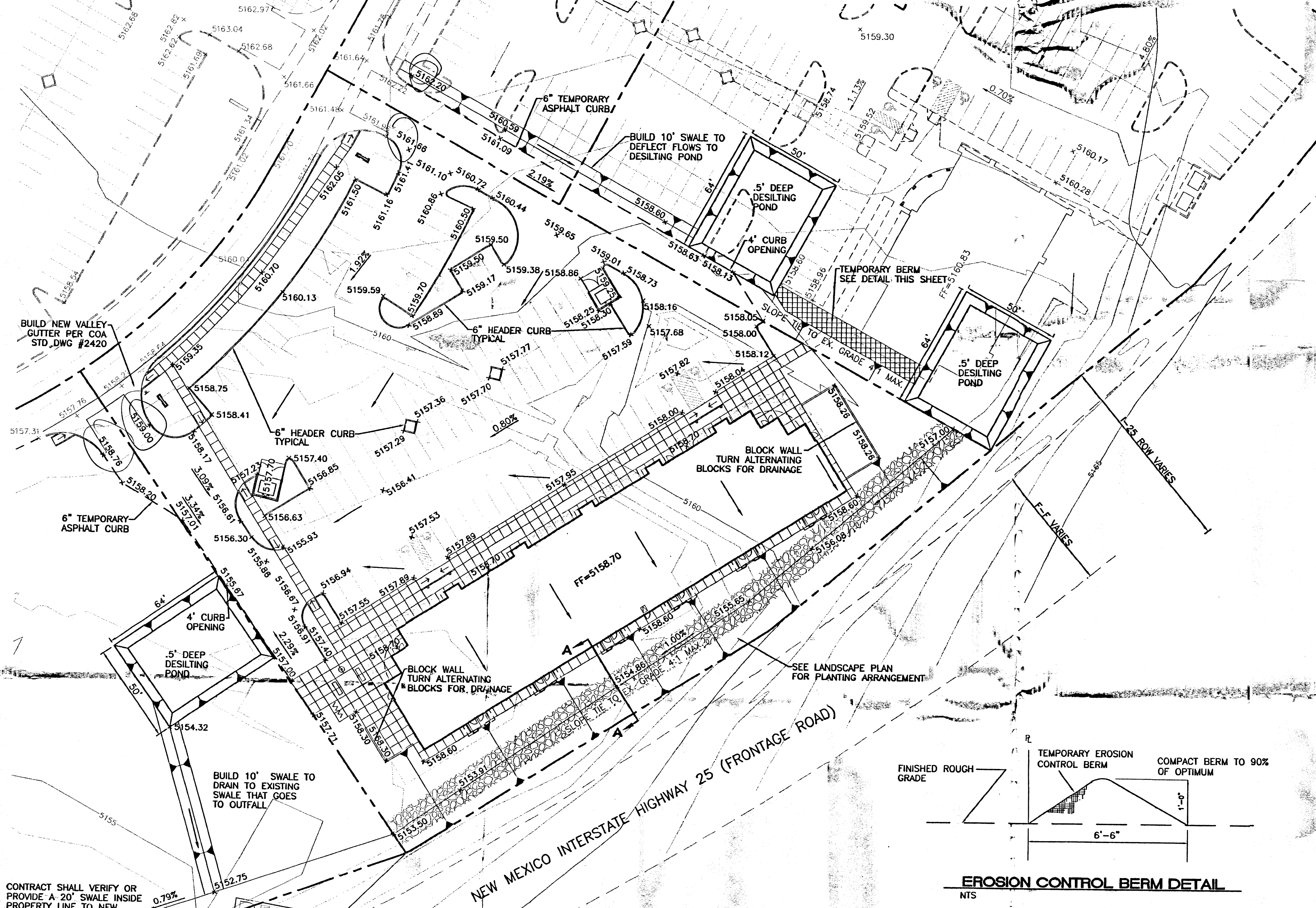
SOUTH ENTRANCE STORM SEWER
STA 10+00.00 TO 10+58.50

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



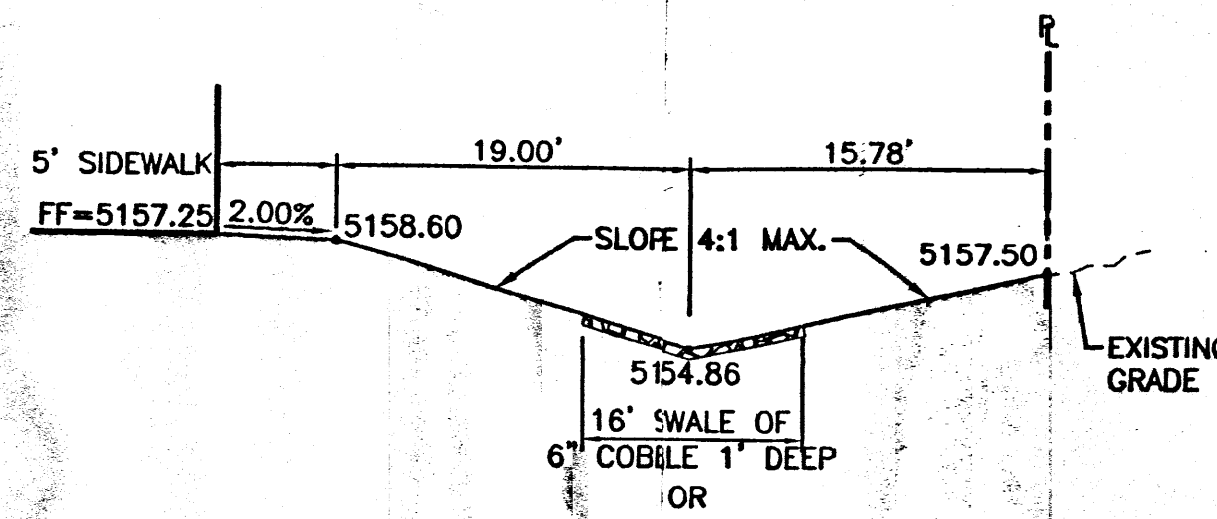
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: JEFFERSON ST. AND SINGER BLVD. STORM SEWER IMPROVEMENTS STA: 10+00.00 TO STA: 10+54.00	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE MAR 01 2001 HYDROLOGY SECTION	NO. / DAY / YR. NO. / DAY / YR.
CITY PROJECT NO.	SHEET
ZONE MAP NO.	2 OF 2

AS BUILT INFORMATION			
CONTRACTOR	WORK	DATE	DATE
NO.	NO.	NO.	NO.
BENCH MARKS			
ACS 11-25-17	DATE	BY	DATE
NO.	NO.	NO.	NO.
SURVEY INFORMATION			
FIELD NOTES	DATE	BY	DATE
NO.	NO.	NO.	NO.
ENGINEER'S SEAL			
NO.	DATE	REMARKS	BY
NO.	DATE	REVISIONS	BY
DESIGNED BY	DATE	DESIGN	DATE
DRAWN BY	DATE	DRAWING NAME	DATE
CHECKED BY	DATE	DWG	DATE



	2 LIFTS-1 1/2" CLASS "B" ASPHALT
	8" AGGREGATE BASE COURSE
	12" COMPACTED SUBGRADE TO 95% ASTM D-1557

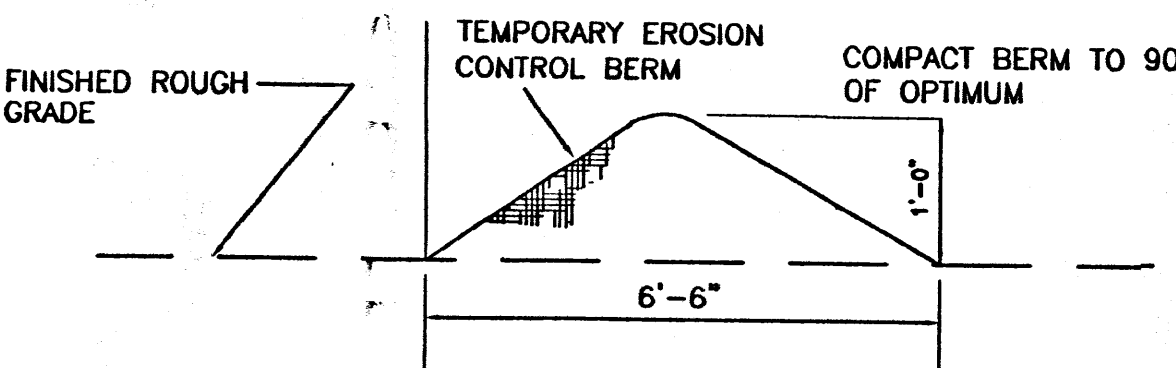
PAVING SECTION FOR PRIVATE STREETS
NTS



SECTION A-A
NTS

GENERAL NOTES

1. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
2. ROOF DRAINS TO BACK OF BUILDING WITH ROOF DRAINS DAYLIGHTING UNDER THE SIDEWALK INTO THE SWALE.
3. SEE ARCHITECTURAL PLANS FOR WHEELCHAIR RAMP DETAILS.
4. TEMPORARY DESILTING PONDS AND BERM SHALL BE MAINTAINED BY THE "25 DEVELOPMENT" MANAGEMENT UNTIL ADJACENT TRACTS ARE DEVELOPED AND PONDS ARE REMOVED.
5. THE DRAINAGE SWALE SHALL BE MAINTAINED BY THE OWNER OF TRACT I-1.



EROSION CONTROL BERM DETAIL
NTS

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

- ☐ Water disturbed area as frequently as necessary to control particulate matter during surface disturbance, construction traffic, wind events etc.
 - ☐ Water site access or haul roads during periods of active use associated with the project. (Includes interior or access roads, yard or parking areas of material storage or assembly, piled excavated material, trench work area, area disturbed by trespassing traffic, etc).
 - ☐ Cover, tarp, or otherwise contain all loads of loose material entering or leaving the site.
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ROUGH GRADING APPROVAL

DATE

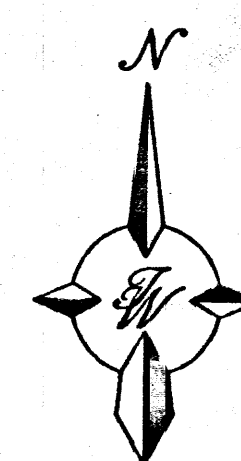
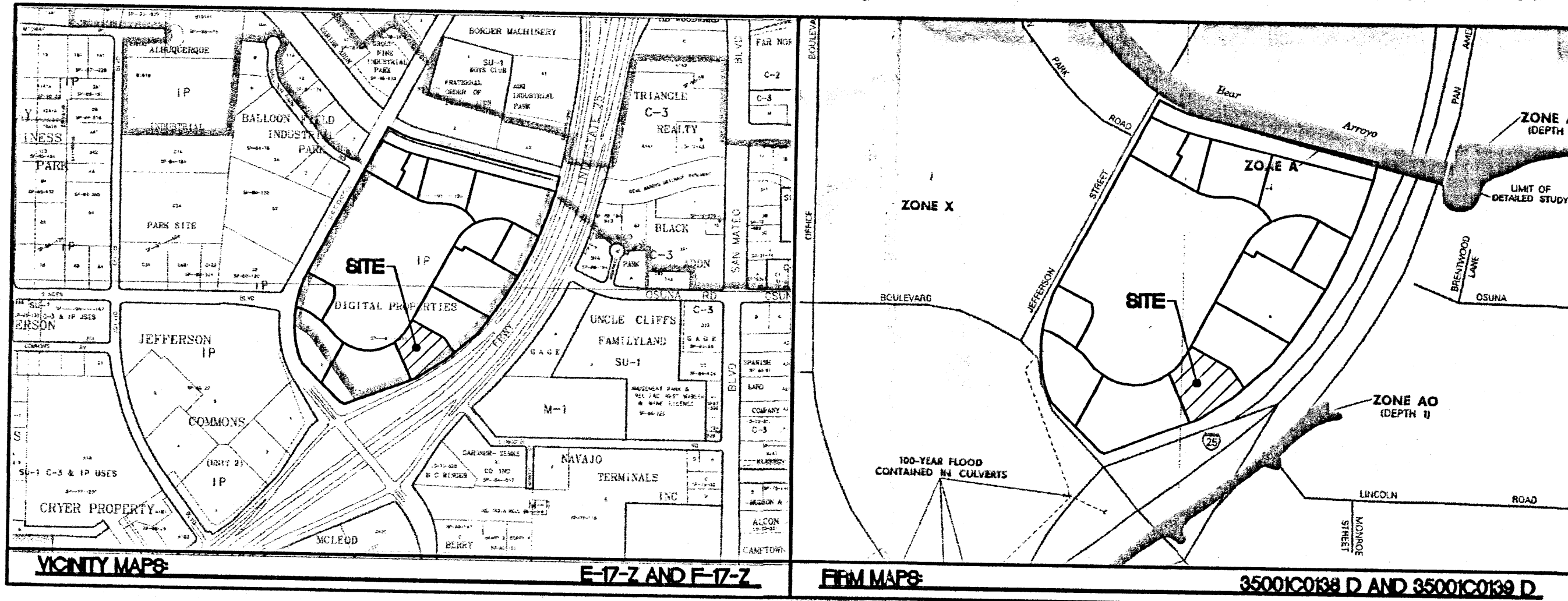
LEGEND

	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	TEMPORARY ASPHALT CURB
	BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION

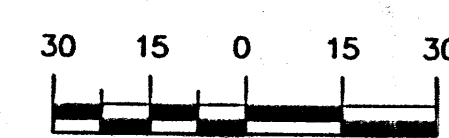
revisions

- △
- △
- △
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plotted:

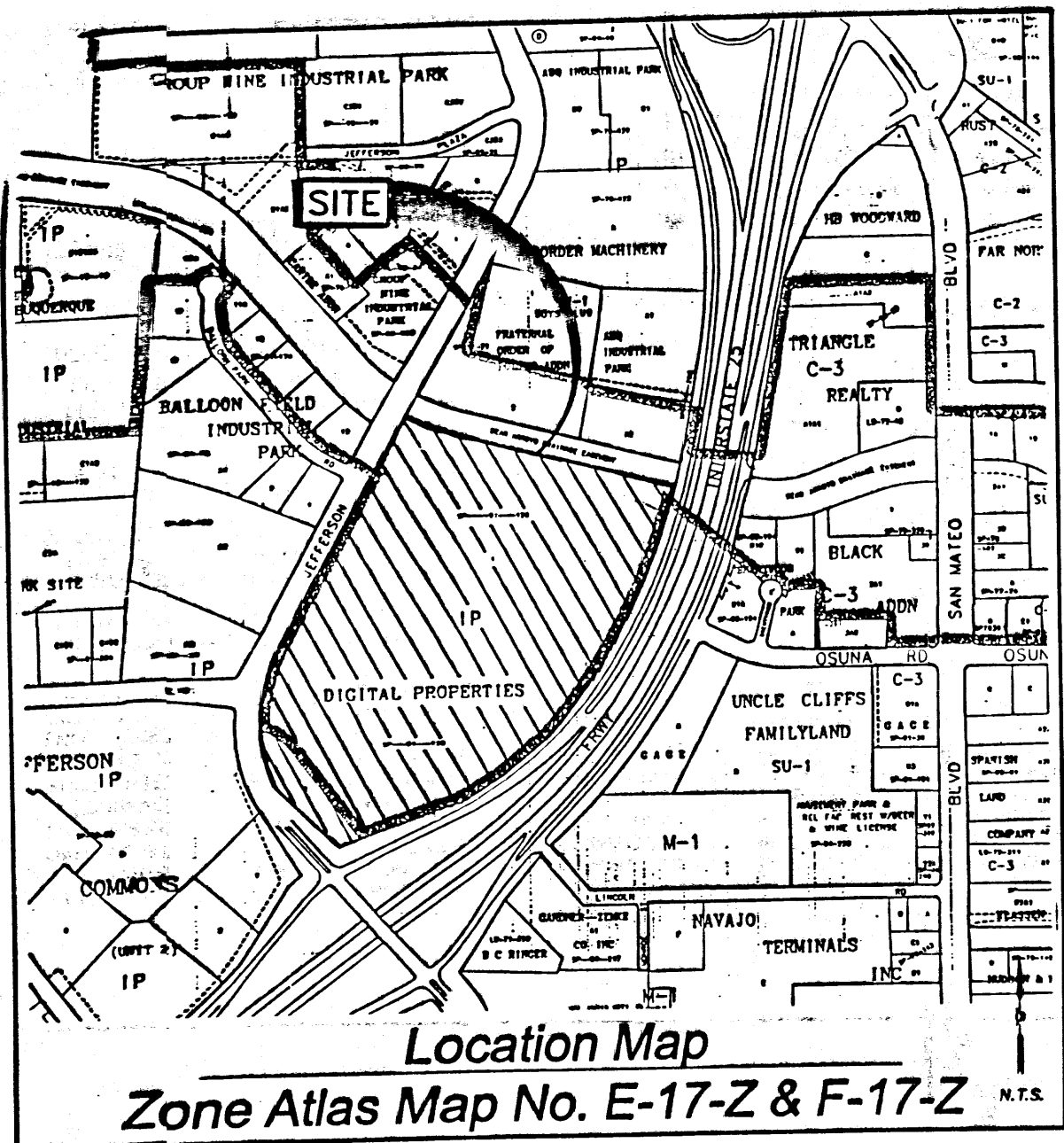


GRAPHIC SCALE



SCALE: 1"=30'

