

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 12, 2022

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: T-Mobil
4830 Pan American Ave NE
Grading and Drainage Plan
Engineer's Stamp Date: 03/14/22
Hydrology File: F17D049B**

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 03/14/2022, the Grading & Drainage Plan is approved for Building Permit and for action by the DRB on Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ **928.00** using the attached City of Albuquerque Treasury Deposit form. Please email this form to PLNDRS@cabq.gov and cc'd me. An email with a receipt and instructions on how to pay online. Once paid, please email me proof of payment.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: T-MOBILE **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 1-A-1 REINDEER ADDN BEING A REPLAT OF LOT 1-A REINDEER ADDN CONT 129,687 SQ FT M/L OR 2.9772 AC M/L
City Address: 4830 Pan American Ave NE Albuquerque, NM

Applicant: Tierra West, LLC **Contact:** Assad Rizvi
Address: 5571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NM 87109
Phone#: (505) 858-3100 **Fax#:** _____ **E-mail:** arizvi@tierrawestllc.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 03.14.2022 **By:** Assad Rizvi

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: Tierra West, LLC DATE: 4/11/22

DEVELOPMENT: T-Mobile MSO

LOCATION: 4830 Pan American Ave NE

Albuquerque, NM 87109

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 116 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 116 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: This proposed redevelopment site is too small to accommodate any stormwater quality volume while still maintaining the function of the existing grading and drainage regime.

