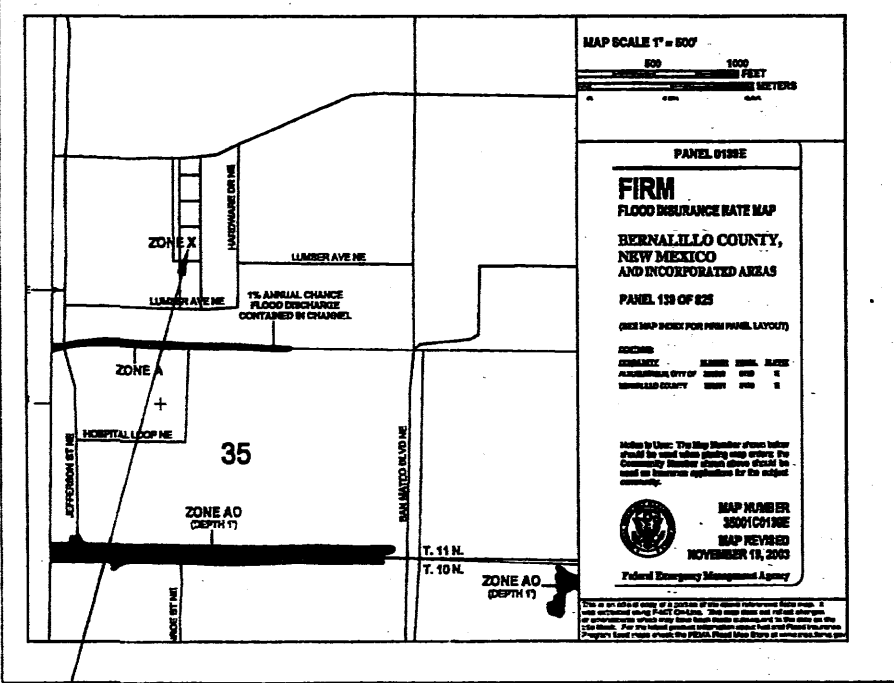
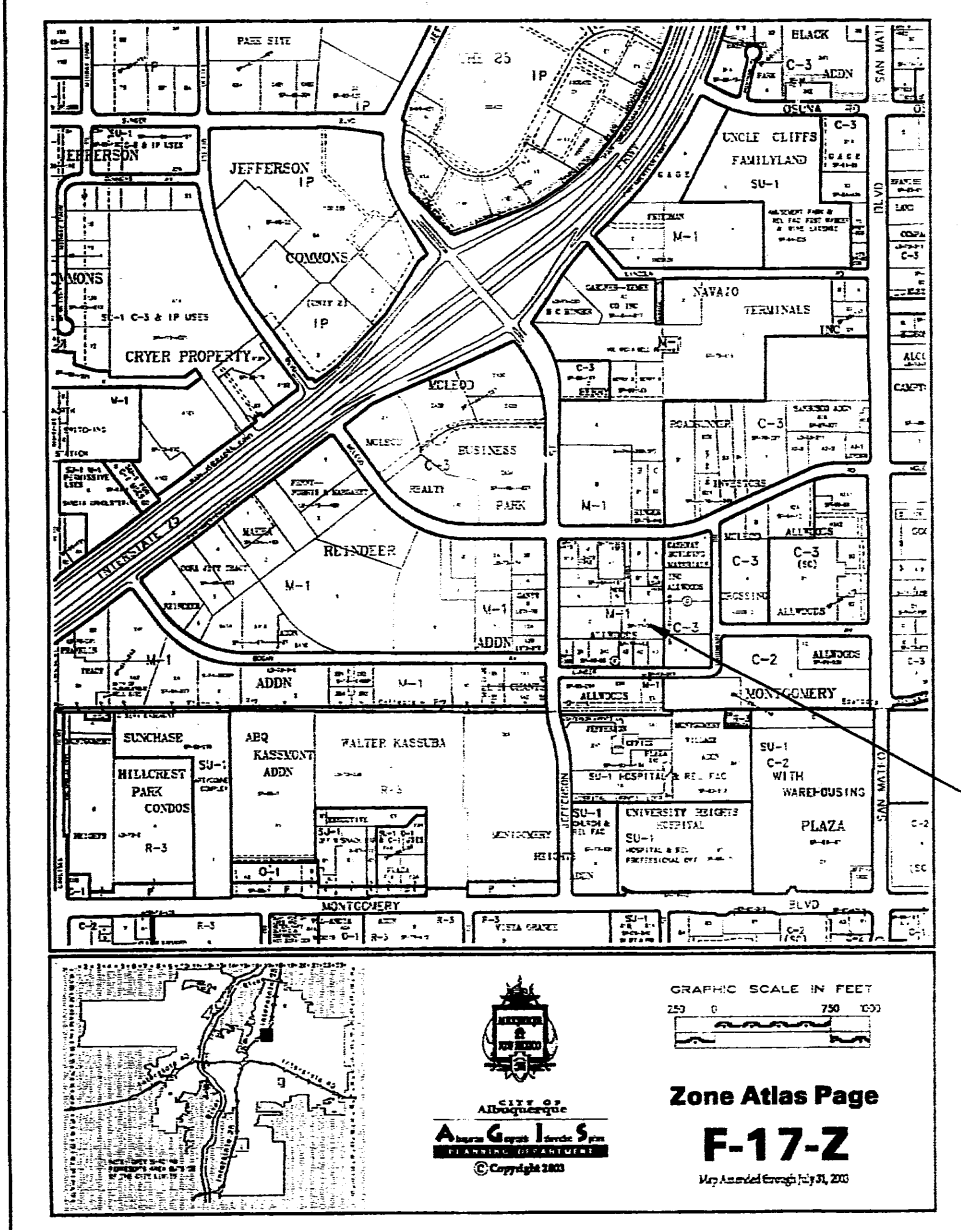




SITE LOCATION

NOTE TO CONTRACTOR:

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact line locating services (760-1990) for locating existing sub-surface utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
5. Backfill compaction shall be according to commercial use or soils report(s) recommendations.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
7. Maintenance of this facilities shall be the responsibility of the owner of the property it serves.

BENCHMARK:

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "9-F18", HAVING AN ELEVATION OF 5212.23 NAVD 88 LOCATED JUST SOUTH OF SAN MATEO LANE N.E. ON THE WEST MEDIAN

T.P.M.:

EXISTING FINISH FLOOR OF EXISTING BUILDING HAVING AN ELEVATION OF 5175.89

ENGINEER CERTIFICATION FOR (F17-D53A)

I, EULACIO SEBAY, N.M.P.E. # 6790, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 05/06/2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF A CERTIFICATE OF OCCUPANCY.

AS-BUILT DESIGNATION	75.65
	75.50
	OR
	75.50
	75.50

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING (4608 McLEOD RD. N.E.) TRACT "X" SEGO SUBDIVISION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 1.4196 ACRES OR LESS AND IS LOCATED SOUTH OF McLEOD RD. N.E. BETWEEN JEFFERSON ST. AND HARDWARE DR. N.E. THE SITE IN ITS PRESENT CONDITION CONTAINS A 6,705 SQ. FT. OFFICE/WAREHOUSE BUILDING ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. THE FLOWS ARE FROM SOUTH TO NORTH AND THROUGH AN EXISTING PLATTED ACCESS EASEMENT AND DOWN TO McLEOD RD. N.E. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0139E, REVISED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 16,000 SQ. FT. METAL BUILDING ADDITION ALONG WITH ADDITIONAL PAVED PARKING AND LANDSCAPED AREAS. THE DEVELOPED RUN-OFF WILL CONTINUE TO DRAIN NORTH AND ONTO McLEOD RD. N.E. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

PROJECT AREA = 1.4196 ac.

ZONE 2
PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.53 in.	1.56 cfs/ac.
TREATMENT B	0.78 in.	2.28 cfs/ac.
TREATMENT C	1.13 in.	3.14 cfs/ac.
TREATMENT D	2.12 in.	4.70 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
AREA	AREA
TREATMENT A	0 ac. 0 ac.
TREATMENT B	0.02839 ac. 0.15758 ac.
TREATMENT C	0.97952 ac. 0 ac.
TREATMENT D	0.41168 ac. 1.26202 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.03) + (1.13)(0.98) + (2.12)(0.41) / 1.42 ac. = 1.41 in.
V100-360 = (1.41)(1.42) / 12 = 0.166814 ac-ft = 7266 cf

EXISTING PEAK DISCHARGE:

Q100 = (1.56)(0.00) + (2.28)(0.03) + (3.14)(0.98) + (4.70)(0.41) = 5.08 cfs

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.16) + (1.13)(0.00) + (2.12)(1.26) / 1.42 ac. = 1.97 in.
V100-360 = (1.97)(1.42) / 12.0 = 0.233200 ac-ft = 10158 cf

V100-1440 = (0.23)(1.26) + (2.75 - 2.35) / 12 = 0.275267 ac-ft = 11991 cf

V100-10day = (0.23)(1.26) + (3.95 - 2.35) / 12 = 0.401469 ac-ft = 17488 cf

PROPOSED PEAK DISCHARGE:

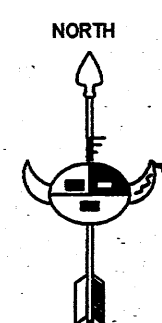
Q100 = (1.56)(0.00) + (2.28)(0.16) + (3.14)(0.00) + (4.70)(1.26) = 6.29 cfs

INCREASE 6.29 CFS - 5.08 CFS = 1.21 CFS



EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
 - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERM, DICES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



0' 5' 10' 20' 40'

GRADING & DRAINAGE PLAN

Scale 1" = 20' - 0"

SYMBOL LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- DESIGN CONTOUR
- PROPOSED SPOT ELEVATION
- PROPERTY LINE
- EASEMENT LINE
- FLOW DIRECTION
- EXISTING SPOT ELEVATION
- DOWN SPOUT

ABBREVIATION LEGEND

- TOP OF CONC PAD
- TOP OF CURB
- TOP OF ASPHALT
- TOP OF BERM
- BOTTOM OF POND
- FINISHED FLOOR
- BACK OF CURB
- DRIVECUT
- DRAINAGE INLET
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FLOW LINE
- FENCE POST
- GROUND
- HIGH POINT

LEGAL DESCRIPTION

TRACT "X"
SEGO SUBDIVISION
ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO.