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SHOPS @ 25 GRADING AND DRAINAGE PLAN TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY JDN DATE 02-26-01 2030GR3.DWG SHEET # 1 OF 2 JOB # 200030
	RECEIVED MAR 01 2001 HYDROLOGY SECTION	
	RECEIVED MAR 01 2001	
	RECEIVED MAR 01 2001	



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 49.4248 ACRES
ZONE ATLAS INDEX NO: E-17-Z & F-17-Z
NO. OF TRACTS CREATED: 15
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: MARCH 1999

RECEIVED
MAR 01 2001
HYDROLOGY SECTION

- Notes:**
- MISC. DATA: ZONING IP
 - BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
 - ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
 - THIS PROPERTY LIES WITHIN PROJECTED SECTIONS 26 & 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 - THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO PARCELS INTO FOURTEEN NEW TRACTS, GRANT EASEMENTS AND DEDICATE RIGHT OF WAY.
 - PLAT SHOWS ALL EASEMENTS OF RECORD.
 - SP NO. 99033113520399.
- In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a title search of the properties shown hereon. C... PNM does not waive nor release any claim or easement rights which may have been acquired by prior plat, replat, or other documents which are not shown on this plat.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTIONS 26 AND 35, TOWNSHIP ELEVEN (11) NORTH, RANGE THREE (3) EAST, ELENA GALLEGOS GRANT, NEW MEXICO, PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF PARCELS NUMBERED ONE (1) AND (2), DIGITAL PROPERTIES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 15, 1991, IN VOLUME 91C, FOLIO 169, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERN MOST CORNER OF SAID TRACT LYING ON THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF THE PAN AMERICAN FREEWAY AND THE NORTHEASTERLY RIGHT OF WAY LINE OF JEFFERSON STREET, N.E., MARKED BY A FOUND NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT RIGHT OF WAY MARKER "STA. 276+57.5", FROM WHENCE A TIE TO NEW MEXICO STATE HIGHWAY COMMISSION MONUMENT "STA. 1-25-18" BEARS S 39°29'30" W, A DISTANCE OF 2,246.25 FEET;

THENCE FROM SAID BEGINNING POINT, N 66°01'49" W ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE OF JEFFERSON STREET, N.E., A DISTANCE OF 25.75 FEET TO AN ANGLE POINT MARKED BY A FOUND NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT RIGHT OF WAY MARKER "STA. 54+00.00";

THENCE N 44°41'43" W CONTINUING ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE OF JEFFERSON STREET, N.E., A DISTANCE OF 382.31 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT RIGHT OF WAY MARKER "STA. 58+00.00";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 583.62 FEET, AN ARC LENGTH OF 169.24 FEET, A DELTA ANGLE OF 16°36'54", AND A CHORD OF N 16°23'23" W, A DISTANCE OF 168.65 FEET TO A POINT OF COMPOUND CURVATURE MARKED BY A NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT RIGHT OF WAY MARKER "STA. 59+84.09";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 765.51 FEET, AN ARC LENGTH OF 494.98 FEET, A DELTA ANGLE OF 37°02'51", AND A CHORD OF N 10°26'27" E, A DISTANCE OF 486.40 FEET TO A POINT OF TANGENCY MARKED BY A NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT RIGHT OF WAY MARKER "STA. 65+13.33";

THENCE CONTINUING ALONG THE EAST RIGHT OF WAY LINE OF JEFFERSON STREET, N.E. N 28°57'53" E, A DISTANCE OF 1,141.25 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE CENTERLINE OF THE BEAR CANYON ARROYO DRAINAGE EASEMENT, SAID CORNER MARKED BY A WITNESS CORNER LYING 100.00 FEET SOUTH OF SAID CORNER ON THE INTERSECTION OF THE WEST BOUNDARY LINE AND THE SOUTH LINE OF THE 200 FOOT BEAR CANYON ARROYO DRAINAGE EASEMENT;

THENCE ALONG A NON-TANGENT CURVE TO THE LEFT, ALONG SAID ARROYO CENTERLINE, HAVING A RADIUS OF 961.13 FEET, AN ARC LENGTH OF 264.09 FEET, A DELTA ANGLE OF 15°44'35", AND A CHORD OF S 67°43'45" E, A DISTANCE OF 263.26 FEET TO A POINT OF TANGENCY MARKED BY A WITNESS CORNER LYING 100.00 FEET SOUTH OF SAID CORNER ON THE SOUTH LINE OF THE 200 FOOT BEAR CANYON ARROYO DRAINAGE EASEMENT;

THENCE S 75°36'03" E ALONG SAID ARROYO CENTERLINE, A DISTANCE OF 975.77 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT LYING ON THE SAID WEST RIGHT OF WAY LINE OF THE PAN AMERICAN FREEWAY MARKED BY A WITNESS CORNER LYING 100.02 FEET SOUTH OF SAID CORNER ON THE INTERSECTION OF THE EAST BOUNDARY LINE AND THE SOUTH LINE OF THE 200 FOOT BEAR CANYON ARROYO DRAINAGE EASEMENT;

THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 2,699.79 FEET, AN ARC LENGTH OF 1,253.29 FEET, A DELTA ANGLE OF 26°35'52", AND A CHORD OF S 27°44'23" W, A DISTANCE OF 1,242.07 FEET TO A POINT OF TANGENCY MARKED BY A NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT RIGHT OF WAY MARKER "STA. 276+75.49";

THENCE CONTINUING ALONG SAID WEST RIGHT OF WAY LINE FOR THE NEXT THREE COURSES, S 50°17'22" W, A DISTANCE OF 279.13 FEET TO AN ANGLE POINT MARKED BY A NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT RIGHT OF WAY MARKER "STA. 273+96.51";

THENCE S 57°45'28" W, A DISTANCE OF 215.15 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE S 70°07'52" W, A DISTANCE OF 547.30 FEET TO THE POINT OF BEGINNING, CONTAINING 49.4248 ACRES MORE OR LESS, NOW COMPRISING TRACTS A, B1, B2, C, D, E, F, G, H1, H2, I, J, K, L AND M, THE 25.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT EASEMENT FOR UTILITIES AS SHOWN HEREON WITH SAME STIPULATIONS AS LISTED ABOVE FOR EXISTING UTILITIES. SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

PAR ASSET MANAGEMENT, INC.
AS AGENT FOR OWNER
AGB ALBUQUERQUE, L.L.C.
BY R. BRIAN PARKS
DEVELOPMENT MANAGER

Acknowledgement

STATE OF NEW MEXICO)
COUNTY OF VALENCIA)

OFFICIAL SEAL
Karen Stewart
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 1-5-2003

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF September, 1999 BY R. BRIAN PARKS, DEVELOPMENT MANAGER, PAR ASSET MANAGEMENT, INC AS AGENT FOR OWNER, AGB ALBUQUERQUE, LLC.

BY Karen Stewart
NOTARY PUBLIC

MY COMMISSION EXPIRES: January 5, 2003

Plat of
Tracts A, B1, B2, C, D, E, F, G, H1, H2, I, J, K, L & M
The 25
Albuquerque, Bernalillo County, New Mexico
April 1999

SANO: 99-127

Approvals

APPROVAL	DATE
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	11-17-99
CITY ENGINEER	NOV. 15, 1999
TRAFFIC ENGINEER	9-22-99
CITY SURVEYOR	09/13/99
PROPERTY MANAGEMENT	07-15-99
WATER RESOURCES DEPARTMENT	9-22-99
DESIGN AND DEVELOPMENT, City Parks & Recreation	9-24-99
PNM ELECTRIC SERVICES	9-24-99
PNM GAS SERVICES	09-24-99
U.S. WEST COMMUNICATIONS	11/15/99
JONES INTERCABLE, INC.	

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1-011-062-317-005-40110/1-01-061-214 447-20602

Digital Equip Corp
ALBUQUERQUE, NEW MEXICO

Josephine M. Serna

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
N.M.P.S. No. 11993

8/31/99

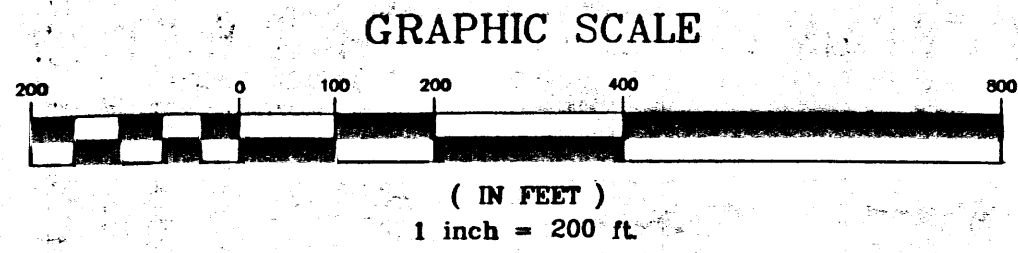
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MAR 01 2001
HYDROLOGY SECTION

PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

DRB Case No. 99-99
Sheet 1 of 3

Plat of
Tracts A, B1, B2, C, D, E, F, G, H1, H2, I, J, K, L & M
The 25
Albuquerque, Bernalillo County, New Mexico
April 1999



Easement Legend

- 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT
- 20' PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT
- 25' PUBLIC WATER AND SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT
- 20' PUBLIC SANITARY SEWER EASEMENT GRANTED BY THIS PLAT
- LANDSCAPE EASEMENT GRANTED BY THIS PLAT (WIDTH VARIES SEE SHEET 3 OF 3)

NOTE:

1. THE 20' PEDESTRIAN EASEMENT WITHIN AMAFCA'S DRAINAGE EASEMENT IS SUBSERVIENT TO AMAFCA EASEMENT. ANY CONSTRUCTION WITHIN EASEMENT AREA REQUIRES PRIOR AMAFCA WRITTEN APPROVAL.

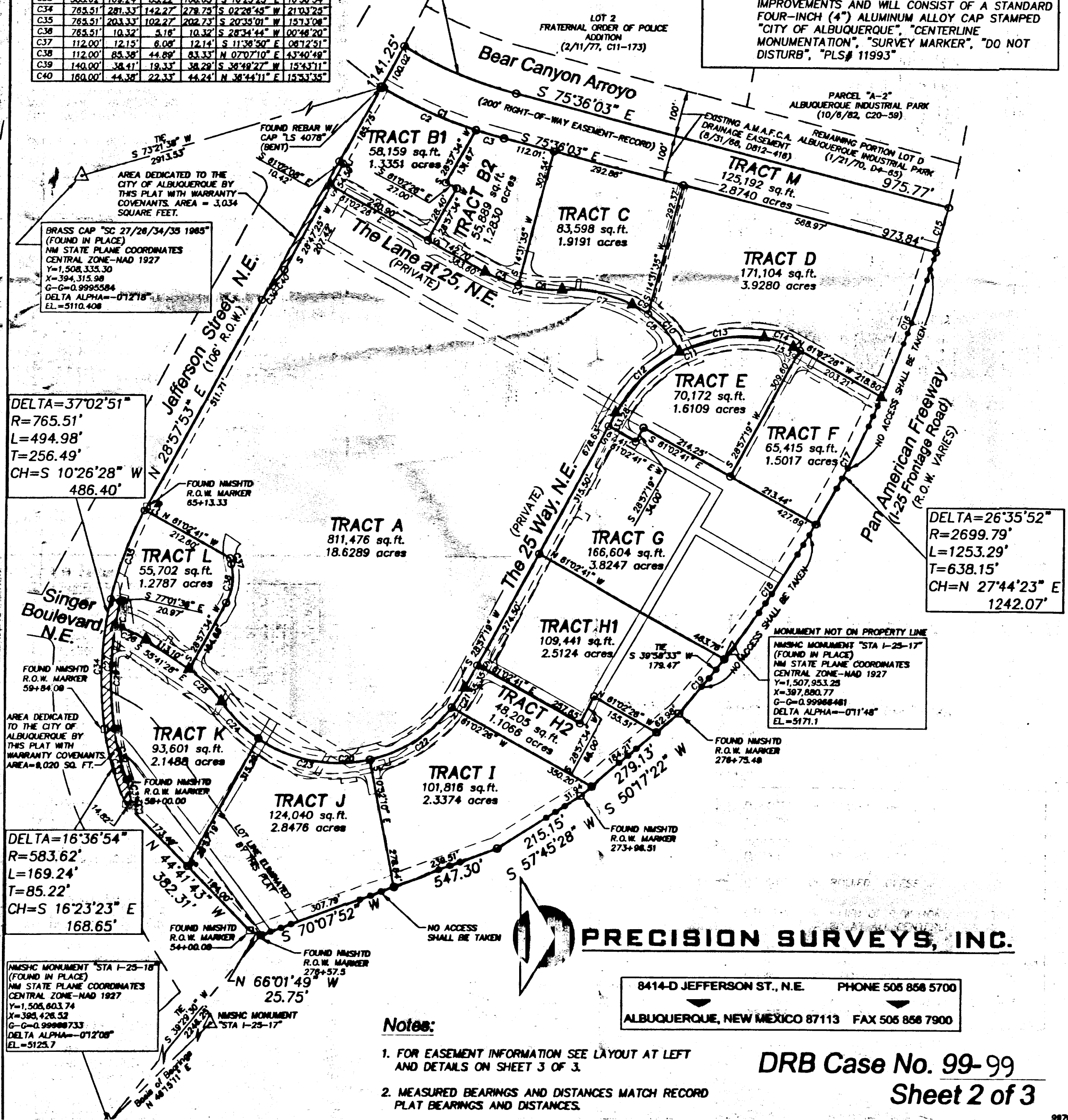
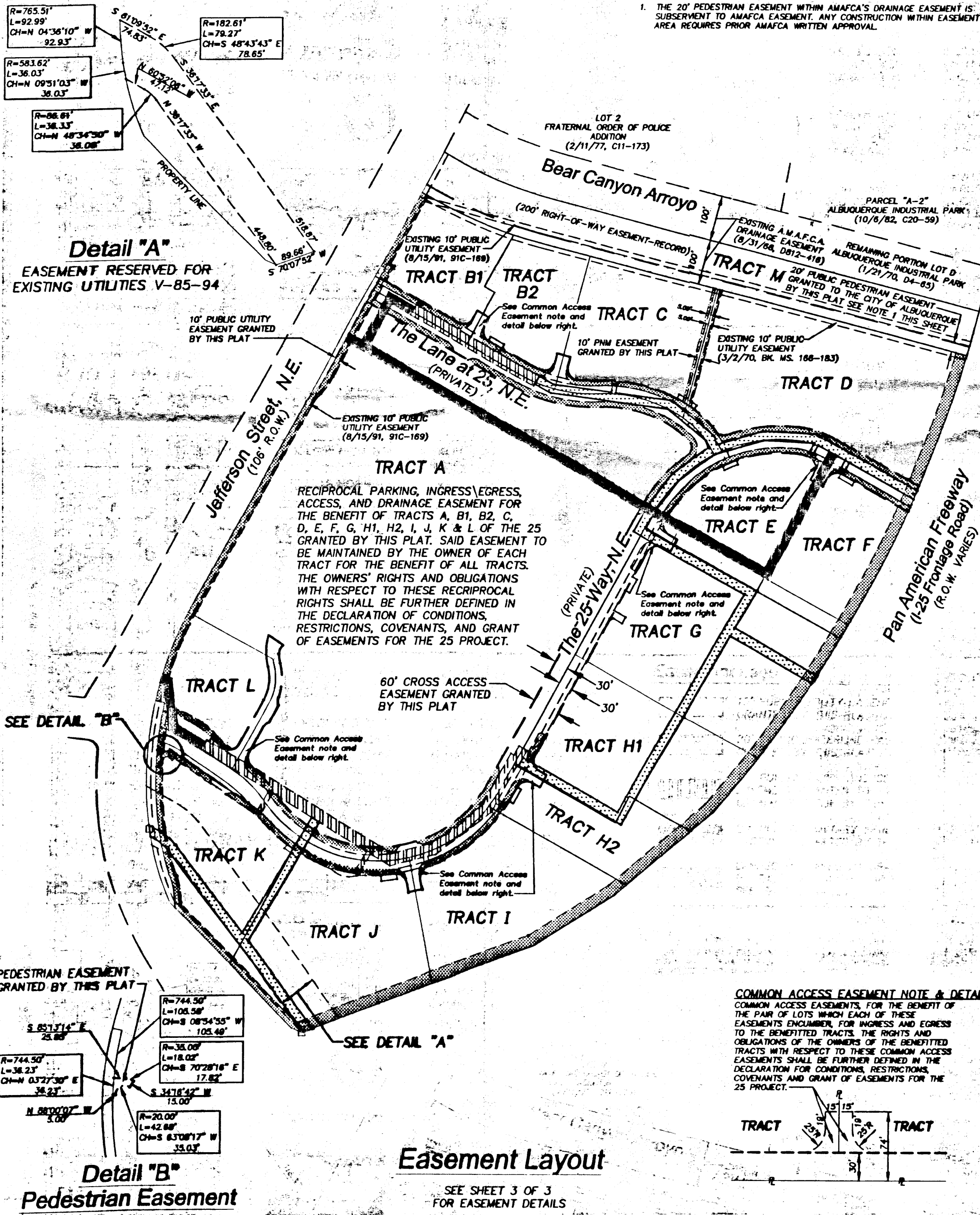
Curve Table