Ronald R. Bohannon

Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 928

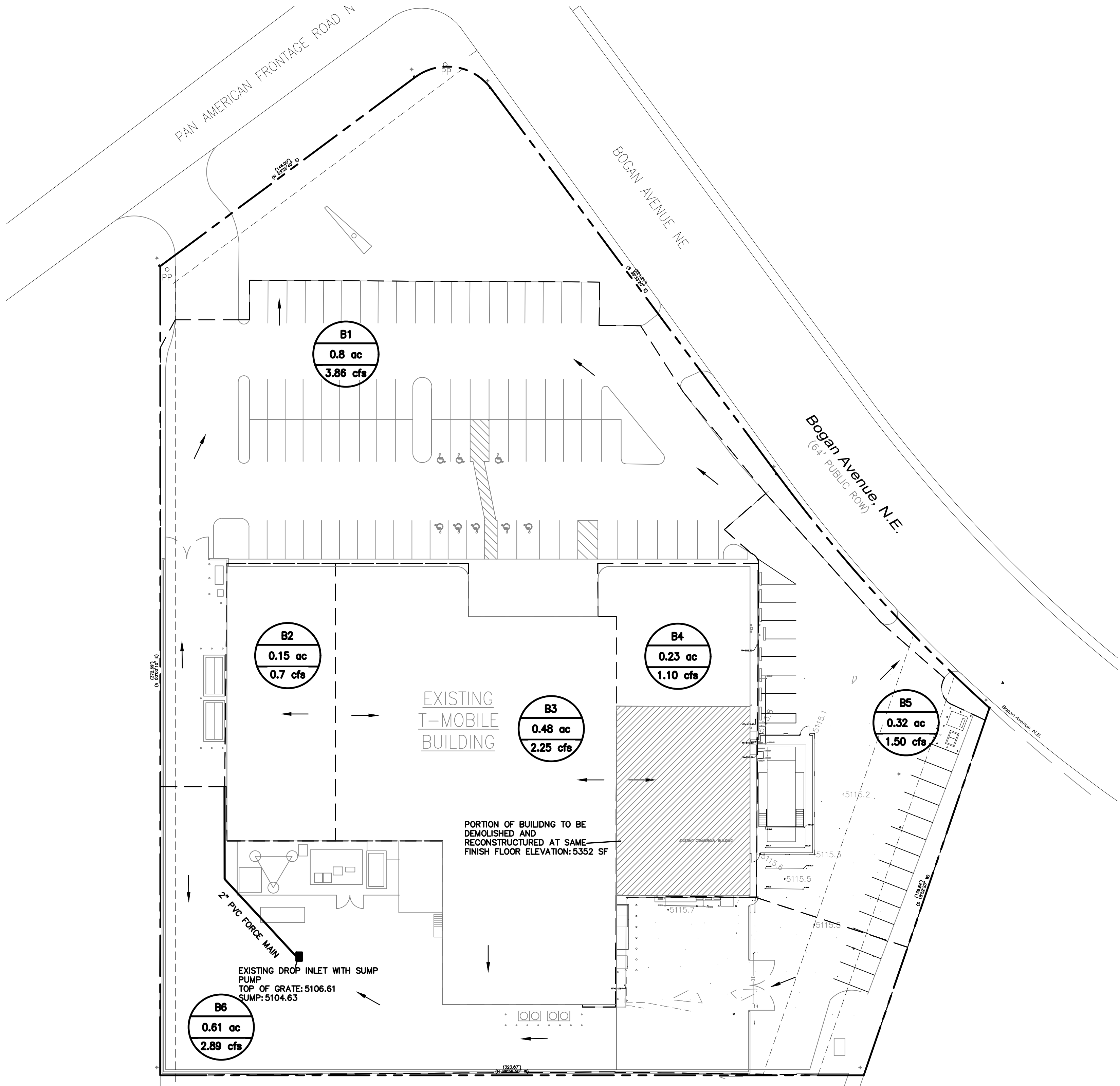
THIS SECTION IS FOR CITY USE ONLY

☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

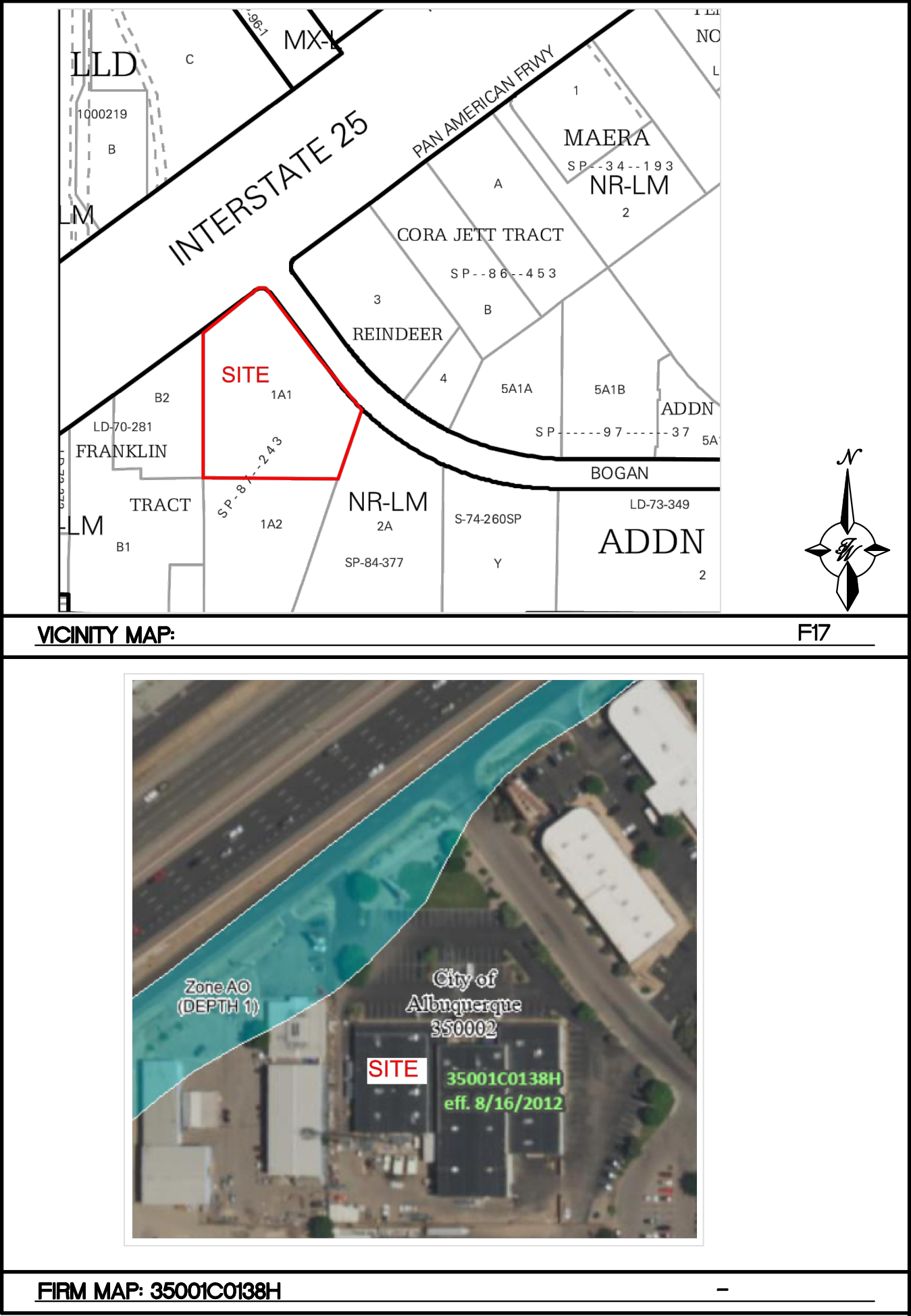
☐ Waiver is DENIED.