JOB NO: XXXXXX

DATE: MARCH 2006

REVISIONS

05-05-2006

Sheet Title
GRADING / DRAINAGE PLAN

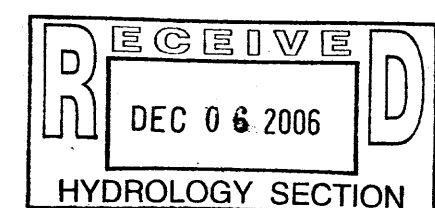
Drawn By: HTH & BLM Checked By: ES

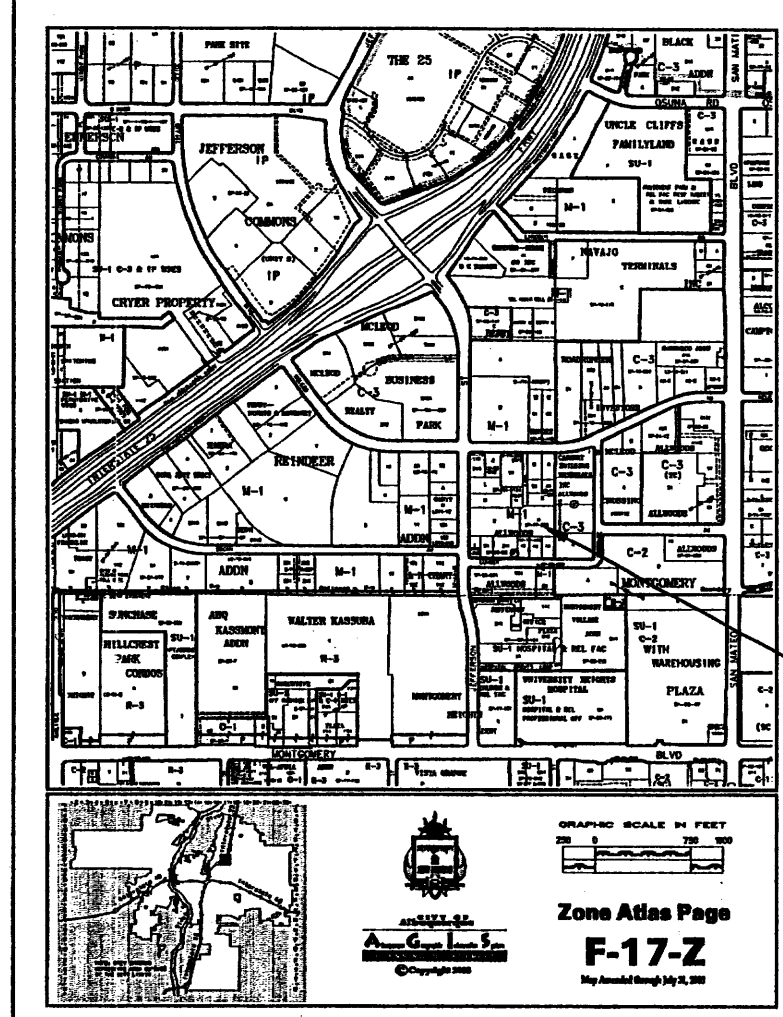
PROPOSED STORAGE BUILDING FOR
BILL RAMOS
4608 McLEOD DR. N.E.
ALBUQUERQUE, NEW MEXICO

Job Title

SHEET NO.

3





SITE LOCATION

1. REMOVE SIDEWALK AND DISPOSAL AS REQUIRED
REPLACE SIDEWALK AS SHOWN MATCHING EXISTING
FINISHED FLOOR ELEVATION
2. REMOVE SIDEWALK AND DISPOSAL AS REQUIRED
REPLACE SIDEWALK AS SHOWN WITH NEW 6" RISE STEPS
PROVIDE HANDRAIL ON EACH SIDE PER ADA REQUIREMENTS
3. REMOVE SIDEWALK AND DISPOSAL AS REQUIRED
REPLACE SIDEWALK AS SHOWN WITH NEW HC RAMP
WITH 1:12 MAX SLOPE
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WITH 1:12 MAX SLOPE
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7. NEW CONCRETE SIDEWALK CULVERT PER COA STD
8. NEW 6" THICK CONCRETE DRIVE APRON WITH #3 RE-BAR GRID @12"OC EA WAY
9. MATCH ASPHALT FLUSH WITH CONCRETE

TRACT "N"
SEGO SUBD.
FILED 4-13-1984
(C23, 158)

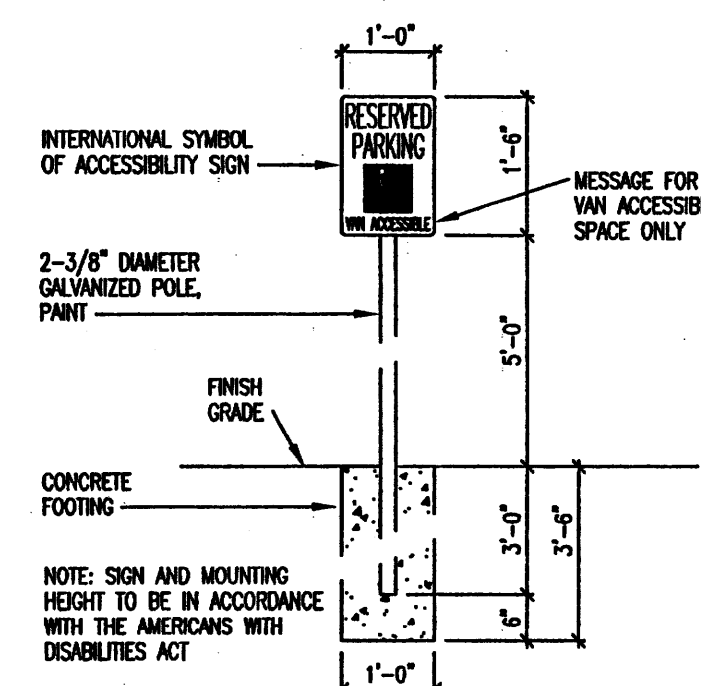
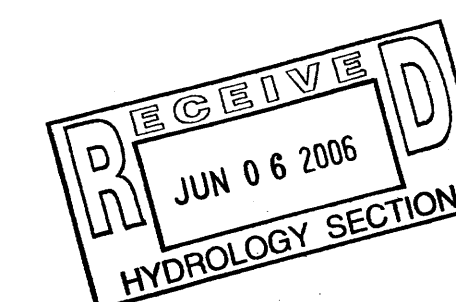
PARKING CALCULATION

NEW BUILDING
OFFICE AREA NO OFFICE REQUIRED
WAREHOUSE AREA 16,000 S.F. / 2000 = 8.0 SPACES
Subtotal = 8 cars

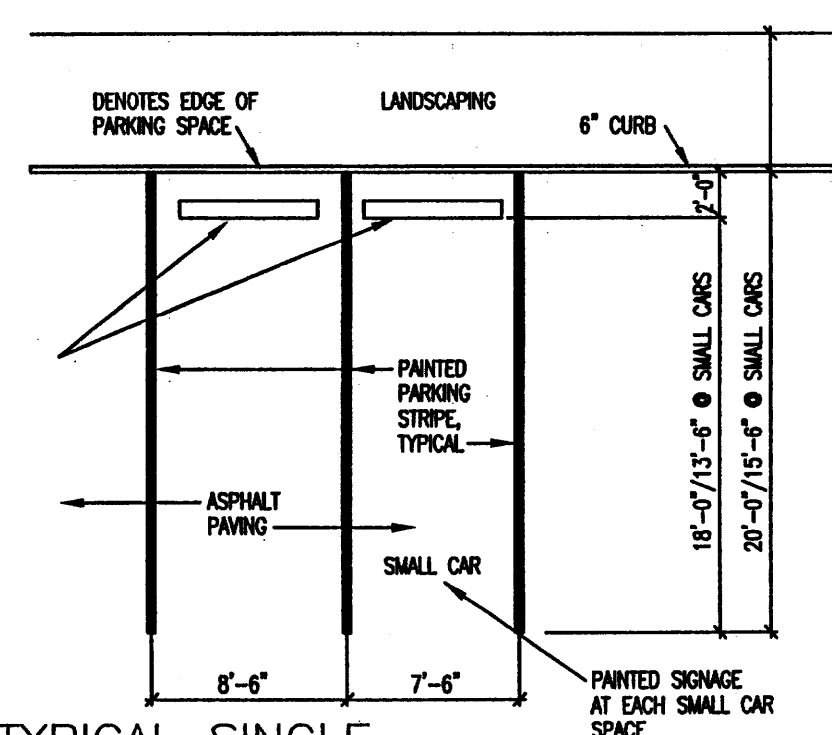
Total car spaces required = 8 spaces
Total spaces provided: 16
15 are full size spaces
1 are handicapped/ADA spaces