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	1081.13	289.51	145.84	288.81	S 67°47'05" E	15°37'56"
C2	1081.13	225.78	113.31	223.34	S 68°03'48" E	12°11'24"
C3	1081.13	63.78	31.88	63.75	S 73°52'48" E	03°28'33"
C4	314.00	174.82	89.74	172.37	S 76°59'25" E	31°53'59"
C5	314.00	77.04	38.71	76.84	S 85°04'08" E	14°03'25"
C6	314.00	92.78	46.28	92.58	S 84°01'08" E	17°50'34"
C7	314.00	161.83	82.65	158.88	N 78°11'34" W	28°29'17"
C8	225.00	147.50	78.31	144.87	N 44°39'58" W	37°33'38"
C9	225.00	38.60	19.35	38.58	N 58°31'58" W	08°48'45"
C10	225.00	108.90	55.54	107.84	N 58°53'07" W	27°43'33"
C11	320.94	380.84	218.43	358.88	S 82°58'31" W	67°58'06"
C12	320.94	191.62	98.87	188.88	S 48°04'28" W	34°14'31"
C13	320.94	188.02	97.34	186.31	S 80°04'02" W	33°44'43"
C14	175.00	87.27	34.08	86.88	N 72°03'12" W	22°01'34"
C15	269.79	100.02	50.00	100.02	N 15°30'08" E	02°07'24"
C16	269.79	339.79	170.12	339.57	N 20°10'09" E	07°14'40"
C17	269.79	309.93	155.13	309.78	N 27°03'48" E	06°34'39"
C18	269.79	351.15	175.82	350.90	N 34°04'42" E	07°27'08"
C19	269.79	152.40	76.22	152.38	N 39°23'17" E	03°14'03"
C20	314.04	633.00	487.61	531.18	N 86°42'28" E	11°52'29"14"
C21	314.04	30.44	23.27	30.38	N 33°33'55" E	08°12'08"
C22	314.04	214.80	111.88	210.45	N 57°44'31" E	39°09'07"
C23	314.04	255.47	135.28	248.58	S 78°22'41" E	48°38'30"
C24	314.04	112.50	56.88	111.90	S 43°48'02" E	20°11'32"
C25	286.04	98.72	50.37	98.21	N 45°31'55" W	18°38'28"
C26	200.00	72.80	36.81	72.39	N 69°07'08" W	20°51'16"
C27	744.50	275.83	139.52	274.28	S 02°14'50" W	21°13'40"
C28	744.50	55.01	27.52	55.00	S 10°31'40" W	04°14'00"
C29	744.50	220.82	111.23	220.02	S 00°14'50" W	16°59'40"
C30	562.62	111.93	56.15	111.75	S 14°00'12" E	11°23'57"
C31	160.00	54.18	27.35	53.92	N 10°00'11" W	19°24'04"
C32	140.00	11.58	5.79	11.58	S 02°40'21" E	04°44'28"
C33	583.62	189.24	85.22	188.65	S 18°32'32" E	16°38'24"
C34	785.51	281.53	142.27	278.75	S 02°28'45" W	21°03'24"
C35	785.51	203.33	102.27	202.73	S 20°35'01" W	15°13'08"
C36	785.51	10.32	5.16	10.32	S 28°24'44" W	00°48'20"
C37	112.00	12.15	6.08	12.14	S 11°36'50" E	08°12'51"
C38	112.00	85.38	44.89	83.33	N 07°07'10" E	43°40'48"
C39	140.00	38.41	19.33	38.29	S 38°19'27" W	15°43'11"
C40	160.00	44.38	22.33	44.24	N 38°44'11" E	15°33'33"

DELTA=15°44'35"
R=961.13'
L=264.09'
T=132.88'
CH=S 67°43'45" E
263.26'

Legend

- DENOTES POINT FOUND AND USED AS SHOWN
- DENOTES POINT SET BY THIS SURVEY REBAR WITH CAP "PS 11993"
- DENOTES CONTROLLED ACCESS
- ▲ CENTERLINE (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A STANDARD FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS# 11993"



PRECISION SURVEYS, INC.

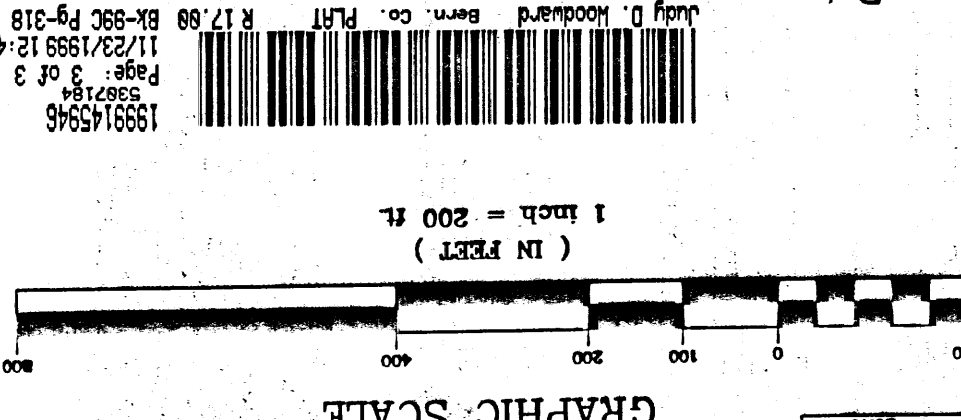
8414-D JEFFERSON ST., N.E. PHONE 505 858 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 858 7900

Notes:

- FOR EASEMENT INFORMATION SEE LAYOUT AT LEFT AND DETAILS ON SHEET 3 OF 3.
- MEASURED BEARINGS AND DISTANCES MATCH RECORD PLAT BEARINGS AND DISTANCES.

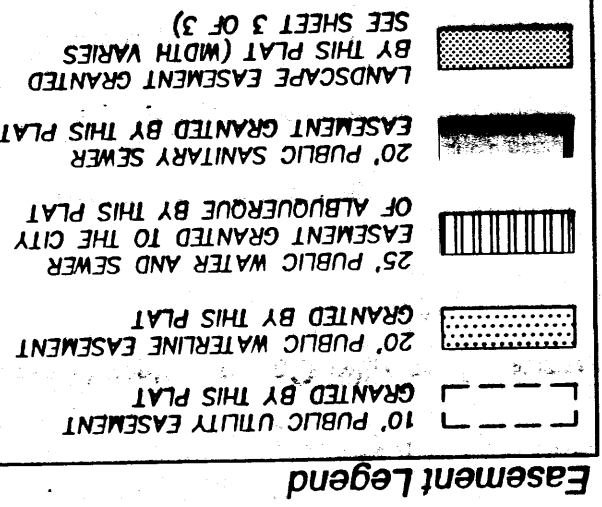
DRB Case No. 99-99
Sheet 2 of 3

Plat of
Tracts A, B1, B2, C, D, E, F, G, H1, H2, I, J, K, L & M
The 25
Albuquerque, Bernalillo County, New Mexico
April 1999



1999145946
3587184
11/23/1999 12:43P
R 17.00 BL-99C PG-318
Judy D. Woodward Bern. Co. PLAT

Easement Curve Data		Easement Line Data	
CURVE	LENGTH	LINE	LENGTH
C1	25.00	C1	10.00
C2	25.00	C2	10.00
C3	25.00	C3	10.00
C4	25.00	C4	10.00
C5	25.00	C5	10.00
C6	25.00	C6	10.00
C7	25.00	C7	10.00
C8	25.00	C8	10.00
C9	25.00	C9	10.00
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C99	25.00	C99	10.00
C100	25.00	C100	10.00



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8414-D JEFFERSON ST., N.E.
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PHONE 505 856 7900

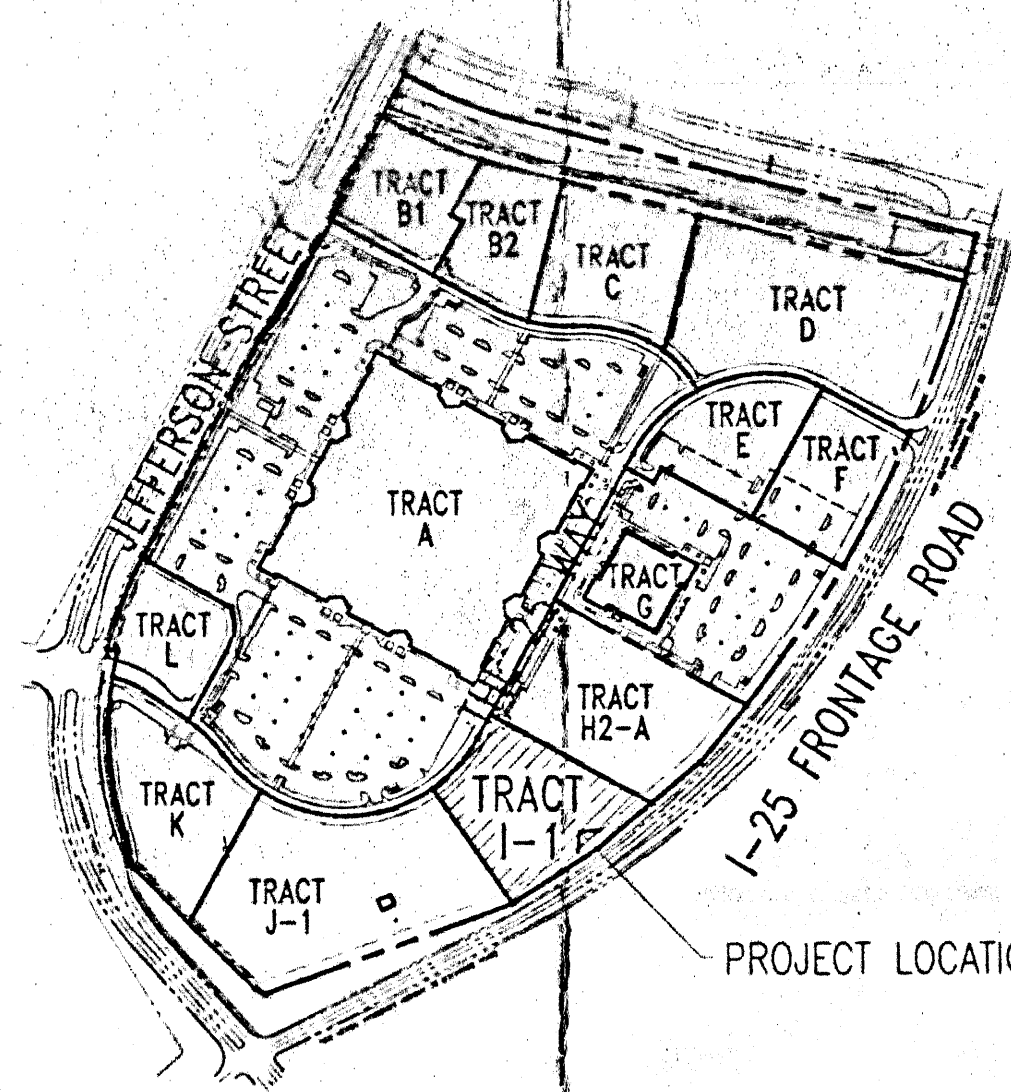
DRB Case No. 99-99
Sheet 3 of 3

RECIPROCAL PARKING, INGRESS/EGRESS
ACCESS, AND DRAINAGE EASEMENT FOR
THE BENEFIT OF TRACTS A, B1, B2, C,
D, E, F, G, H1, H2, I, J, K & L OF THE 25
BE MAINTAINED BY THE OWNER OF EACH
TRACT FOR THE BENEFIT OF ALL TRACTS
WITH RESPECT TO THESE RECIPROCAL
RIGHTS SHALL BE FURTHER DEFINED IN
THE DECLARATION OF CONDITIONS.
RESTRICTIONS, COVENANTS, AND GRANT
OF EASEMENTS FOR THE 25 PROJECT.

Water & Sanitary Sewer
Easement Details

Public Utility & Sanitary Sewer
Easement Details

Landscape & Access
Easement Details



Location Map - Development @25
1"=200'-0"

Project Data

(PER 1997 NEW MEXICO BUILDING CODE & 1997 UNIFORM BUILDING CODE)

- SEISMIC ZONE (FIGURE 16-2) 29
- REQUIRED:**
 PARKING REQUIREMENTS CALCULATED BASED ON DESIRED MIX OF 5,000 SF OF RESTAURANT SPACE AND 9,480 SF RETAIL SPACE. RESTAURANT SPACE IS ASSUMED TO BE 60% SEATING AREA AND 40% KITCHEN, AND NUMBER OF SEATS IS DETERMINED BY ASSIGNING 15 SF PER SEAT.
 RETAIL SPACES: 9,480 SF / 200 SF/SPACE = 47 SPACES
 RESTAURANT SPACES: (5,000 SF X 60%) / 15 SF/SEAT / 4 SEATS/SPACE = 50 SPACES
 TOTAL REQUIRED (BASED ON ASSUMED TENANT MIX): 97 SPACES
PARKING PROVIDED:
 REGULAR SPACES: 92 SPACES
 SMALL CAR SPACES: 3 SPACES
 HANDICAP SPACES: 2 SPACES
 TOTAL PARKING PROVIDED: 97 SPACES
- BUILDING CODE ANALYSIS**
 A. OCCUPANCY (CHAPTER 3): MIXED RESTAURANT & RETAIL, GROUPS A3 & M
 B. TYPE OF CONSTRUCTION (CHAPTER 5): II-N, NON-SPRINKLED
 C. ALLOWABLE AREA (ASSUME ALL A3): 9,000 SF
 D. SHOP ALLOWABLE AREA (TABLE 5-B) = 15,750 SF
 INCREASE FOR SEPARATION ON FOUR SIDES (5X/FT X 15 FT = 75X) = 15,750 SF
 ACTUAL AREA: 14,480 SF
 E. OCCUPANCY LOADS (1003.2.2) INDIVIDUAL TENANT SPACES TO BE REVIEWED AND PERMITTED SEPARATELY
 F. NUMBER OF STORIES (TABLE 5-B) ALLOWED 55'-0" PROVIDED 22'-0"
 G. MAXIMUM BUILDING HEIGHT (TABLE 5-B) ALLOWED 55'-0" PROVIDED 22'-0"
 H. PLUMBING FIXTURE COUNTS (CHAPTER 29) INDIVIDUAL TENANT SPACES TO BE REVIEWED AND PERMITTED SEPARATELY