Renée C. Brissette

City of Albuquerque
Hydrology Section



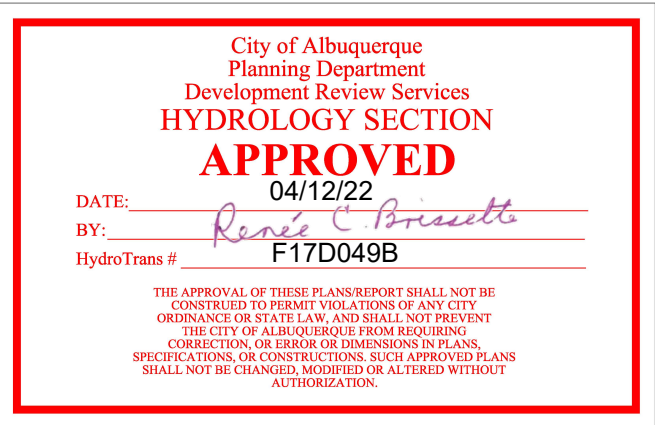
- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - SCREEN WALL
 - RETAINING WALL
 - 5010 CONTOUR MAJOR
 - 5011 CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - 5010 EXISTING CONTOUR MAJOR
 - 5011 EXISTING CONTOUR MINOR
 - x 5048.25 EXISTING SPOT ELEVATION



DRAINAGE NARRATIVE:

EXISTING:
THE BASINS COMPRISING THIS EXISTING DEVELOPMENT HAVE HISTORICALLY FREE DISCHARGED INTO THE NMDOT BAR DITCH ON THE NORTH SIDE OF THE PROPERTY. FLOWS FROM THE BASIN ON THE SOUTH SIDE OF THE BUILDING AND A PORTION OF THE ROOF DRAINAGE (BASINS B6 AND B3) DRAIN INTO AN INLET ON THE SOUTH SIDE OF THE BUILDING THAT IS OUTFITTED WITH A SUMP PUMP THAT DIRECTS THE DRAINAGE TO THE NORTH SIDE OF THE PROPERTY ALONG THE WEST SIDE OF THE BUILDING.

PROPOSED:
THE PROPOSED IMPROVEMENTS TO THE SITE INVOLVE DEMOLITION OF A PORTION OF THE EXISTING BUILDING AT THE SOUTHEAST CORNER OF THE SITE. THIS PORTION OF THE BUILDING WILL BE RECONSTRUCTED AT THE SAME FINISHED FLOOR ELEVATION RESULTING IN A NET ZERO INCREASE IN IMPERVIOUS AREA. BECAUSE OF THESE MINOR CHANGES TO THE DRAINAGE REGIME OF THE SITE, NO ADDITIONAL PONDING AREA IS PROPOSED TO MEET STORMWATER QUALITY VOLUME REQUIREMENTS. AN IN-LIEU FEE PAYMENT WILL BE MADE FOR THE PORTION OF THE BUILDING THAT WILL BE REDEVELOPED.



Zone #2		HYDROLOGY CALCULATIONS																		
Existing Developed Basins																				
Basin	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year			2-Year		
				%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
B1	35,752	0.821	0.00128	0%	0	0%	0.000	0%	0	100%	0.821	2.120	0.145	3.86	1.340	0.092	2.37	0.790	0.054	1.39
B2	6,449	0.148	0.00023	0%	0	0%	0.000	0%	0	100%	0.148	2.120	0.026	0.70	1.340	0.017	0.43	0.790	0.010	0.25
B3	20,865	0.479	0.00075	0%	0	0%	0.000	0%	0	100%	0.479	2.120	0.085	2.25	1.340	0.053	1.38	0.790	0.032	0.81
B4	10,172	0.234	0.00036	0%	0	0%	0.000	0%	0	100%	0.234	2.120	0.041	1.10	1.340	0.026	0.67	0.790	0.015	0.39
B5	13,869	0.318	0.00050	0%	0	0%	0.000	0%	0	100%	0.318	2.120	0.056	1.50	1.340	0.036	0.92	0.790	0.021	0.54
B6	26,758	0.614	0.00096	0%	0	0%	0.000	0%	0	100%	0.614	2.120	0.109	2.89	1.340	0.069	1.78	0.790	0.040	1.04
Total	113,865	2.614	0.00408				#REF!				2.614		0.462	12.286		0.292	7.554		0.172	4.418
Impervious Area of Building Reconstruction (SF)	SWQV REQ'D	IN-LIEU FEE																		
	CU.FT.	\$/CU.FT.																		
	5352.000	116	\$ 928																	