EXISTING OFFICE/WAREHOUSE AREA
OFFICE AREA 789.95/200 = 3.95 SPACES
WAREHOUSE AREA 5915.79 S.F. / 2000 = 2.96 SPACES
Subtotal = 7 cars

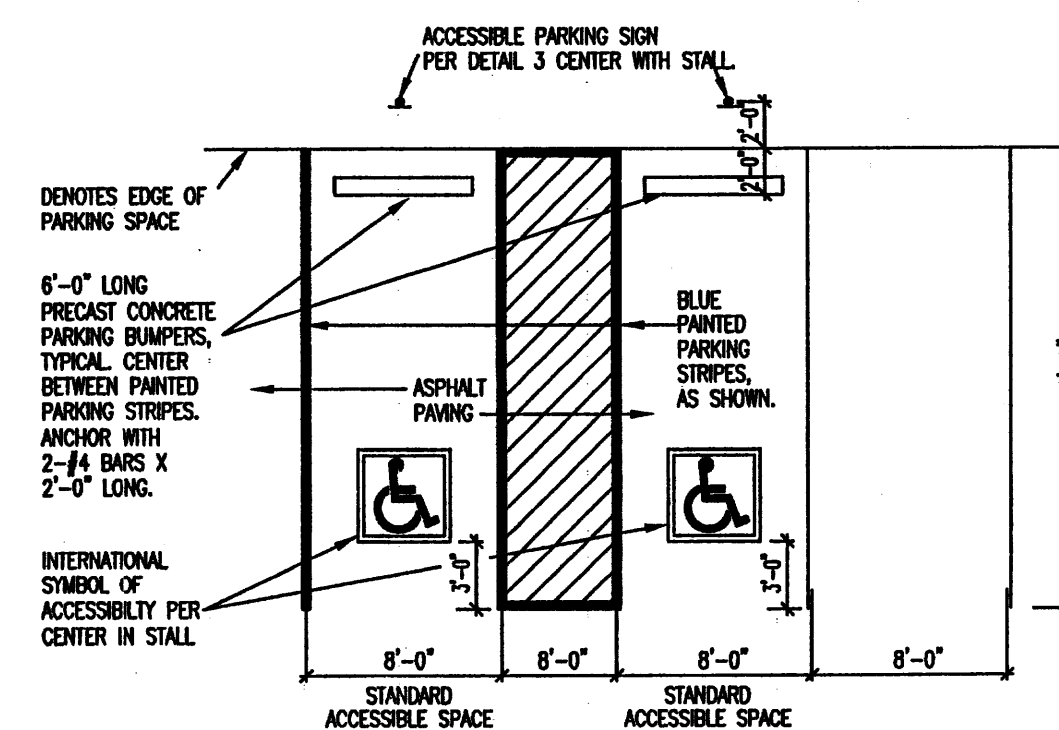
Total car spaces required = 7 spaces
Total spaces provided: 16
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1 are handicapped/ADA spaces
Total car spaces required/ new and existing = 15 spaces
Total spaces provided: 16
Two Handicap Parkings



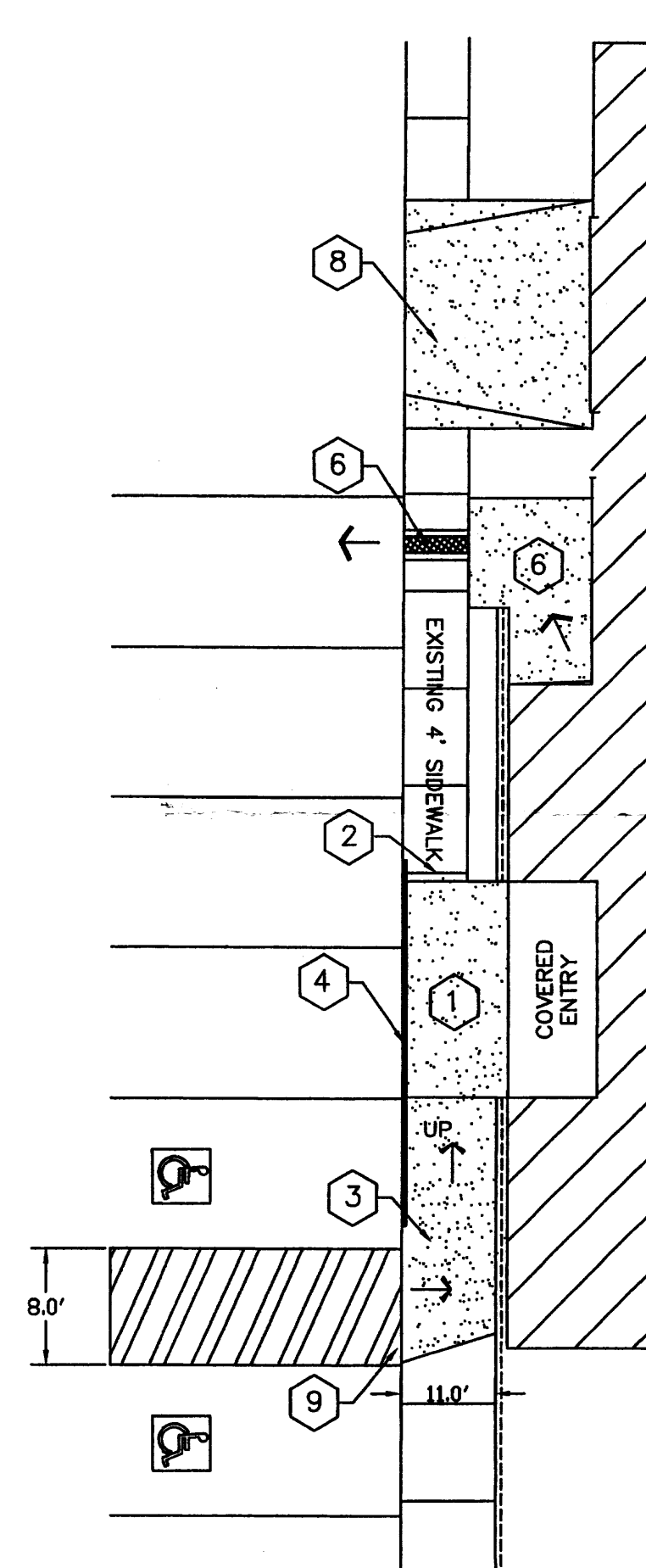
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NTS



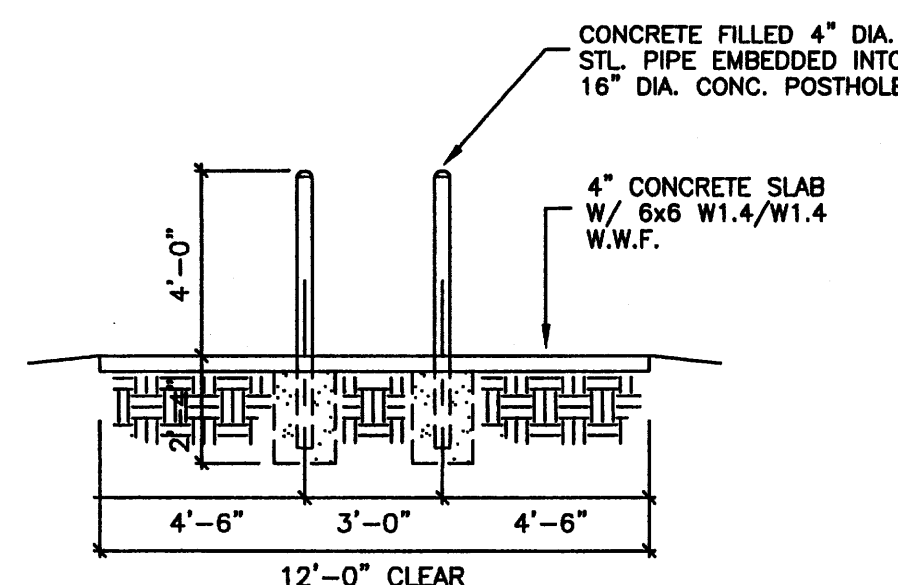
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NTS