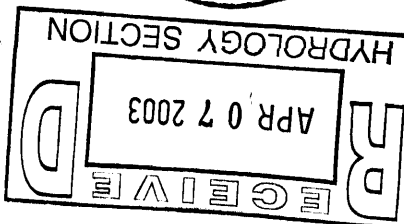
Keyed Notes

- EXISTING MONITORING/OBSERVATION WELL FOR GROUNDWATER TO REMAIN - FULLY PROTECT DURING CONSTRUCTION.
- PAINTED STEEL BOLLARD, REFER D1/A002.
- EXISTING POWER POLE AND GUY WIRE TO REMAIN.
- NEW 5'-0" WIDE X 4' CONCRETE SIDEWALK W/ C.J. @ 5'-0" O.C. AND E.J. @ 25' O.C. MAX., MEDIUM BROOM FINISH, REFER A5/A002.
- PROVIDE CERAMIC TILED CONCRETE BASE AND ELECTRICAL ROUGH-IN FOR MONUMENT SIGN (TO BE PROVIDED BY OTHERS). REFER C3/A002.
- NOT USED.
- 4" WIDE WHITE PAINTED PARKING STRIPING, TYP.
- FLUSH 6" THICK X 5'-0" WIDE INTEGRAL COLORED CONCRETE CROSSWALK W/ C.J. @ 5'-0" O.C. AND E.J. @ 25' O.C. MAX. MEDIUM BROOM FINISH, WIDTH AS INDICATED, REFER B2/A002.
- CONCRETE CURB ACCESS RAMP, REFER B3/A002.
- NEW 4" CONCRETE SIDEWALK W/ TURNED DOWN CURB, W/ SAWCUT C.J. @ 5'-0" O.C. AND E.J. @ 25' O.C. MAX. MEDIUM BROOM FINISH, WIDTH AS INDICATED, REFER A5/A002.
- NEW 4" CONCRETE SIDEWALK W/ TURNED DOWN CURB, W/ SAWCUT C.J. @ 5'-0" O.C. AND E.J. @ 25' O.C. MAX. MEDIUM BROOM FINISH, WIDTH AS INDICATED, REFER A5/A002.
- 6" X 6" TREE PLANTER IN PARKING AREA, TYP. REFER B4/A002.
- 6" HIGH X 6" WIDE CONC. CURB, TYP. REFER B4/A002.
- 2" ASPHALT CONC. PAVING ON 4" BASE COURSE, TYP. PARKING AREAS.
- DASHED LINE INDICATES PAINTED RED CURB FOR FIRE LANE, TYP.
- TEMPORARY EXTRUDED ASPHALT CURB, REFER CIVIL.
- POLE MOUNTED HANDICAP PARKING ONLY SIGN TO READ "VAN ACCESSIBLE", REFER C1/A002.
- POLE MOUNTED STOP SIGN, REFER C2/A002.
- POLE MOUNTED HANDICAP PARKING ONLY SIGN, REFER C1/A002.
- SINGLE DUMPSTER ENCLOSURE, REFER A1/A002.
- PAINTED STEEL SHADE CANOPIES & FRAMEWORK ATTACHED TO BUILDING, TYP.
- STANDARD POLE LIGHT FIXTURE IN PARKING AREAS TYP. REFER ELEC. DRAWINGS.
- EXISTING CUSTOM STREET LIGHT POLE TO REMAIN.
- EXISTING DRIVEPAD AND CURB ACCESS RAMPS TO REMAIN.
- NEW VALLEY GUTTER AT ENTRANCE PER C.O.A. STANDARD 2420.
- NEW 6" CURB & GUTTER PER C.O.A. STANDARD 2415.
- EXISTING TEMPORARY ASPHALT CURB TO REMAIN.
- LOCATION OF NEW ELEC. TRANSFORMER, REFER ELEC. DRAWINGS.
- LOCATION OF NEW TENANT GAS METERS, REFER MECH. DRAWINGS.
- LOCATION OF NEW TENANT ELEC. METERS, REFER ELEC. DRAWINGS.
- 6" HIGH STUCCO ON C.M.U. SCREEN WALL, REFER B5/A002.
- 2'-0" HIGH STUCCO ON C.M.U. SCREEN WALL, REFER B5/A002.
- PREFINISHED BLUE STEEL BENCH, 6' BENCH 59 BY DUMOR, INC. REPRESENTATIVE: EXTERPLAY 505-281-0151.
- PREFINISHED BLUE STEEL BIKERACK, "GENESIS" MODEL FROM MAGRAX 1-800-448-7031.
- PREFINISHED BLUE TRASH RECEPTACLE, 32 GALLON RECEPTACLE 89 (89-30) WITH ASH LID BY DUMOR, INC. REPRESENTATIVE: EXTERPLAY 505-281-0151.
- FUTURE CONCRETE PAVEMENT AREA BY TENANT.

Certification
This site work was built in substantial conformance with this plan, and verified by the Architect.

Kendal Giles, AIA, Principal
Dekker/Perich/Sabatini
4/3/03

RECORD DRAWING	
DATE: 04/07/2003	DRAFTED BY: KGW
TIERRA WEST DEV.	
THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.	

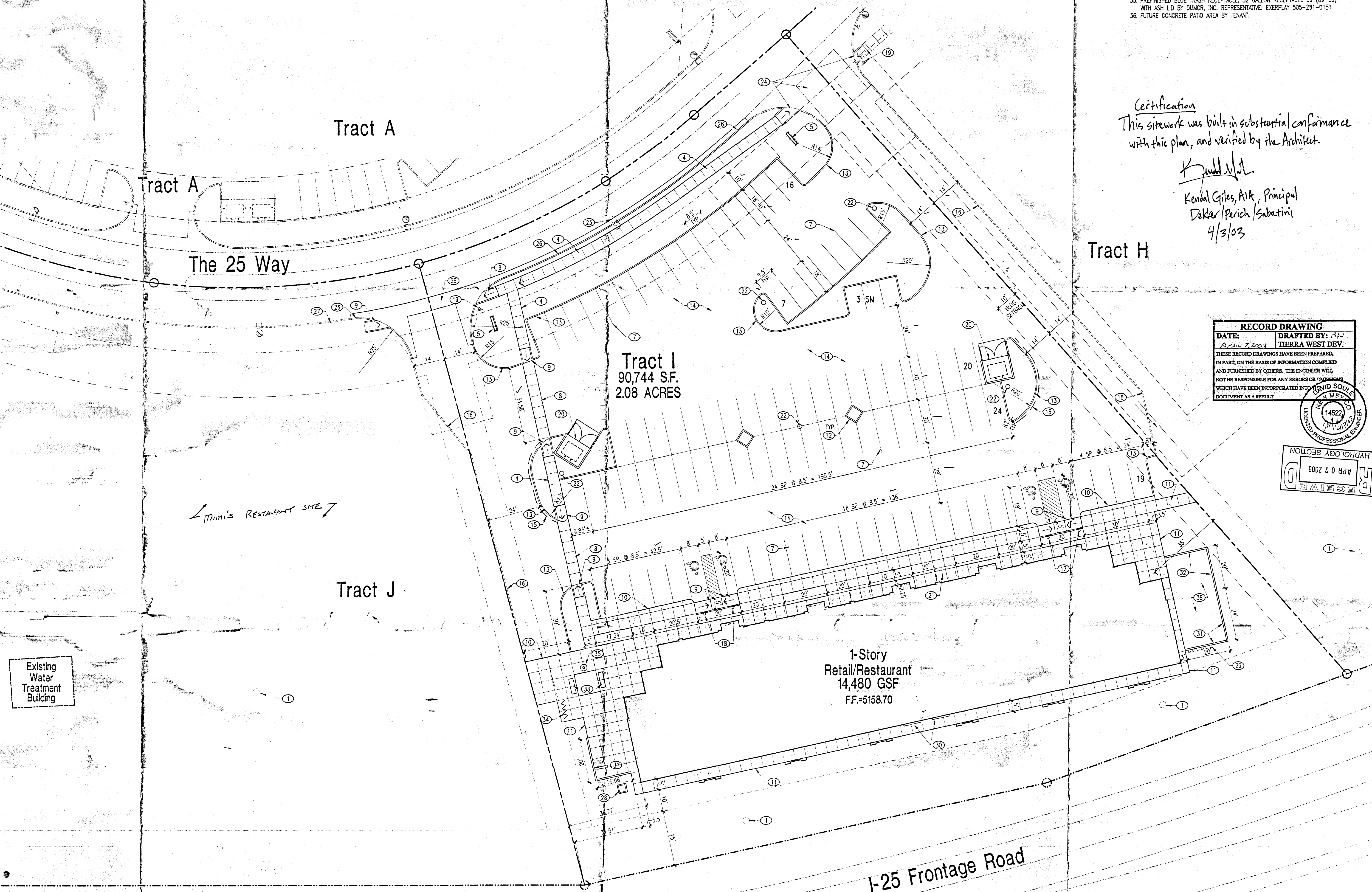


The Shops @25
Tract I-1, The 25
4320 The 25 Way
Albuquerque, NM 87109

revisions	
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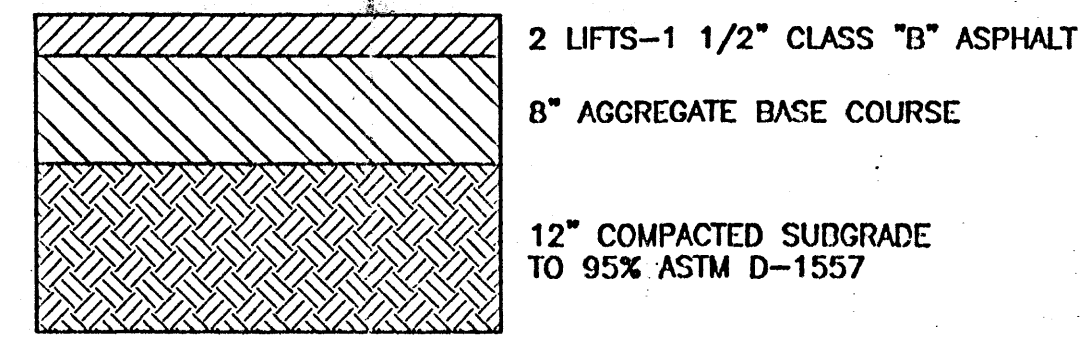
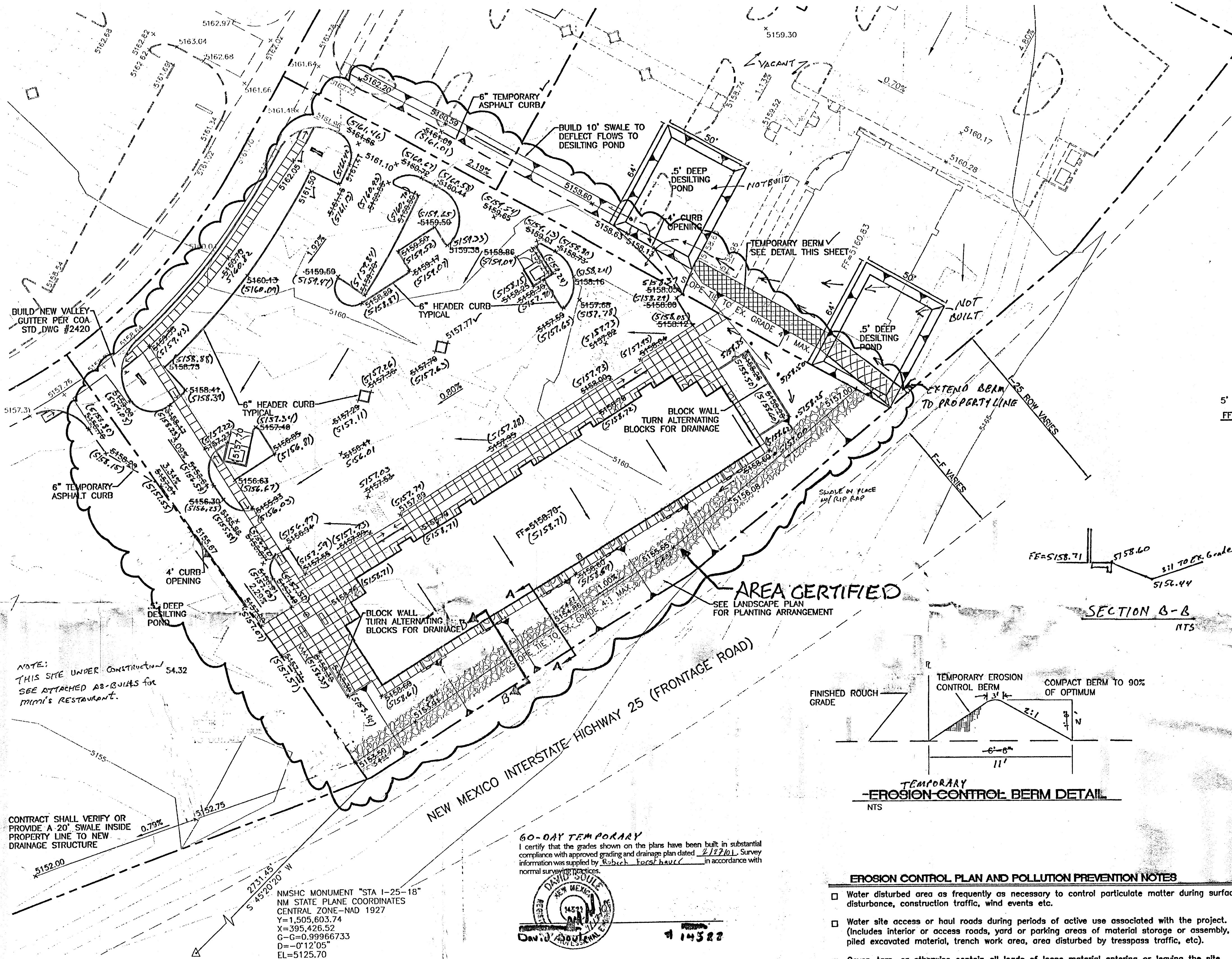
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drawn by: KGW
revised by: KGW
date: 10/27/00
project no.: 00070
drawing name: Site Plan

Sheet No. A001

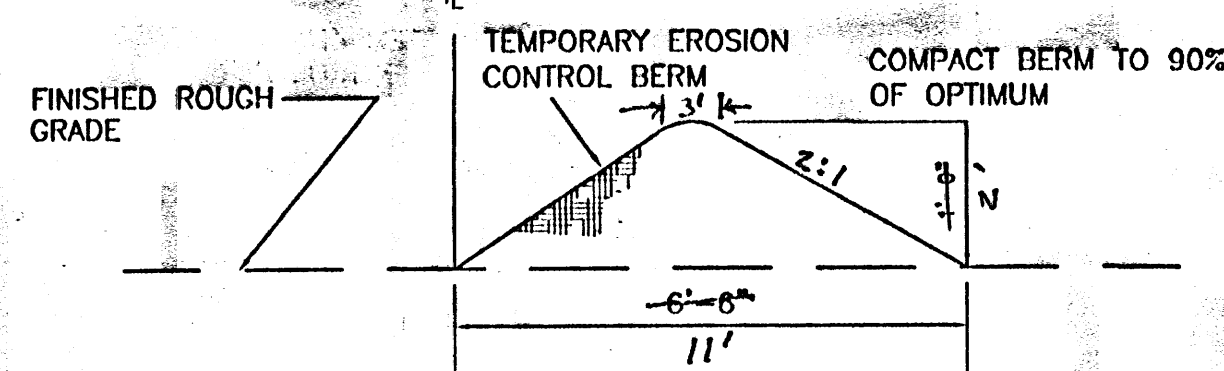
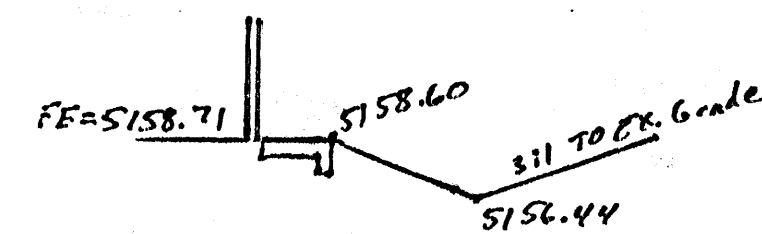
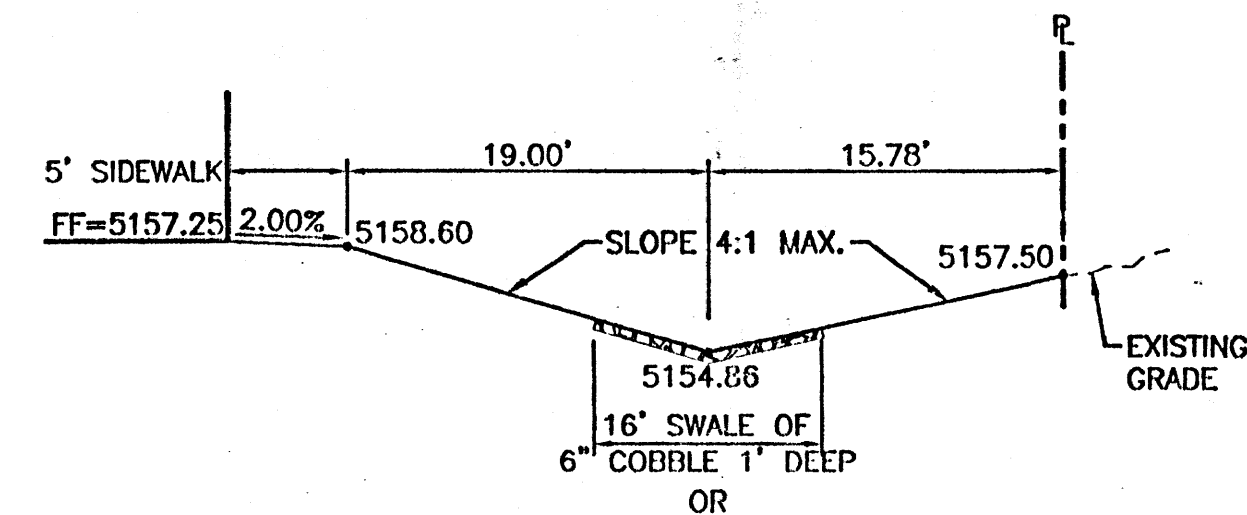


Existing Water Treatment Building

Site Plan
1"=20'-0"



PAVING SECTION FOR PRIVATE STREETS
NTS



GENERAL NOTES

1. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
2. ROOF DRAINS TO BACK OF BUILDING WITH ROOF DRAINS DAYLIGHTING UNDER THE SIDEWALK INTO THE SWALE.
3. SEE ARCHITECTURAL PLANS FOR WHEELCHAIR RAMP DETAILS.
4. TEMPORARY DESILTING PONDS AND BERM SHALL BE MAINTAINED BY THE 25 DEVELOPMENT MANAGEMENT UNTIL ADJACENT TRACTS ARE DEVELOPED AND PONDS ARE REMOVED.
5. THE DRAINAGE SWALE SHALL BE MAINTAINED BY THE OWNER OF TRACT 1-1.

DRAINAGE CERT SURVEY WORK BY OTHERS
12/28/01

DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NMS 7868, OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/27/01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MELBRAND, NMS 11093, OF THE FIRM PRECISION SURVEYS, 2/26/03.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR "SHOP #25" FINAL CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

NOTE EXCEPTIONS HERE: TEMP. POND NOT BUILT.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RONALD R. BOHANNAN
NMS 7868
DMS

DATE

ROUGH GRADING APPROVAL

LEGEND

---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	TEMPORARY ASPHALT CURB
---	BOUNDARY LINE
---	PROPOSED SIDEWALK
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	FLOW ARROW
---	SLOPE TIE
---	PROPOSED SPOT ELEVATION
---	FUTURE SPOT ELEVATION
---	AS-BUILT SPOT ELEVATION

ENGINEER'S SEAL

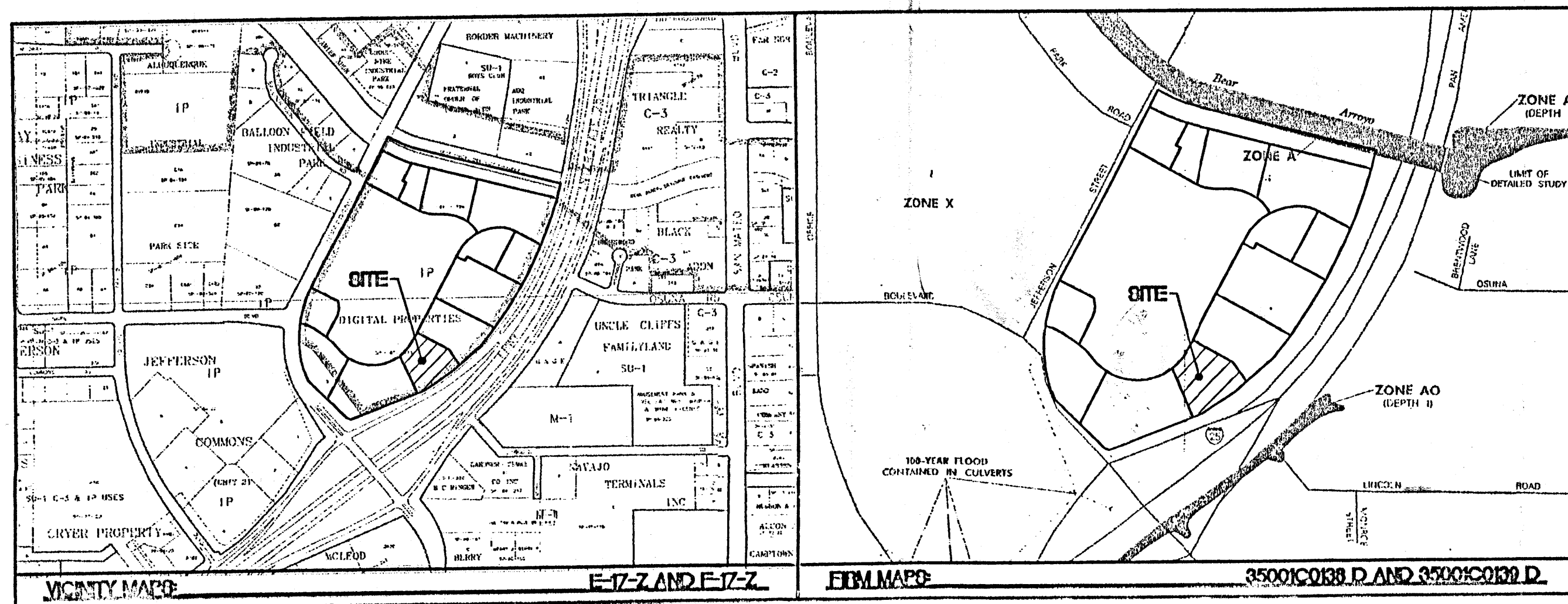
RONALD R. BOHANNAN
P.E. #7868

SHOPS # 25

GRADING AND DRAINAGE PLAN

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

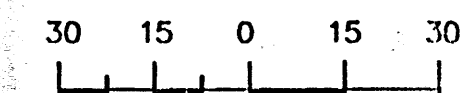
DRAWN BY JDN
DATE 02-26-01
2030GR3.DWG
SHEET # 1 OF 2
JOB # 200030



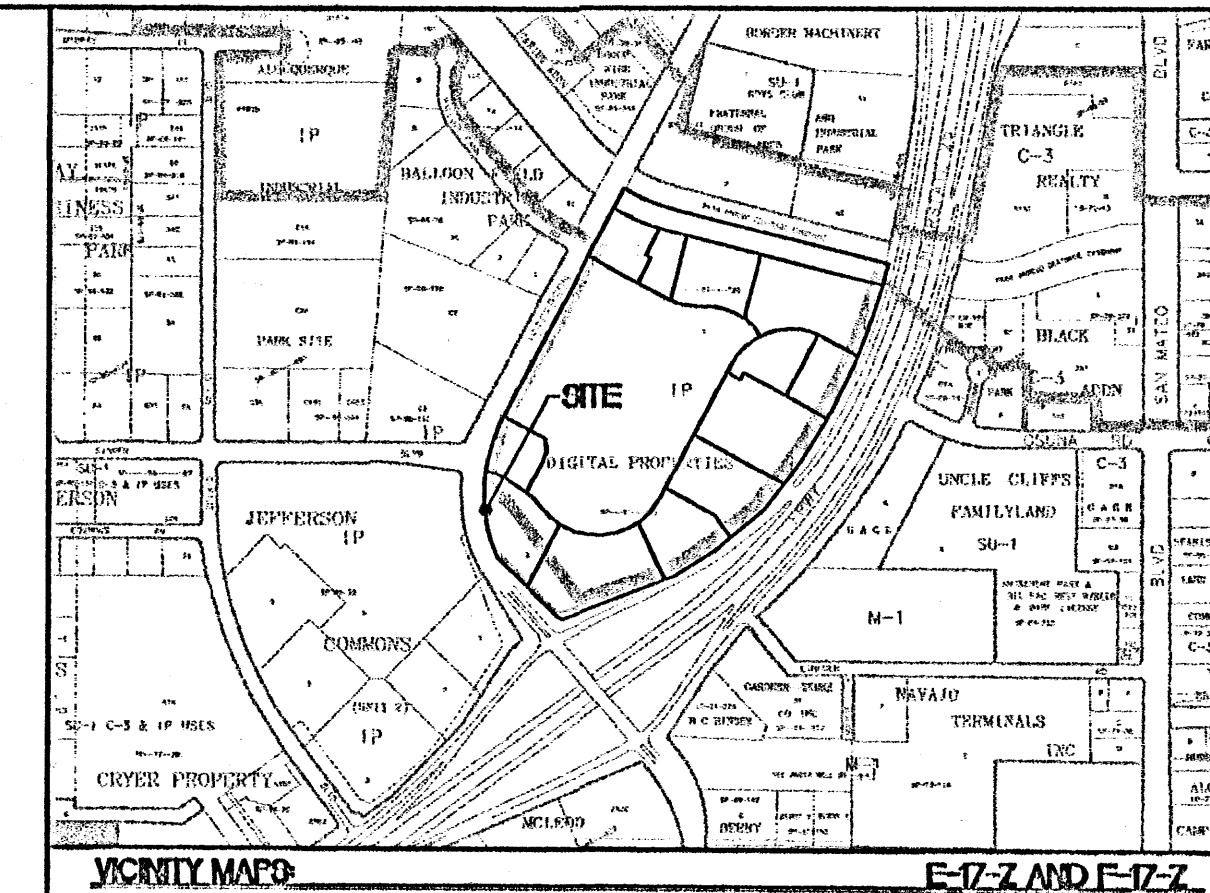
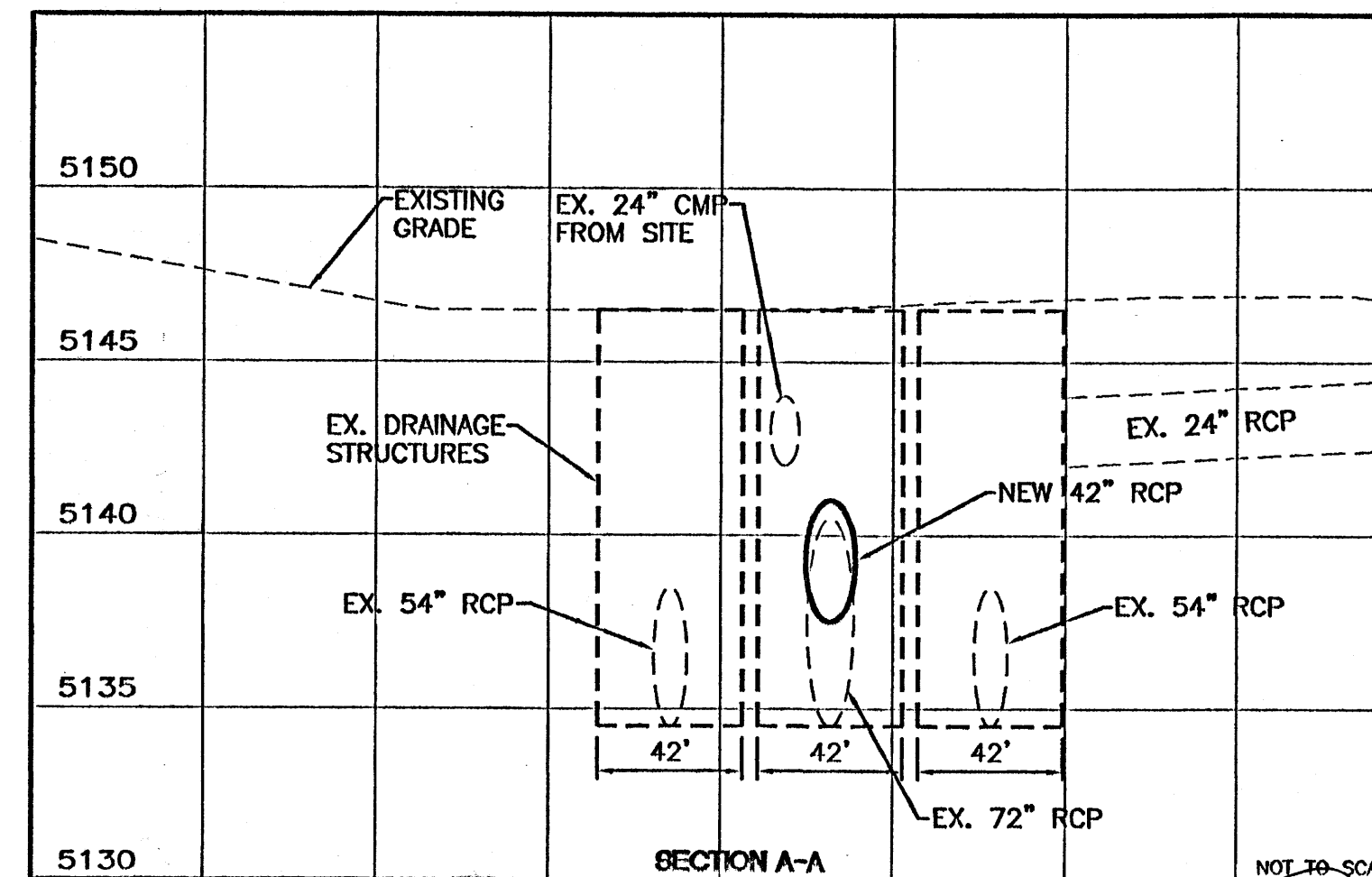
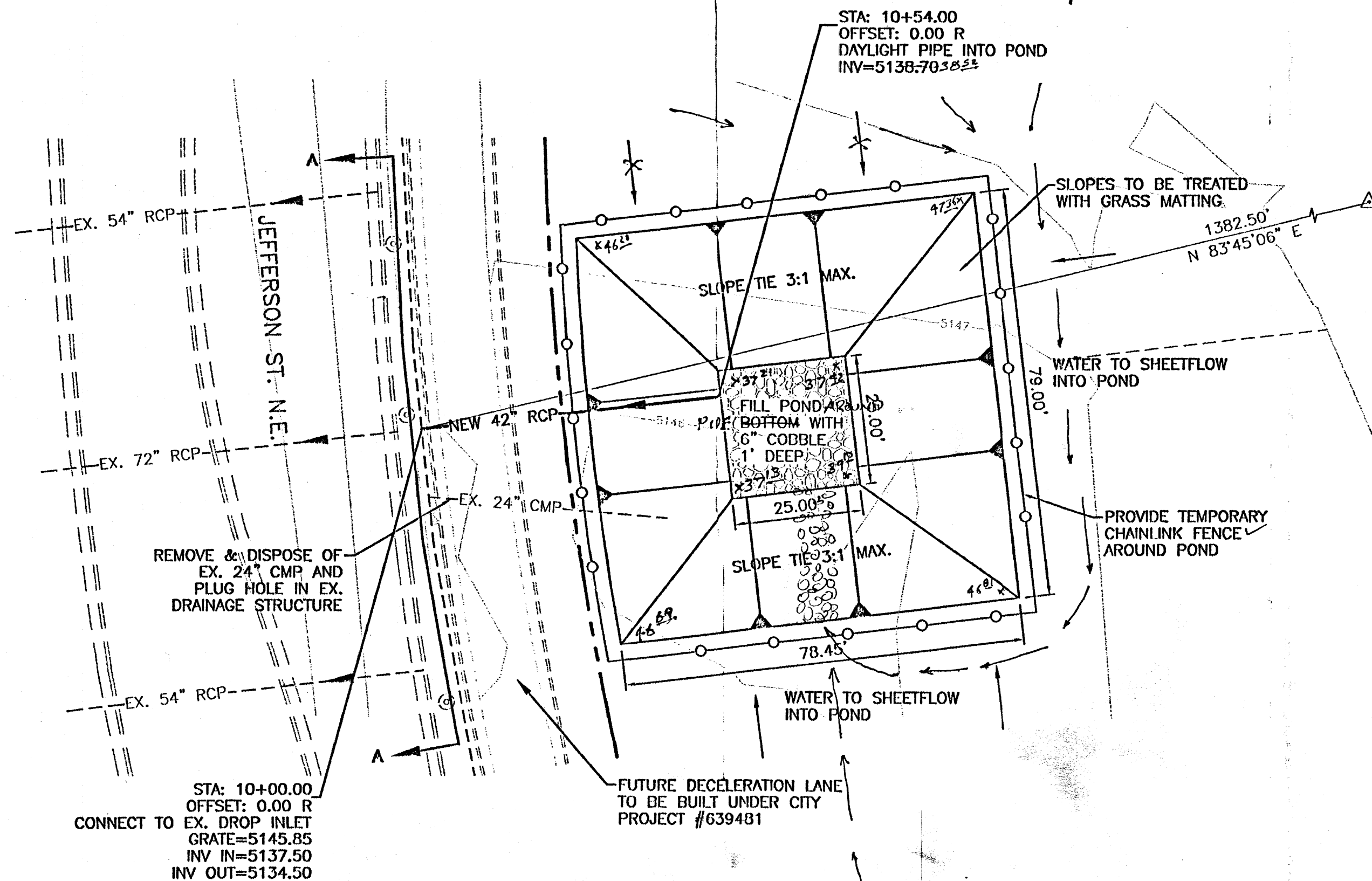
EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

- Water disturbed area as frequently as necessary to control particulate matter during surface disturbance, construction traffic, wind events etc.
- Water site access or haul roads during periods of active use associated with the project. (Includes interior or access roads, yard or parking areas of material storage or assembly, piled excavated material, trench work area, area disturbed by trespass traffic, etc).
- Cover, tarp, or otherwise contain all loads of loose material entering or leaving the site.
- Halt surface disturbance when soil or wind conditions prevent or limit effective particulate matter control. (No "transported material").
- Restore all off-site or excess surface disturbance areas to near pre-existing condition.
- Re-seeding undeveloped disturbed area either on site or off-site to City of Albuquerque Specifications #1012-"Native Grass Seeding"
- Clean-up particulate and transported material from nearby property and the public right-of-way.
- Construction of temporary erosion control fencing.
- Special measures required.
- Control of alternate access route or trespass traffic.
- Stabilization of area proposed for future sale or future development.
- Contractor is responsible for obtaining a topsoil disturbance permit prior to beginning work.
- Contractor is responsible for cleaning all sediment out of the existing right-of-way.
- Repair of damaged facilities and clean-up of sediment accumulated on adjacent properties and in public facilities is the responsibility of the contractor.
- All exposed earth surfaces must be protected from wind and water erosion prior to final acceptance of any project.
- Contractor is responsible for maintaining all storm sewer run off on site.