2 TYPICAL STANDARD ACCESSIBLE PARKING SPACES
NTS



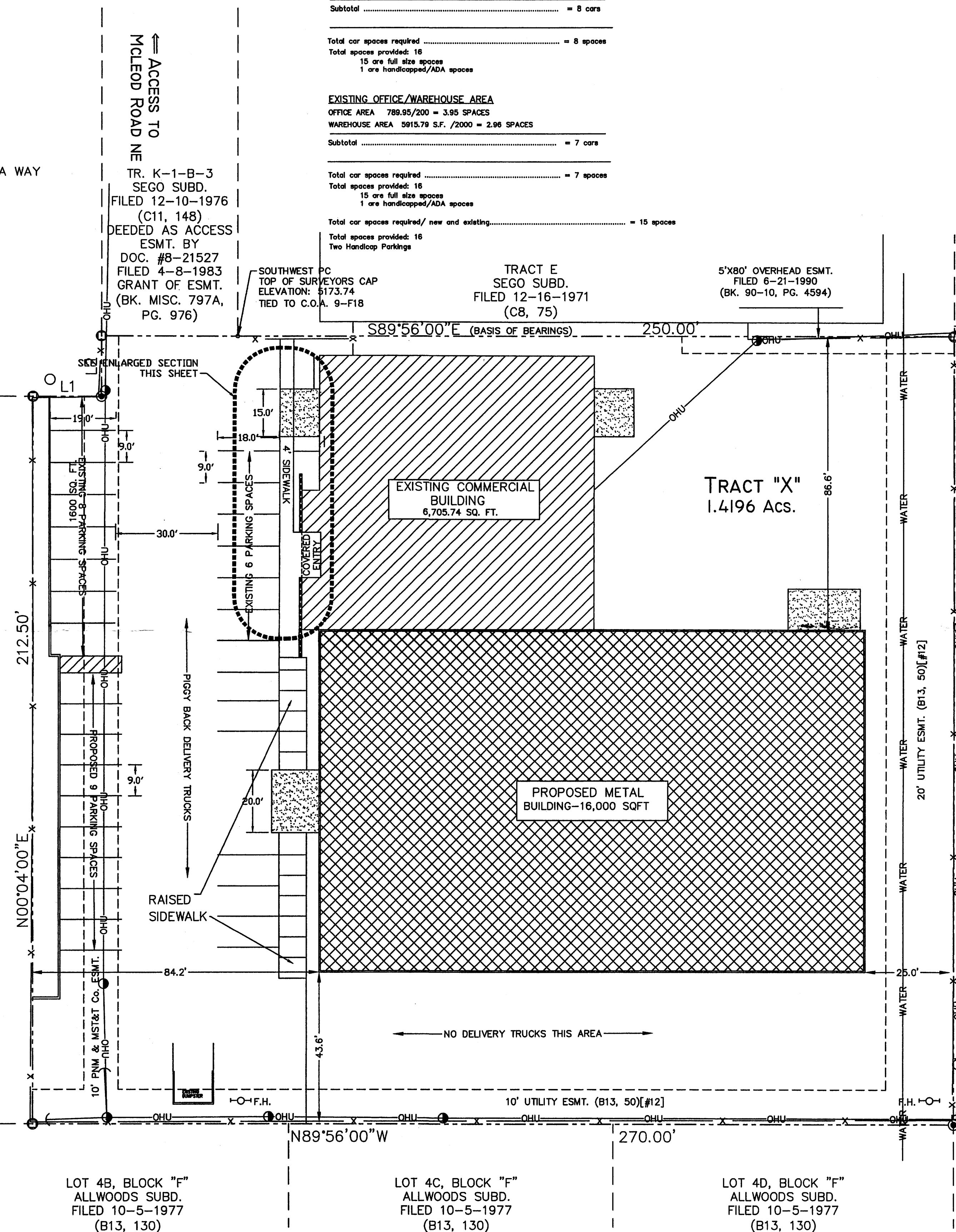
6 ENLARGE SECTION
NTS



Section

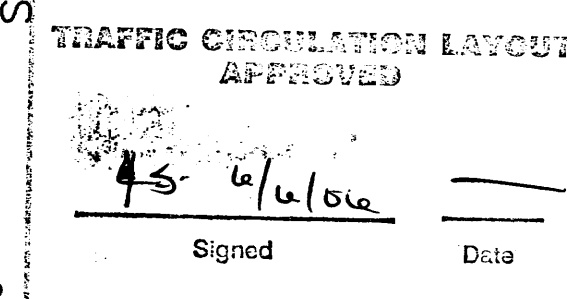
1 TYPICAL SLAB @ DUMPSTER
NTS

TRACT "C"
SEGO SUBD.
FILED 4-14-1966
(C6, 115)



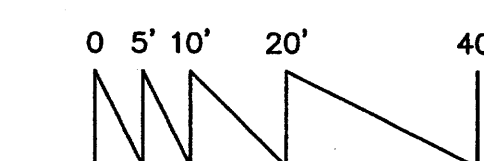
LEGAL DESCRIPTION

TRACT "X"
SEGO SUBDIVISION
ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO.



LOT 3, BLOCK G, CASHWAY
BUILDING MATERIALS, INC.
FILED 12-17-1997 (97C, 354)

LOT 4, BLOCK G, CASHWAY
BUILDING MATERIALS, INC.
FILED 12-17-1997 (97C, 354)



TRAFFIC CIRCULATION LAYOUT

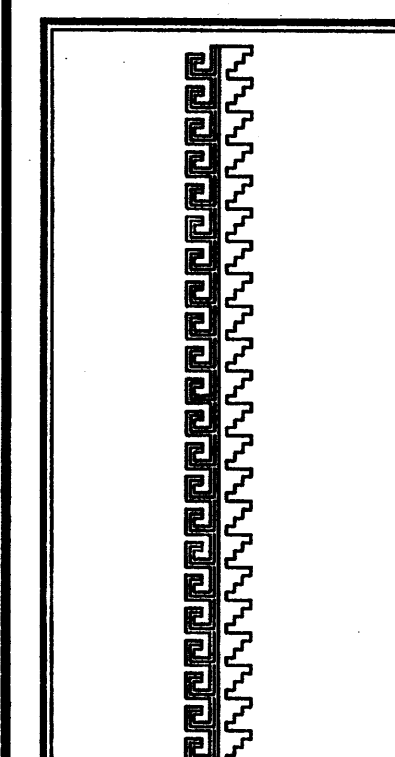
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JOB NO:	XXXXXX
DATE:	FEBRUARY 2006
REVISIONS	
6/05/2006	

Sheet Title
TRAFFIC CIRCULATION LAYOUT

Drawn By: HTH & BUM Checked By: ES



PROPOSED STORAGE BUILDING FOR
BILL RAMOS
4608 McLEOD DR. N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.

4

A.L.T.A./A.C.S.M. LAND TITLE SURVEY

TRACT "X" SEGO SUBDIVISION PROJECTED SECTION 35, T. 11 N., R. 3 E., N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JULY 2005

SYMBOLS LEGEND

- = POWER POLE
- OHU- = OVERHEAD UTILITY LINE
- GAS- = UNDERGROUND GAS LINE
- WATER- = UNDERGROUND WATER LINE
- = ANCHOR
- ⊙ = GAS METER
- = BLOCK WALL
- X- = FENCE

MONUMENT LEGEND

- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSKO LS8686" UNLESS OTHERWISE NOTED



Vicinity Map

LEGAL DESCRIPTION

Tract X, being a Replat of Tracts G-1, F and a portion of K-1-B-3 of the SEGO SUBDIVISION, within the Elena Gallegos Grant, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 8, 1977.

NOTES

1. Basis of bearings per said Sego Subdivision filed July 8, 1977.
2. Subject property is located within Zone X, designating areas determined to be outside the 0.2 % annual chance flood plain according to the Flood Insurance Rate Map, Bernalillo County, New Mexico and Incorporated Areas per Map No. 35001C0139E, effective date November 9, 2003.
3. Property is identified by UPC #: 1-017-061-381-181-40229
4. The Easement Agreement filed in Bk. Misc. 981, Pg. 814 grants an access easement within Tract K-1-B-3 for access to Tract E (the northerly adjoiner to subject property) from the public right-of-way lying north of said Tract E. Said easement does not affect subject property. [#14]
5. The Easement Agreement filed in Bk. Misc. 5A, Pg. 384 grants an access easement within Tract K-1-B-3 for access to Tracts B and B-1 (which lie north of Tract E, the northerly adjoiner to subject property) from the public right-of-way lying north of said Tracts B and B1. Said easement does not affect subject property. [#15]
6. Documents used in preparation of survey:
 - a. said Sego Subdivision filed July 8, 1977.

SURVEYORS CERTIFICATE

I, Gary E. Gritsko, licensed under the laws of the State of New Mexico, do hereby certify to, Landamerica Albuquerque Title Company, Commonwealth Land Title Insurance Company, Bill Ramos, Bank of Albuquerque, Luther Investment Company, Inc., as provided in the Title Binder No. 6212000161, September 12, 2005, that this map or plat and the survey on which it is based were made in accordance with Minimum Standards for Surveying in New Mexico and in accordance with the "Minimum Standard Detail Requirements for ALTA / ACSM Land Surveys", jointly established and adopted by ALTA and ACSM in 1999, and includes items 1, 2, 3, 4, 7(a), 8, 9, 10, 11(b), of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect in the date of this certification, undersigned further certifies that the Positional Uncertainties resulting from the survey measurements made on the survey do not exceed the allowable Positional Tolerance.

GARY E. GRITSKO, N.M.P.S. #8686

DATE

AMENDED



15 10 5 0 10 20 30

SCALE: 1" = 30'
PROJECT NO. 0507PB12
DRAWN BY PGB
ZONE ATLAS: F-17-Z
LUTHERX.CR5

PARKING DATA

22 STANDARD PARKING SPACES
1 HANDICAP PARKING SPACE
23 TOTAL PARKING SPACES

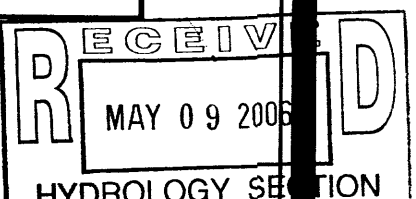
UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.

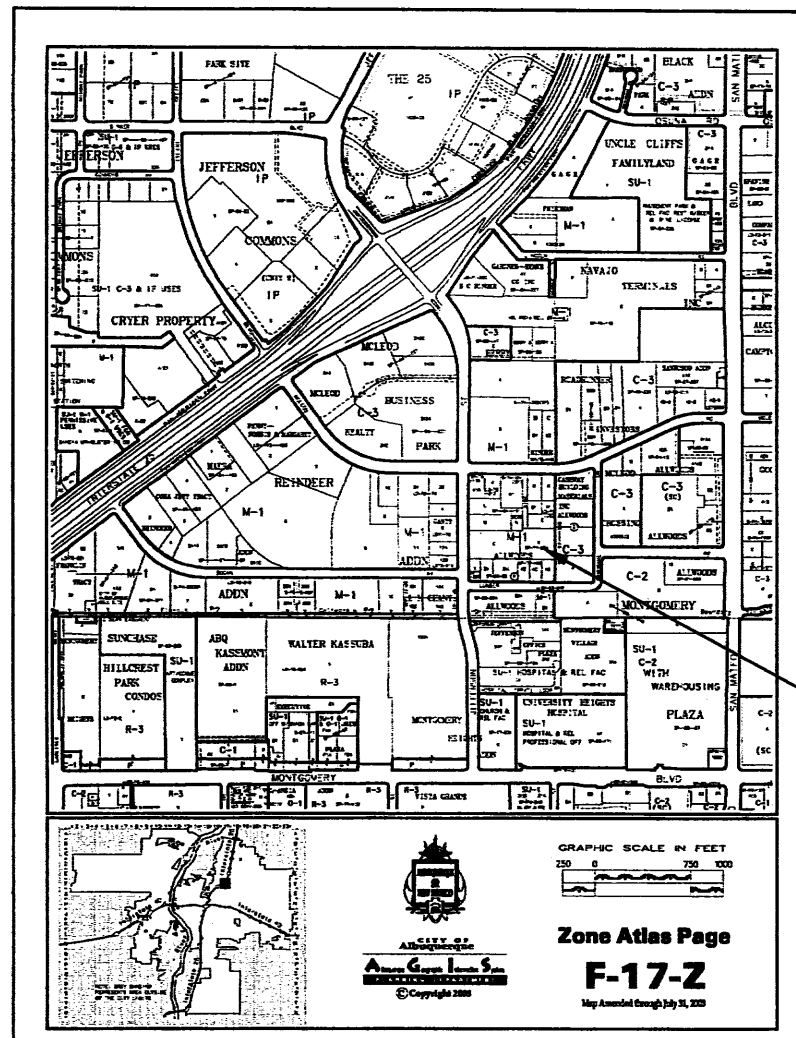
SURVEYS SOUTHWEST, LTD.

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO
87102

PHONE: (505) 998-0303
FAX: (505) 998-0306

T11N R3E SEC. 35





SITE LOCATION

1. REMOVE SIDEWALK AND DISPOSAL AS REQUIRED
REPLACE SIDEWALK AS SHOWN MATCHING EXISTING
FINISHED FLOOR ELEVATION
2. REMOVE SIDEWALK AND DISPOSAL AS REQUIRED
REPLACE SIDEWALK AS SHOWN WITH NEW 6" RISE STEPS
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WITH 1:12 MAX SLOPE
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8. NEW 6" THICK CONCRETE DRIVE APRRON WITH #3 RE-BAR GRID @12"OC EA WAY
9. MATCH ASPHALT FLUSH WITH CONCRETE

TRACT "N"
SEGO SUBD.
FILED 4-13-1984
(C23, 158)

PARKING CALCULATION

NEW BUILDING

OFFICE AREA NO OFFICE REQUIRED
WAREHOUSE AREA 16,000 S.F. / 2000 = 8.0 SPACES
Subtotal = 8 cars

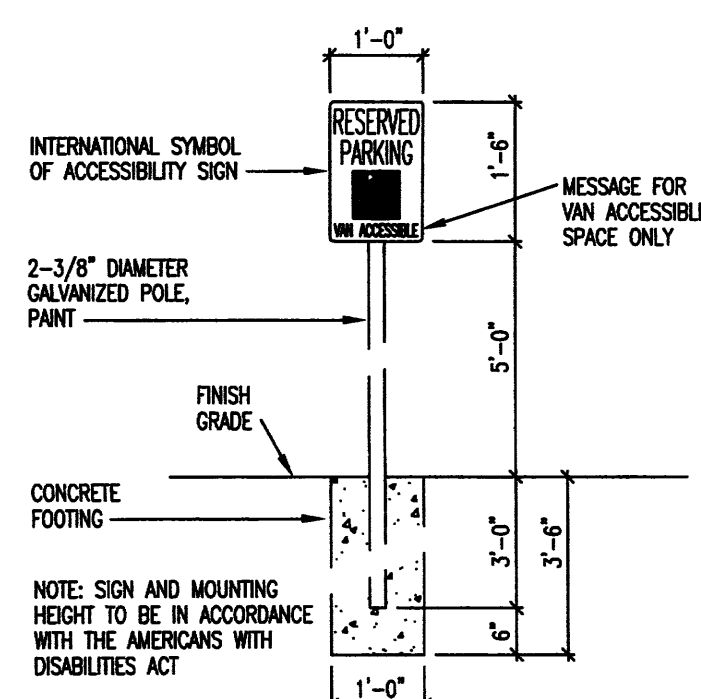
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Total spaces provided: 16
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EXISTING OFFICE/WAREHOUSE AREA

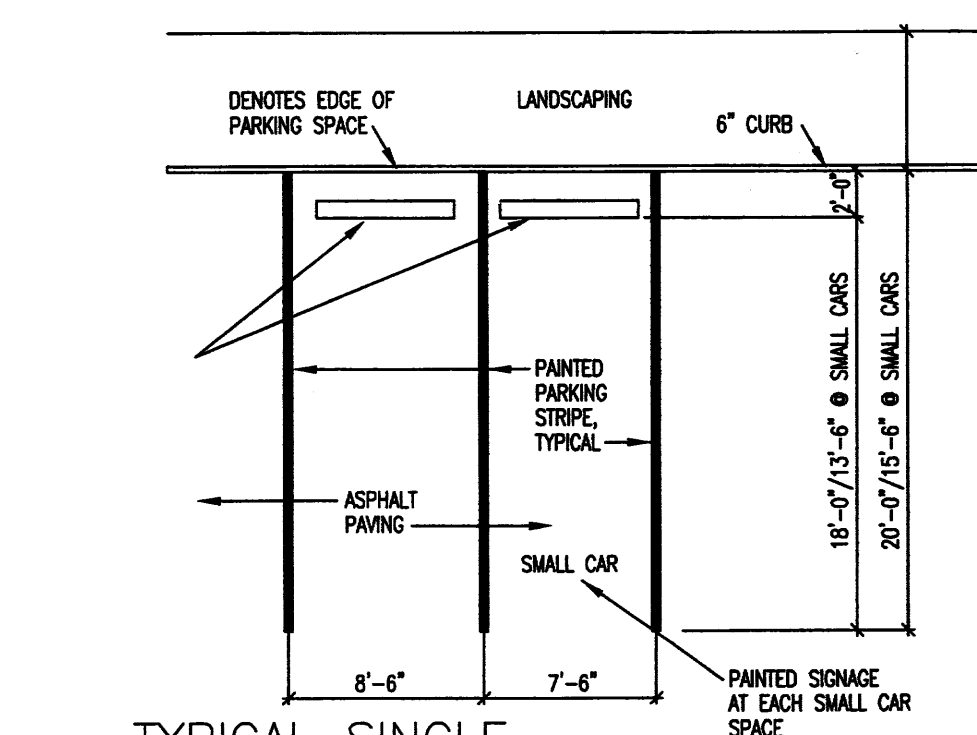
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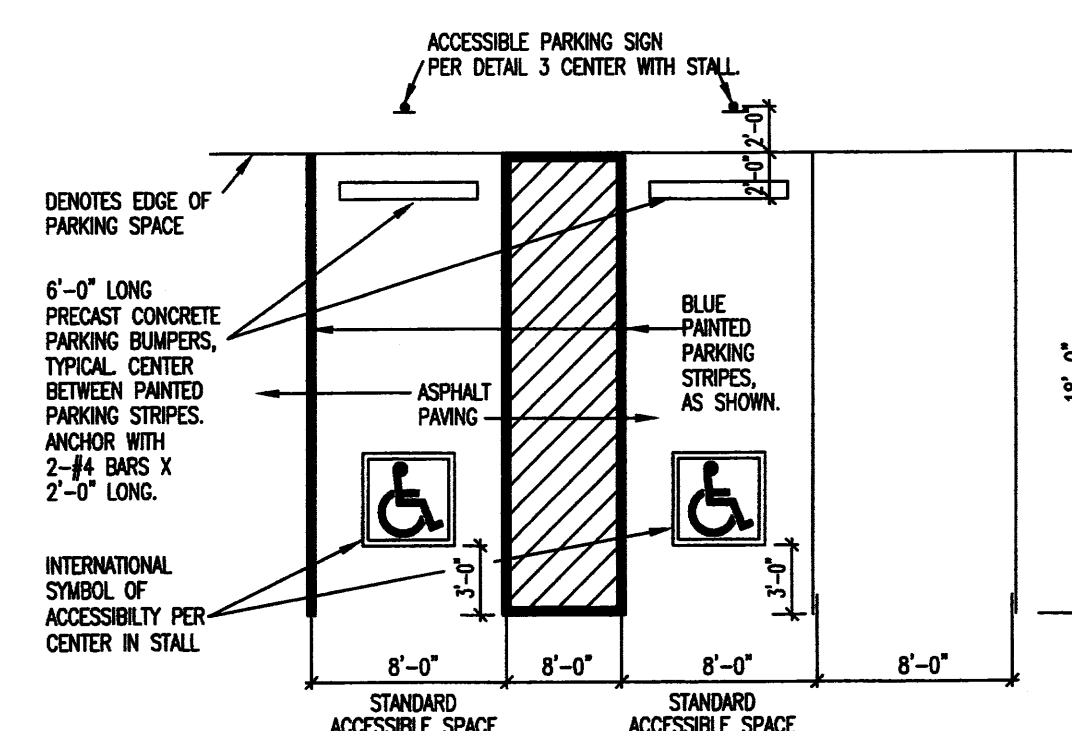
Total car spaces required/ new and existing = 15 spaces
Total spaces provided: 16
Two Handicap Parkings