GRAPHIC SCALE



SCALE: 1"=30'



APPROVAL	NAME	DATE
INSPECTOR	COASDA 7/14/03 #2048027	2/25/03

DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NMP# 7868, OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/27/03. THE RECORD INFORMATION LISTED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MEDRANO, NMP# 11292 OF THE FIRM PRECISION SURVEYS.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/24/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SHOPS @ 2\"/>

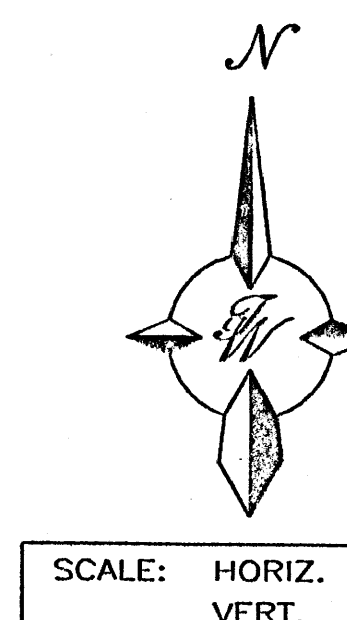
NOTE EXCEPTIONS HERE:

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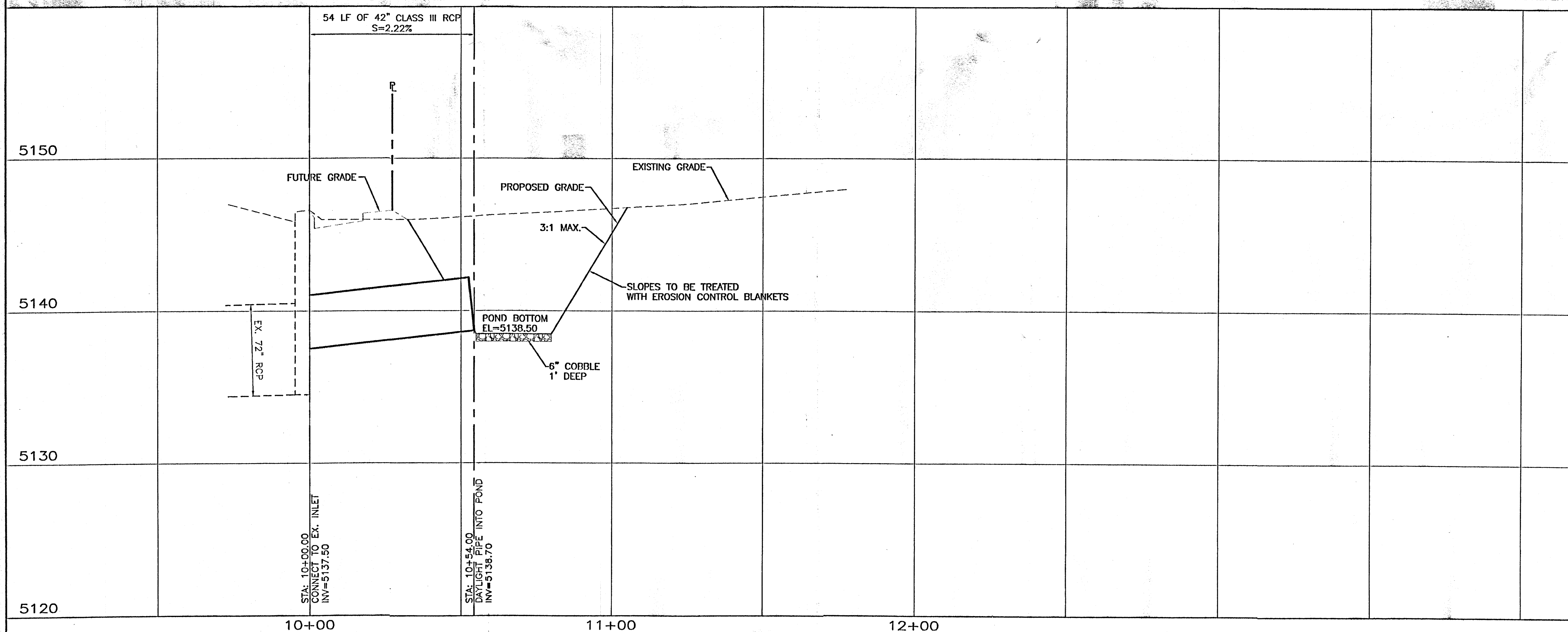
[Signature] NMP# 7868 DATE 2/24/03

PROFESSIONAL ENGINEER

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



SOUTH ENTRANCE STORM SEWER
STA 10+00.00 TO 10+58.50



TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: JEFFERSON ST. AND SINGER BLVD.
STORM SEWER IMPROVEMENTS
STA: 10+00.00 TO STA: 10+54.00

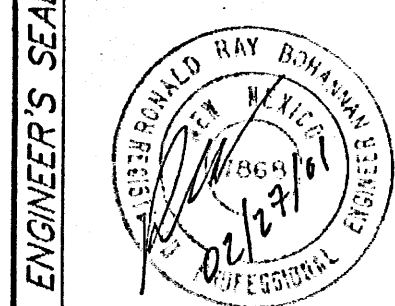
DESIGN REVIEW COMMITTEE: CITY ENGINEER APPROVAL

DESIGNED BY: JDN DATE: 01-01
DRAWN BY: JDN DATE: 01-17-01
DRAWING NAME: 2030SDPP.DWG
CHECKED BY: DS DATE: 01-01

CITY PROJECT NO. E-17/F-17

ZONE MAP NO. E-17/F-17

SHEET **2 OF 2**



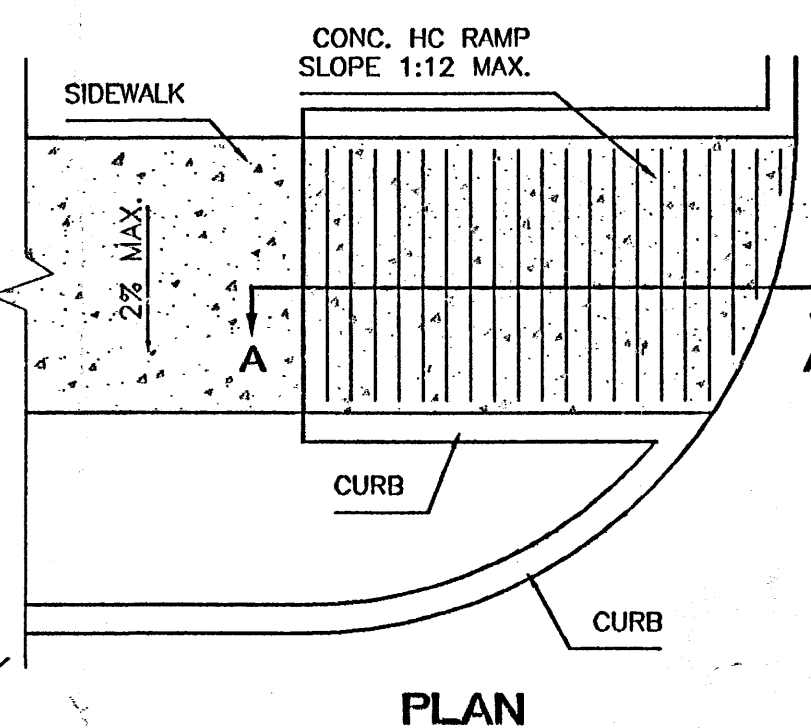
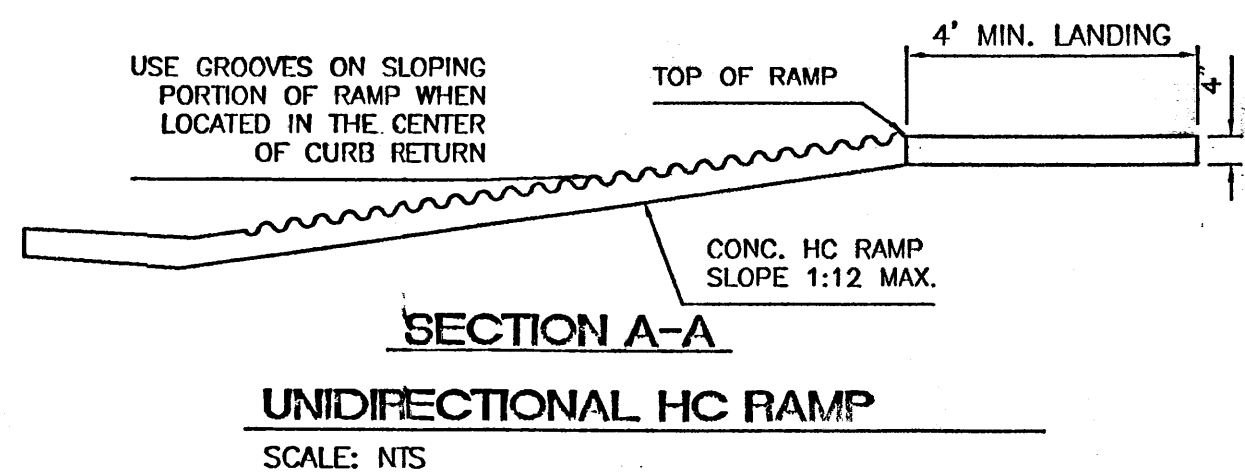
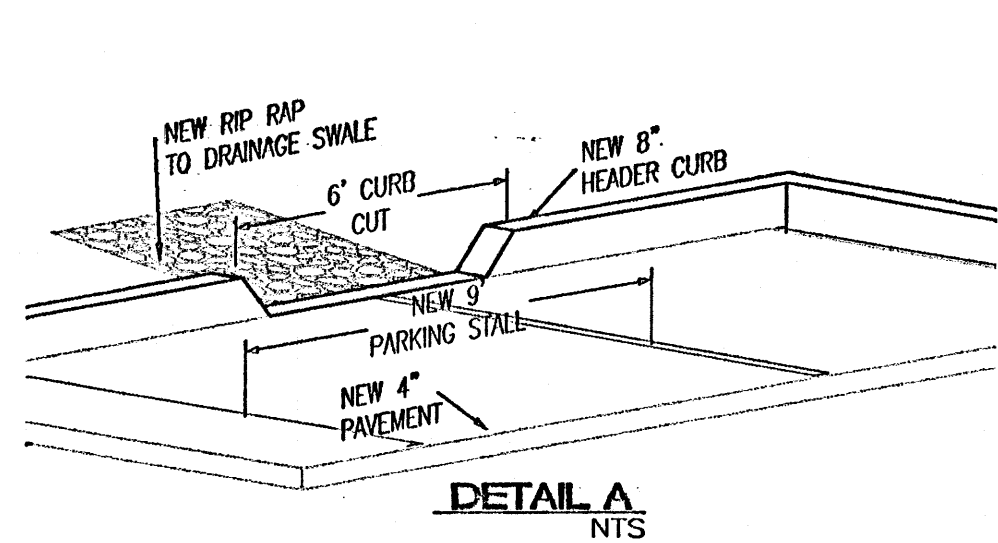
ENGINEER'S SEAL

SURVEY INFORMATION

BENCH MARKS

AS BUILT INFORMATION

NO.	BY	DATE	REMARKS
1	BY	DATE	REMARKS
2	BY	DATE	REMARKS
3	BY	DATE	REMARKS
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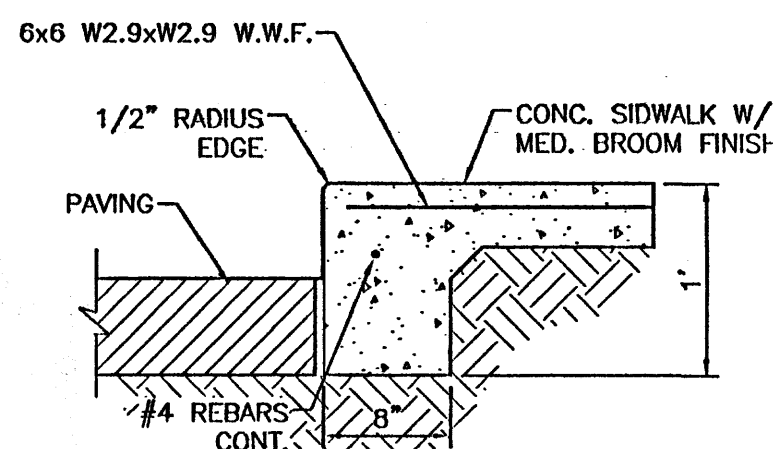


NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.

LEGEND

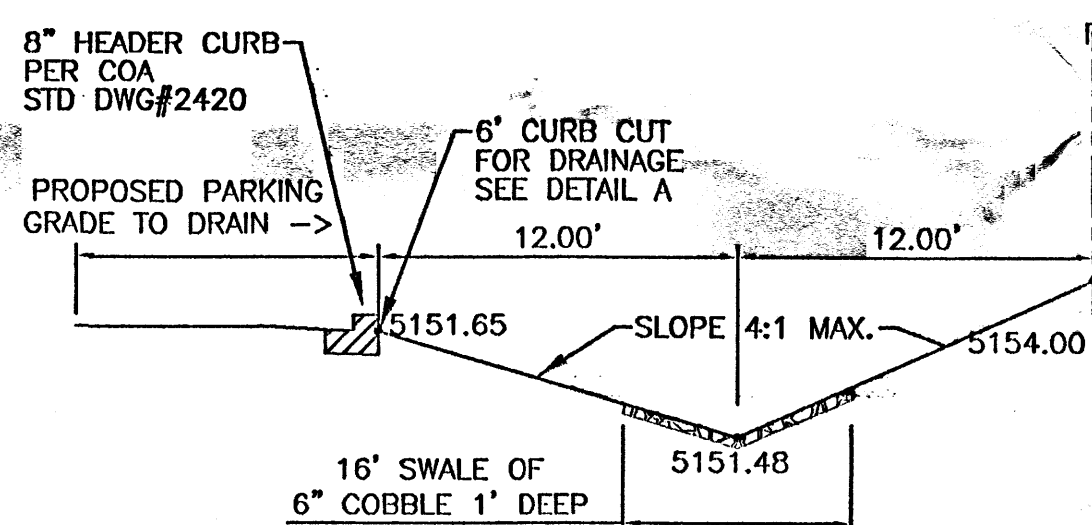
DESCRIPTION	
EXISTING STORM SEWER MANHOLE	—○—
EXISTING STORM SEWER INLET	—X—
EXISTING STORM SEWER LINE	—X—X—X—X—
EXISTING FENCE	—X—X—X—X—
EXISTING CURB & GUTTER	—X—X—X—X—
PROPOSED CURB & GUTTER	—X—X—X—X—
BOUNDARY LINE	—X—X—X—X—
EXISTING BOUNDARY LINE	—X—X—X—X—
EASEMENT	—X—X—X—X—
PROPOSED SIDEWALK	—X—X—X—X—
EXISTING SIDEWALK	—X—X—X—X—
FUTURE SIDEWALK	—X—X—X—X—
PROPOSED PERIMETER WALL	—X—X—X—X—
EXISTING PERIMETER WALL	—X—X—X—X—
PROPOSED RETAINING WALL	—X—X—X—X—
EXISTING RETAINING WALL	—X—X—X—X—
EXISTING CONTOUR	—X—X—X—X—
EXISTING INDEX CONTOUR	—X—X—X—X—
PROPOSED CONTOUR	—X—X—X—X—
PROPOSED INDEX CONTOUR	—X—X—X—X—
FLOW ARROW	—X—X—X—X—
SLOPE TIE	—X—X—X—X—
EXISTING SPOT ELEVATION	—X—X—X—X—
PROPOSED SPOT ELEVATION	—X—X—X—X—
FUTURE SPOT ELEVATION	—X—X—X—X—
CENTERLINE	—X—X—X—X—
RIGHT-OF-WAY	—X—X—X—X—
LOT LINES	—X—X—X—X—
EXISTING LOT LINES	—X—X—X—X—
SETBACK LINE	—X—X—X—X—
LANE	—X—X—X—X—
STRIPING	—X—X—X—X—
BENCH MARK	—X—X—X—X—
STREET LIGHTS	—X—X—X—X—



DETAIL-TURNDOWN CURB

NTS

EXISTING "SHOPS & 25" SITE



NOTE: MAINTENANCE OF DRAINAGE SWALE AND LANDSCAPING TO BE THE RESPONSIBILITY OF PROPERTY OWNER

SECTION A-A

NTS

3" CLASS "B" ASPHALT	
5" AGGREGATE BASE COURSE	
12" COMPACTED SUBGRADE TO 95% ASTM D-1557	

REFER TO SOILS REPORT PREPARED BY GILES ENGINEERING, JUNE 26, 2002, FOR PAVING SECTIONS.

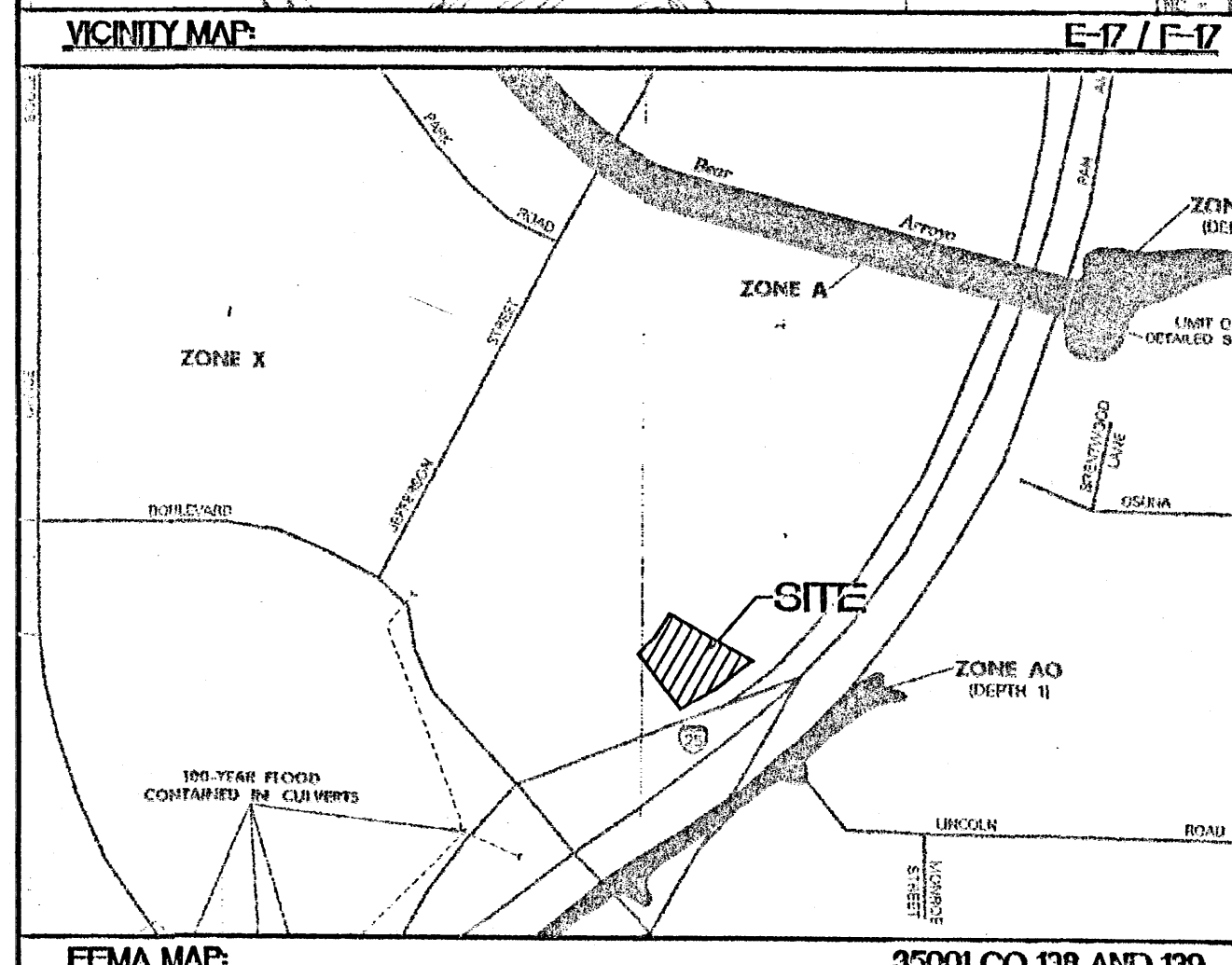
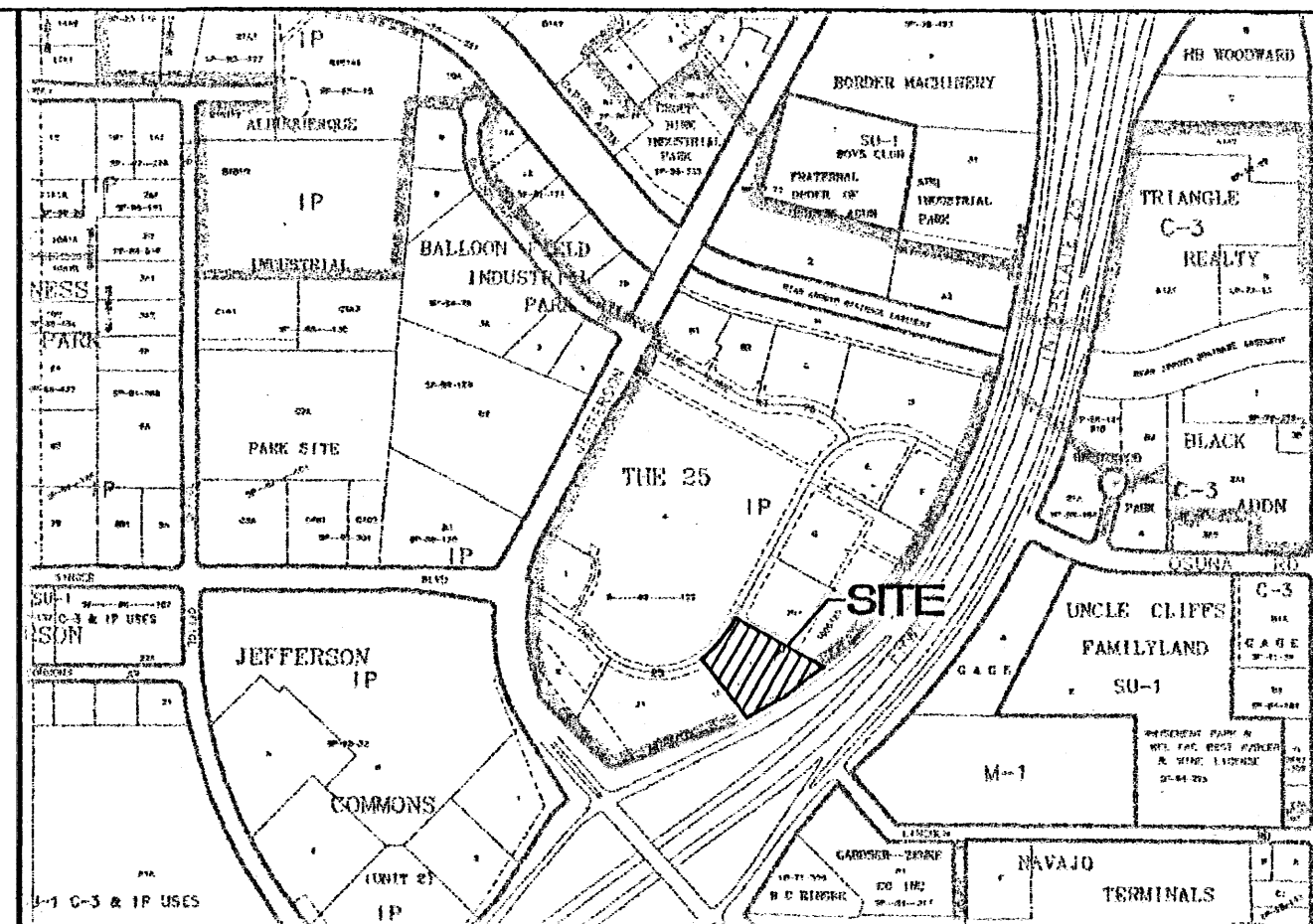
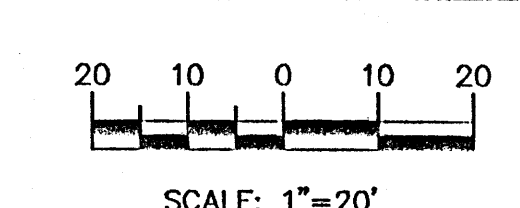
PAVING SECTION

NTS

SITE TREATMENT TABLE

TYPE	SQUARE FOOTAGE	AREA
LOT	64,952	1.491
LANDSCAPING	13,307	0.305
EX. PAVING	5125	0.118
PAVING/SW	46,520	1.068
TOTAL	64,952	1.491

GRAPHIC SCALE



LEGAL DESCRIPTION:

TRACT J-1-B

25 COMMERCIAL

GENERAL NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. EXISTING CONCRETE PAD TO BE REMOVED AND DISPOSED. TWO (2) NEW 2" PVC PIPES TO BE INSTALLED UNDER NEW SIDEWALK AND PAD TO PROVIDE DOLLY ACCESS TO EXISTING WELL HOUSE. CONTRACTOR SHALL COORDINATE WITH ENGINEER PRIOR TO PLACEMENT.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
4. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
6. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
8. REFER TO SOILS REPORT PREPARED BY GILES ENGINEERING DATED JUNE 26, 2002 FOR ALL PAVING SECTIONS AND FOUNDATION PREPARATION.
9. LANDSCAPE AREAS NEED TO FOLLOW THE RECOMMENDATIONS OF THE SOILS REPORT REFERRED TO IN NOTE 6.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
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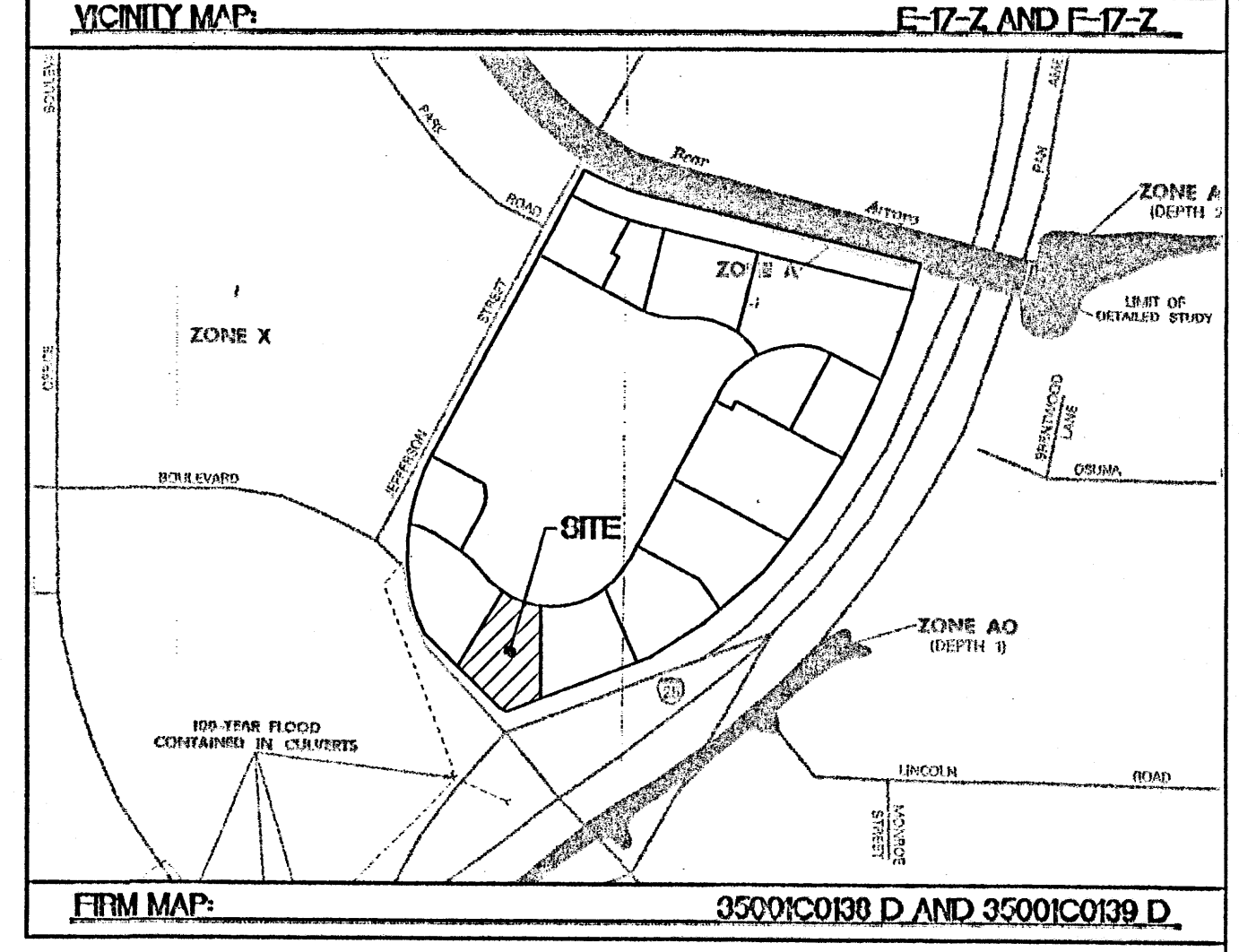
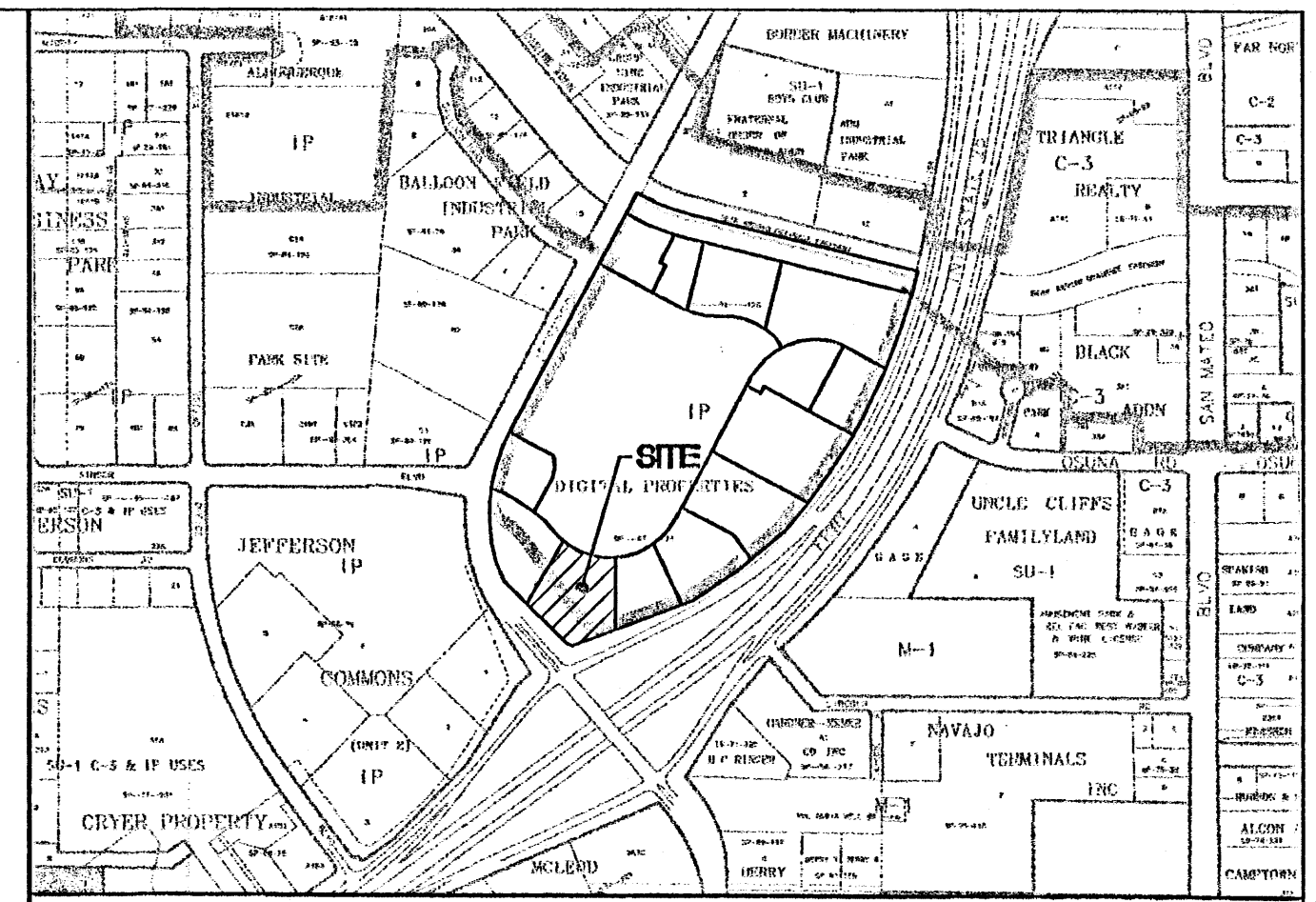
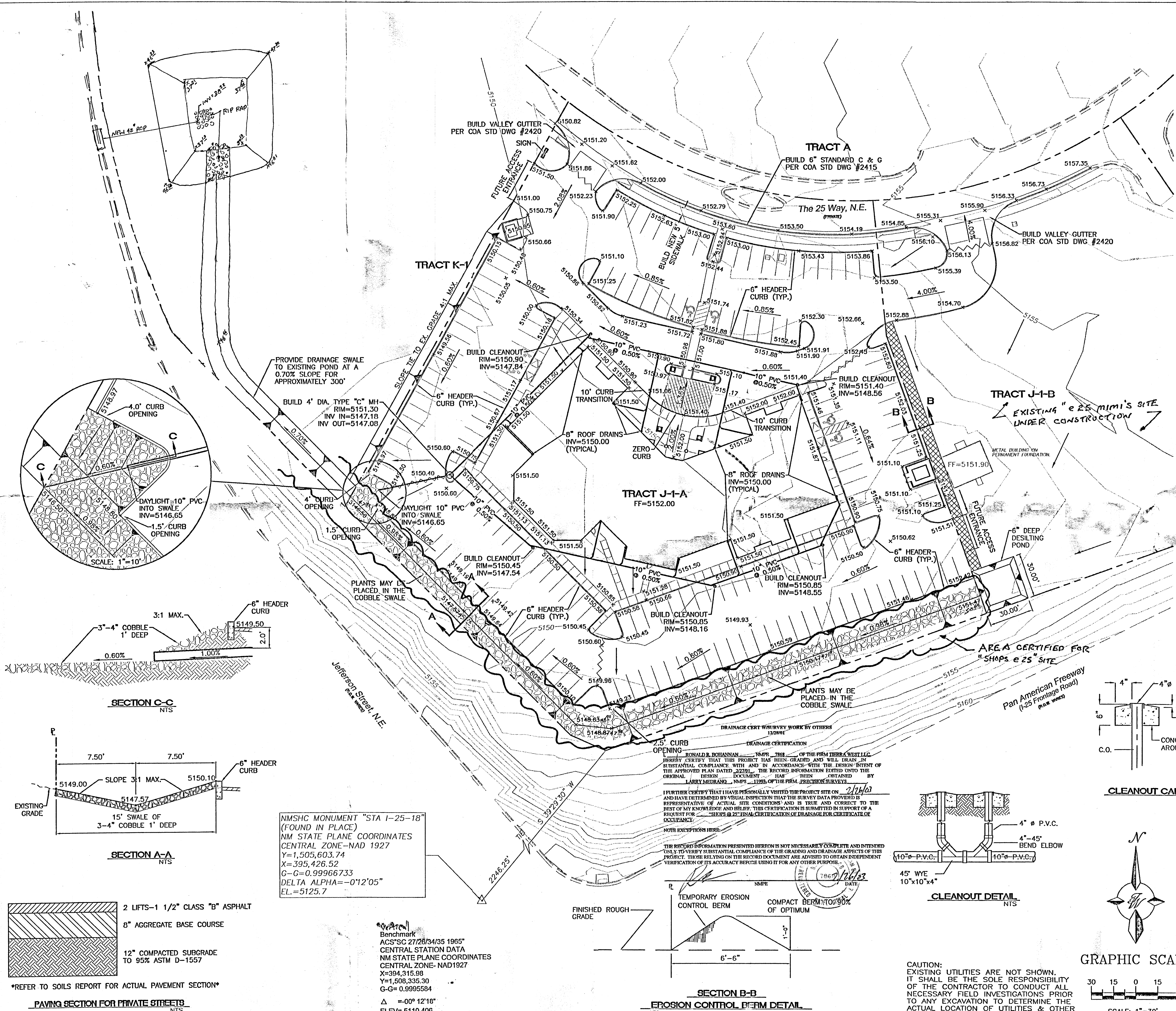
ROUGH GRADING APPROVAL