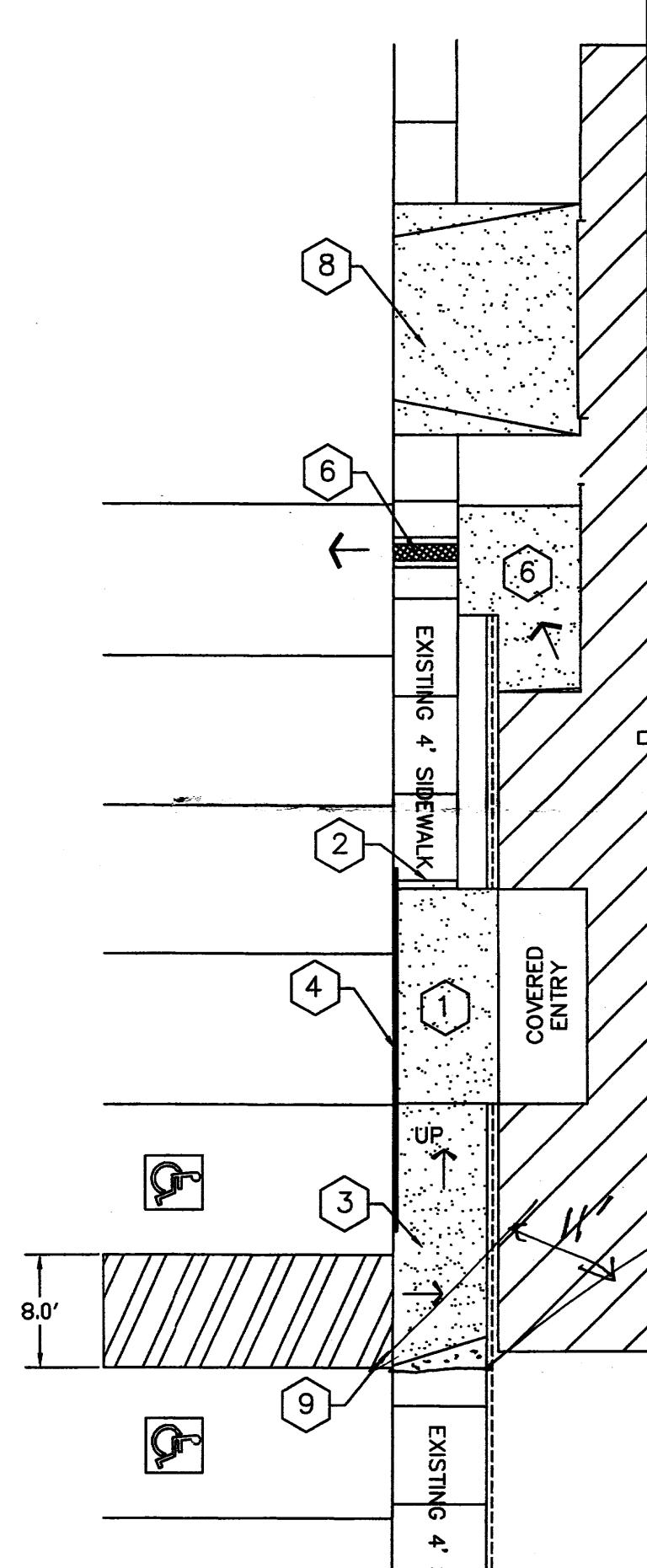
3 ACCESSIBLE PARKING SIGN
NTS



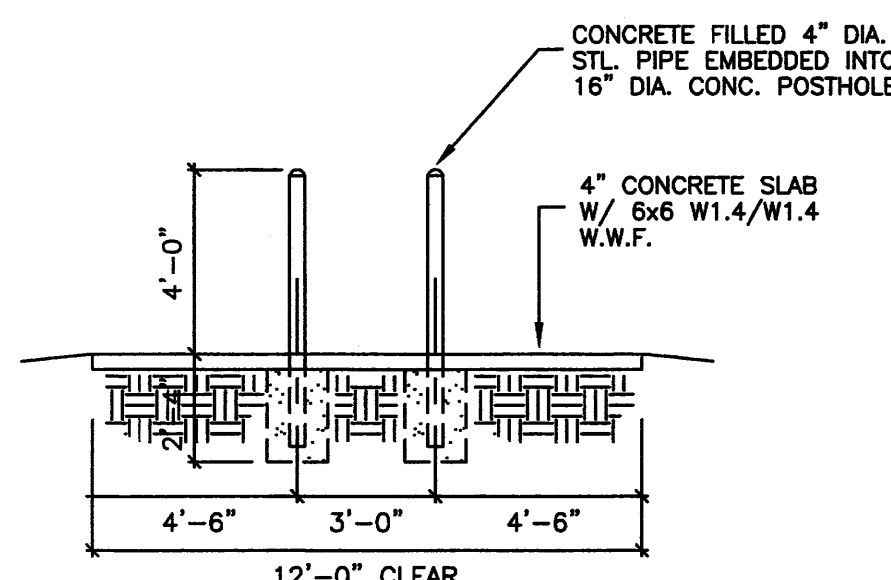
4 TYPICAL SINGLE LOADED PARKING SPACE
NTS



2 TYPICAL STANDARD ACCESSIBLE PARKING SPACES
NTS

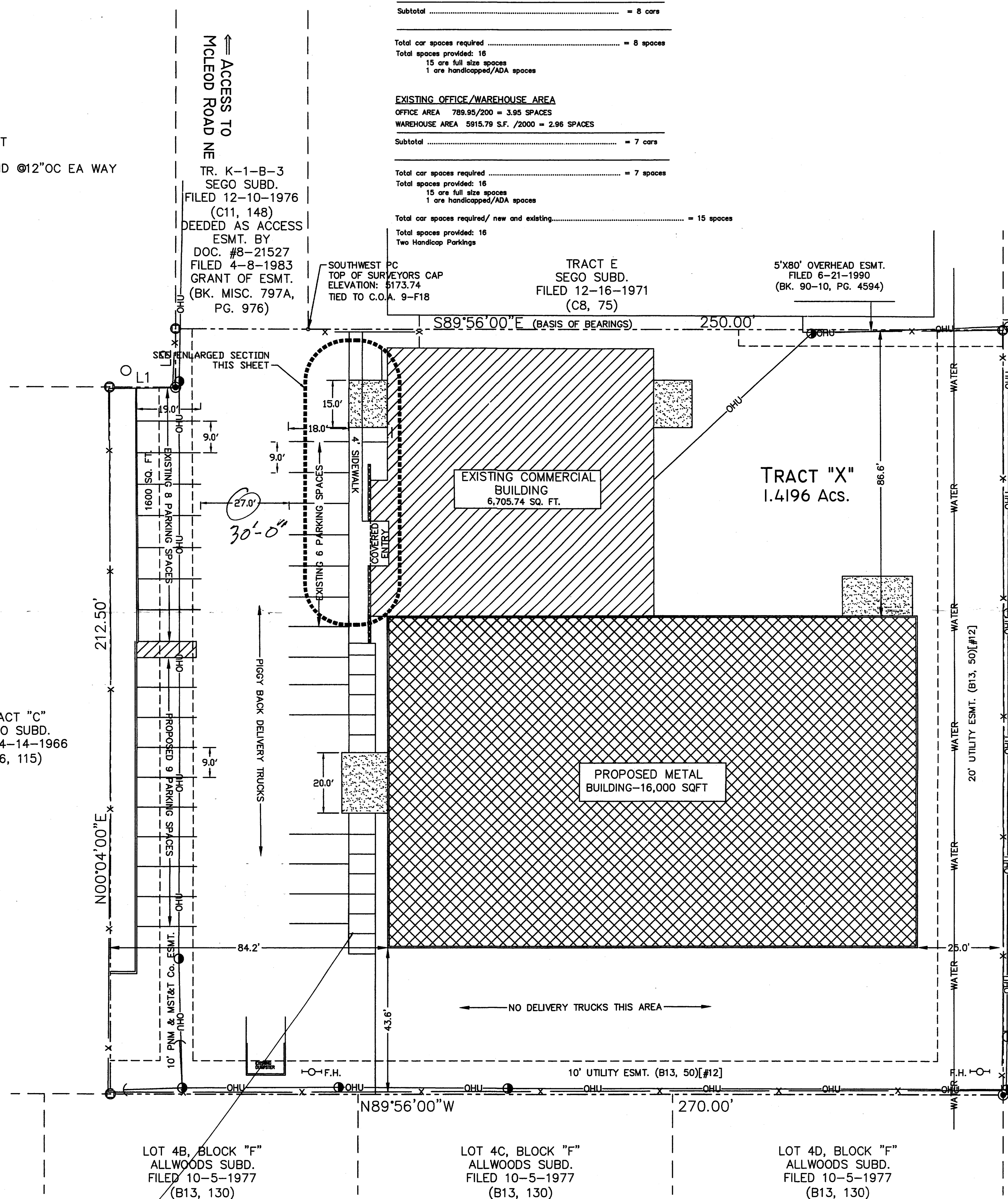


6 ENLARGE SECTION
NTS



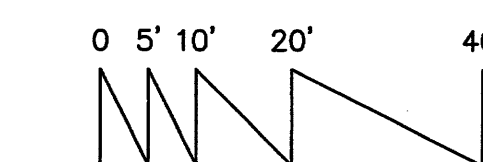
1 Section
TYPICAL SLAB @ DUMPSTER
NTS

TRACT "C"
SEGO SUBD.
FILED 4-14-1966
(C6, 115)



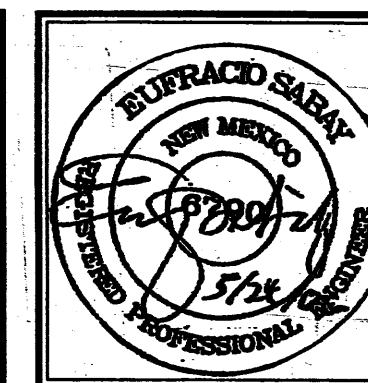
LEGAL DESCRIPTION

TRACT "X"
SEGO SUBDIVISION
ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO.