ENGINEER'S SEAL	DATE
RONALD R. BOHANNAN	09.30.2002
25 MIMI'S	220041GR.DWG
GRADING AND DRAINAGE PLAN	SHEET #
For Info only Not for C.O. at this time	JOB #
TERRA WEST, LLC	220041
8509 JEFFERSON NE	
ALBUQUERQUE, NEW MEXICO 87113	
(505)858-3100	

DRAINAGE CERTIFICATION
I, RONALD R. BOHANNAN, N.E.P. 7868, OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN OF THE APPROVED PLAN DATED 02/20/02. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

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LEGAL DESCRIPTION:

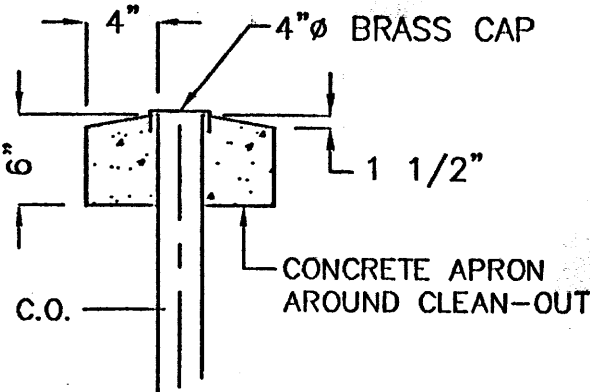
TRACT J-1-A THE 25 SUBDIVISION

GENERAL NOTES:

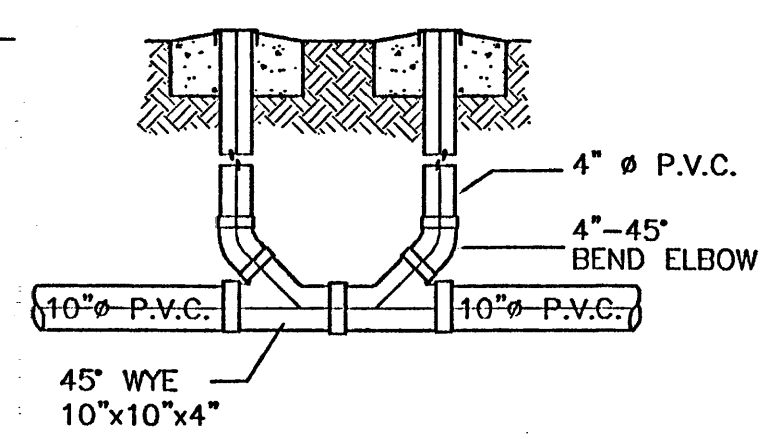
- 1. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
- 2. SEE ARCHITECTURAL PLANS FOR WHEELCHAIR RAMP DETAILS.
- 3. TEMPORARY DESILTING PONDS SHALL BE MAINTAINED BY "THE 25 DEVELOPMENT" MANAGEMENT UNTIL ADJACENT TRACTS ARE DEVELOPED AND PONDS ARE REMOVED.
- 4. THE DRAINAGE SWALE SHALL BE MAINTAINED BY THE OWNER OF TRACT J-1-A.

LEGEND:

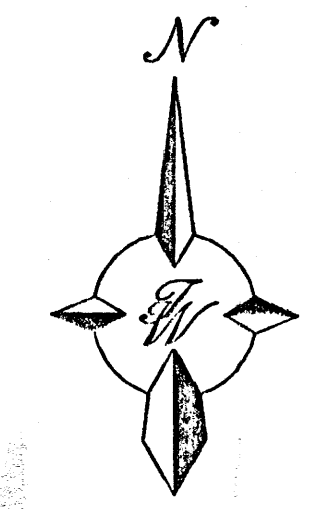
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION



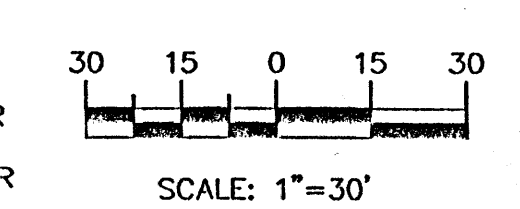
CLEANOUT CAP DETAIL
NTS



CLEANOUT DETAIL
NTS

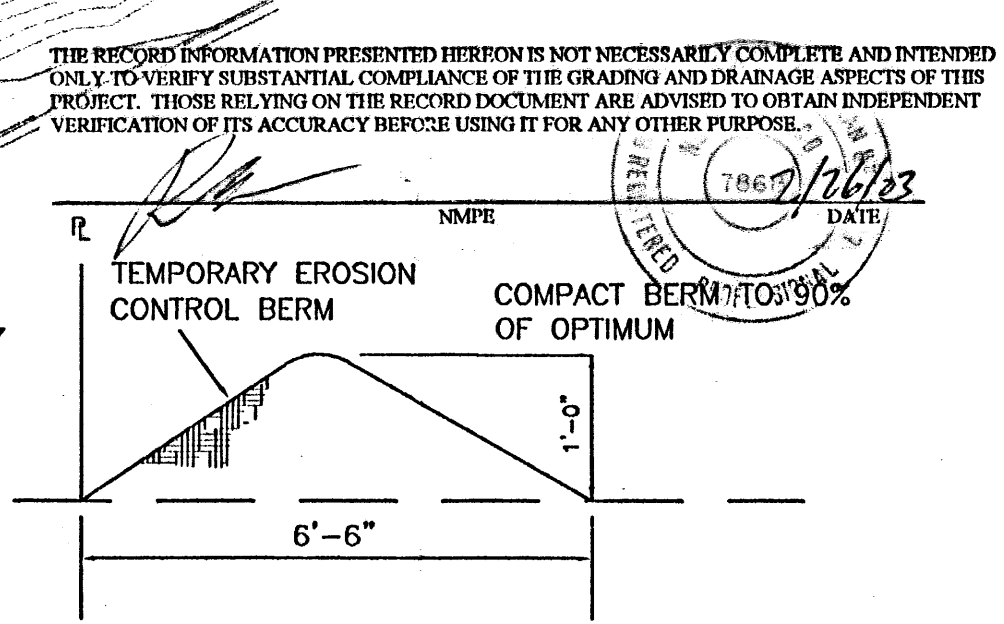


GRAPHIC SCALE

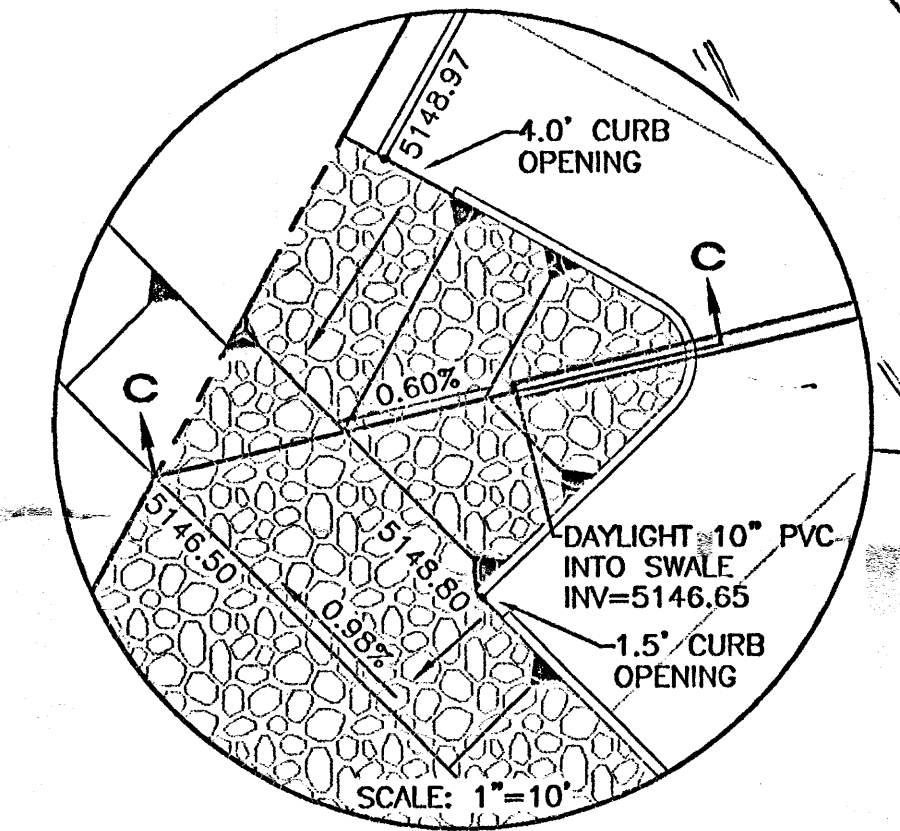


CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

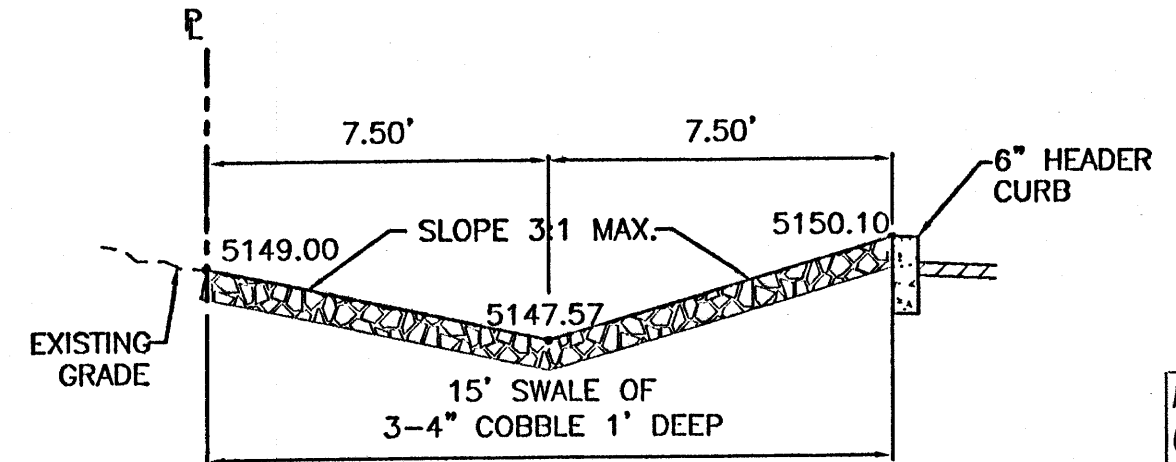
DRAINAGE CERT. WAS SURVEY WORK BY OTHERS 12/28/01
DRAINAGE CERTIFICATION
RONALD R. BOHANNAN, N.M.P.E. 7868 OF THE FIRM TERRA WEST, LLC
HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/27/01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MEYERLAND, N.M.P.E. 11923 OF THE FIRM PRECISION SURVEYS.
I, FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/27/02 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR "SLOPS @ 25" FINAL CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.
NOTE EXCEPTIONS HERE:
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THESE RELIANCE ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN AN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.
DATE 2/27/02
N.M.P.E. 7868
2/27/02



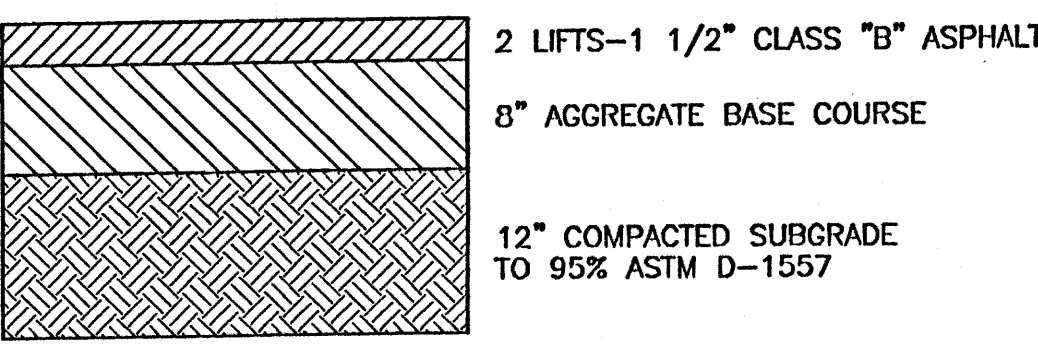
**SECTION B-B
EROSION CONTROL BERM DETAIL**
NTS



SECTION C-C
NTS



SECTION A-A
NTS



PAVING SECTION FOR PRIVATE STREETS
NTS

NMSHC MONUMENT "STA 1-25-18" (FOUND IN PLACE)
NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD 1927
Y=1,505,603.74
X=395,426.52
G-G=0.99966733
DELTA ALPHA=-0'12'05"
EL.=5125.7

Benchmark
ACS'SC 27/28/34/35 1965"
CENTRAL STATION DATA
NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD1927
X=394,315.98
Y=1,508,335.30
G-G= 0.9995584
Δ =-0° 12' 18"
ELEV= 5110.406

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	DRURY INN GRADING AND DRAINAGE PLAN For info only - not for C.O. at this time TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY JDN
		DATE 11-08-01
		2141GR.DWG
		SHEET # C-102
		JOB # 21041