TRAFFIC CIRCULATION LAYOUT

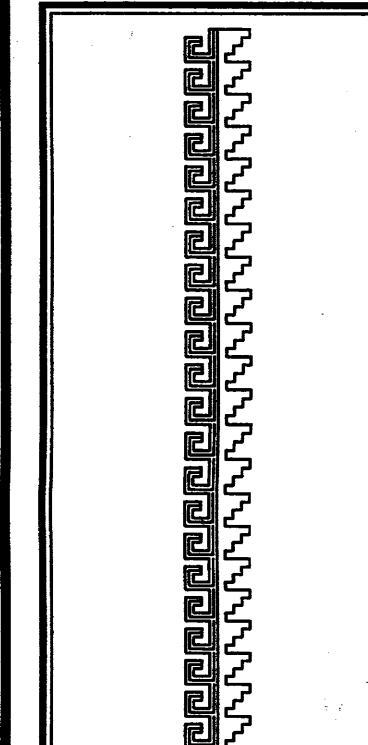
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JOB NO: XXXXXX
DATE: FEBRUARY 2006
REVISIONS
5/26/2006

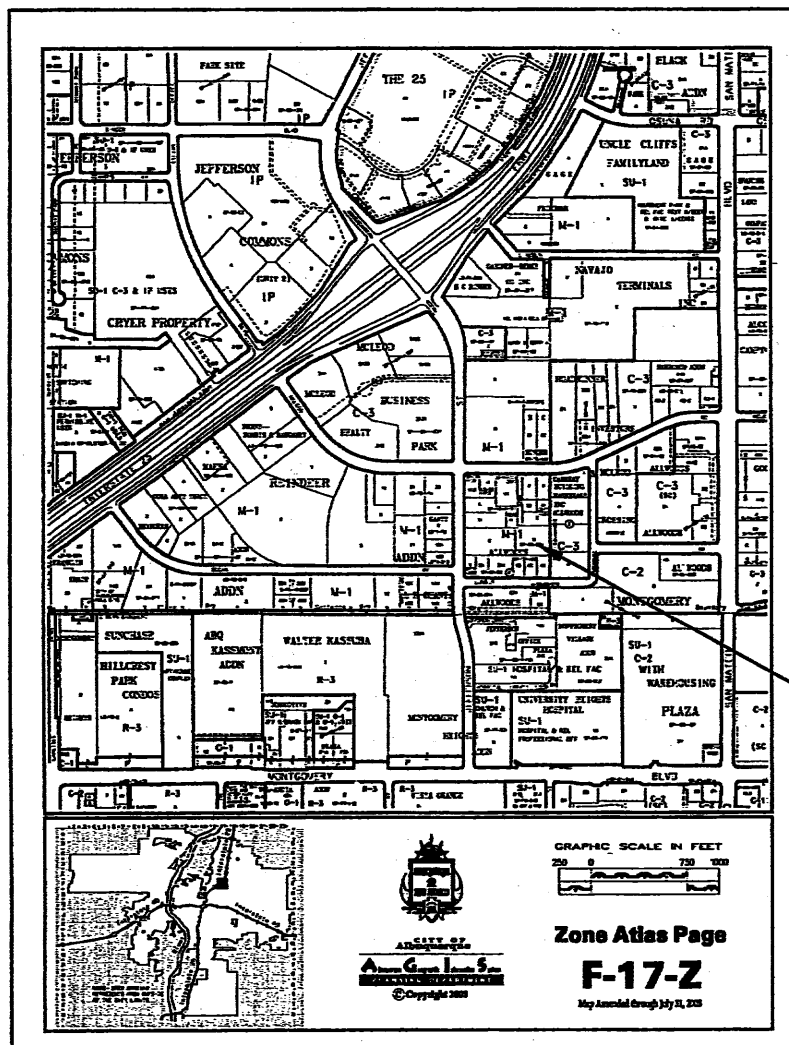
Sheet Title
TRAFFIC CIRCULATION LAYOUT

Drawn By: HTH & B/M Checked By: ES



Job Title
PROPOSED STORAGE BUILDING FOR
BILL RAMOS
4608 McLEOD DR. N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.
4



KEYED NOTES

1. REMOVE SIDEWALK AND DISPOSAL AS REQUIRED
REPLACE SIDEWALK AS SHOWN MATCHING EXISTING
FINISHED FLOOR ELEVATION
2. REMOVE SIDEWALK AND DISPOSAL AS REQUIRED
REPLACE SIDEWALK AS SHOWN WITH NEW 6" RISE STEPS
PROVIDE HANDRAIL ON EACH SIDE PER ADA REQUIREMENTS
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WITH 1:12 MAX SLOPE
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5. NEW CONCRETE HC RAMP OVER EXISTING ASPHALT
WITH 1:12 MAX SLOPE
6. NEW CONCRETE SLAB, SWALE SLAB TO NEW SIDEWALK CULVERT
7. NEW CONCRETE SIDEWALK CULVERT PER COA STD 2236
8. NEW 8" THICK CONCRETE DRIVE APRON WITH #3 RE-BAR GRID @ 16"OC EA WAY
9. 6'X6' CONCRETE PAD W/ #3 RE-BAR @ 16"OC EC. WAY

SITE LOCATION

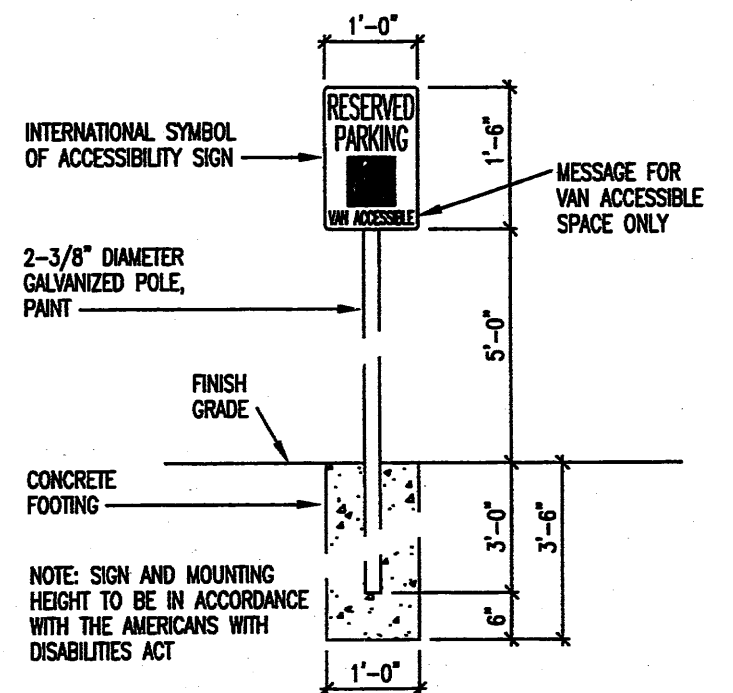
TRACT "N"
SEGO SUBD.
FILED 4-13-1984
(C23, 158)

PARKING CALCULATION

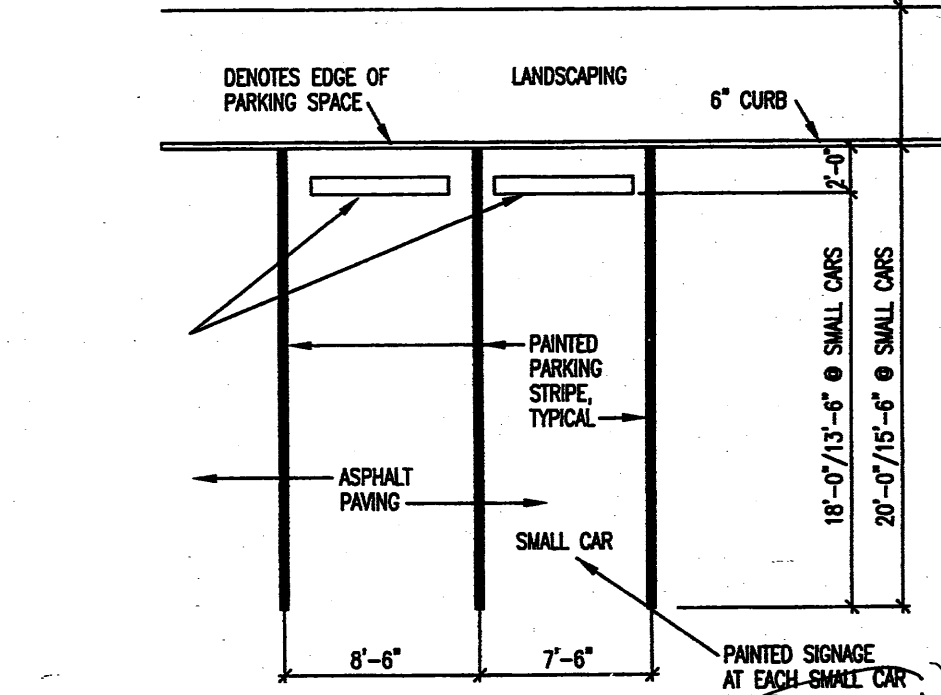
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Subtotal = 8 cars
Total car spaces required = 8 spaces
Total spaces provided: 16
15 are full size spaces
1 are handicapped/ADA spaces

EXISTING OFFICE/WAREHOUSE AREA
OFFICE AREA 789.95/200 = 3.95 SPACES
WAREHOUSE AREA 5815.79 S.F. /2000 = 2.96 SPACES
Subtotal = 7 cars
Total car spaces required = 7 spaces
Total spaces provided: 16
15 are full size spaces
1 are handicapped/ADA spaces

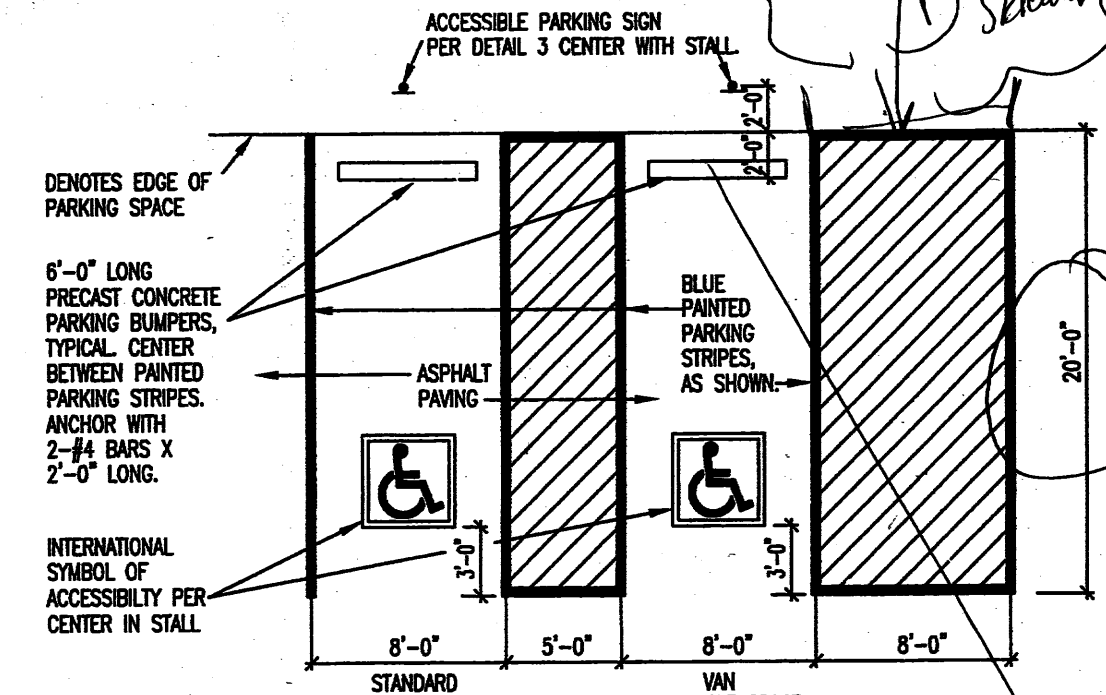
Total car spaces required/ new and existing = 15 spaces
Total spaces provided: 16
Two Handicap Parkings



3 ACCESSIBLE PARKING SIGN
NTS

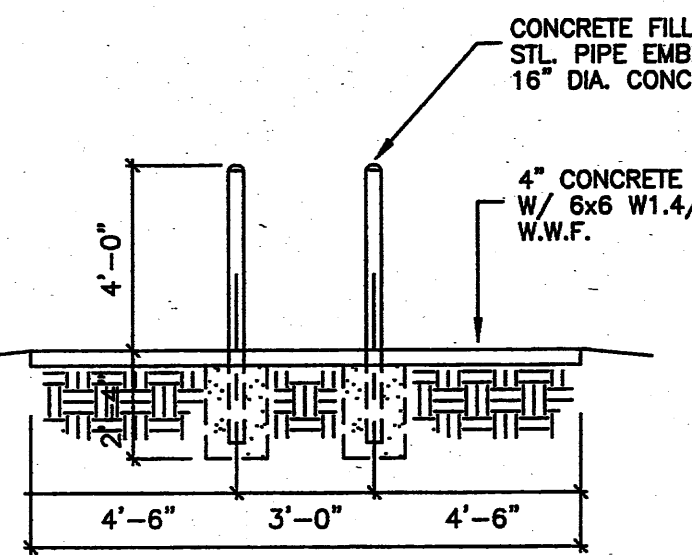


4 TYPICAL SINGLE LOADED PARKING SPACE
NTS

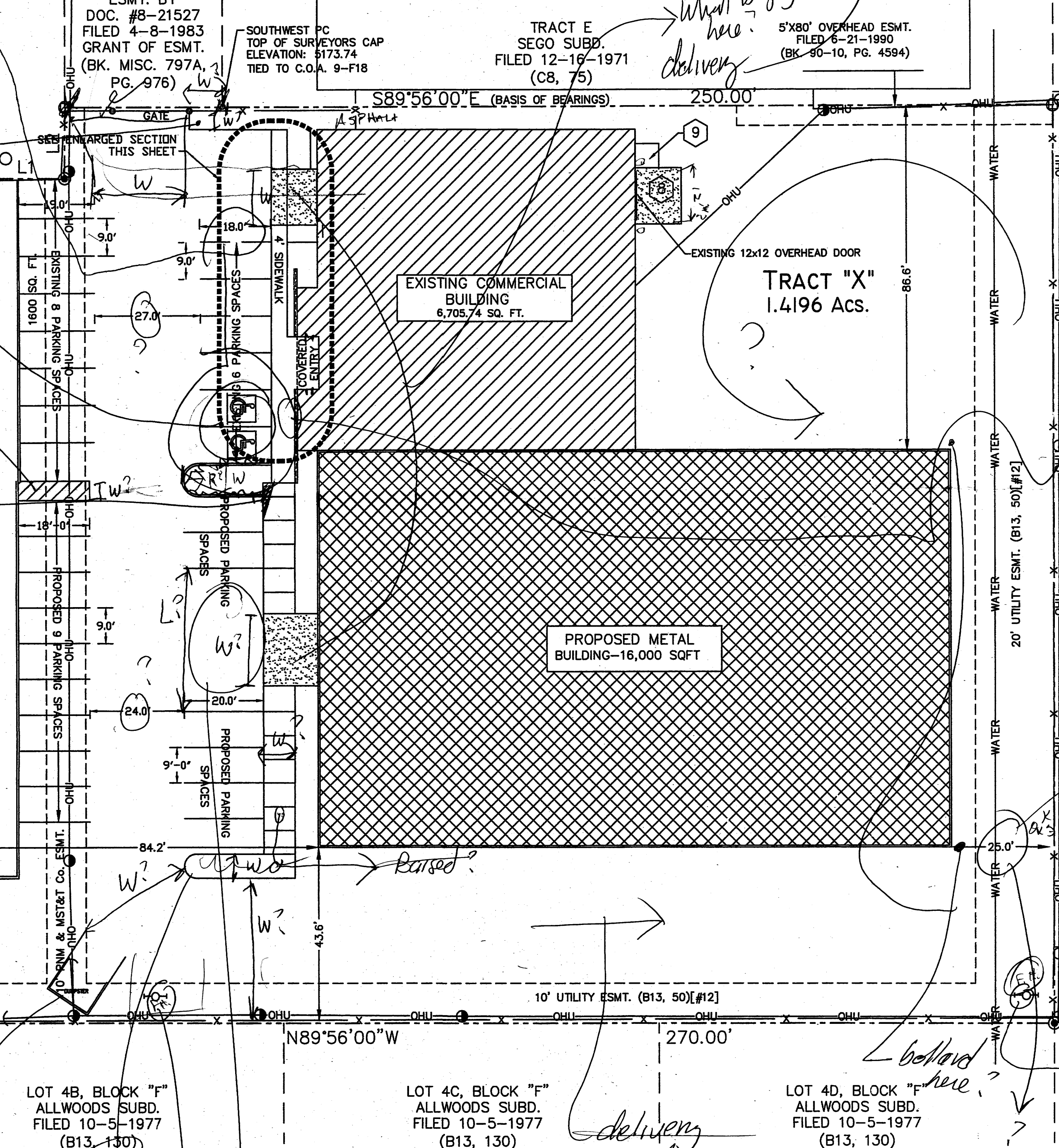


2 TYPICAL VAN AND STANDARD ACCESSIBLE PARKING SPACES
NTS

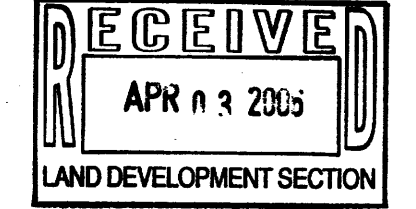
6 ENLARGE SECTION
NTS



1 TYPICAL SLAB @ DUMPSTER
NTS



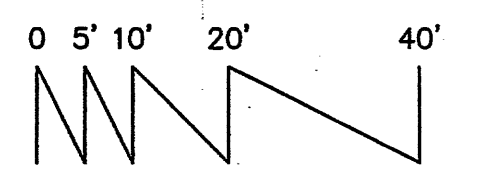
LOT 3, BLOCK C, CASHWAY
BUILDING MATERIALS, INC.
FILED 12-17-1997 (97C, 354)



LOT 4, BLOCK G, CASHWAY
BUILDING MATERIALS, INC.
FILED 12-17-1997 (97C, 354)

LEGAL DESCRIPTION
TRACT "X"
SEGO SUBDIVISION
ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO.

TRAFFIC CIRCULATION PLAN

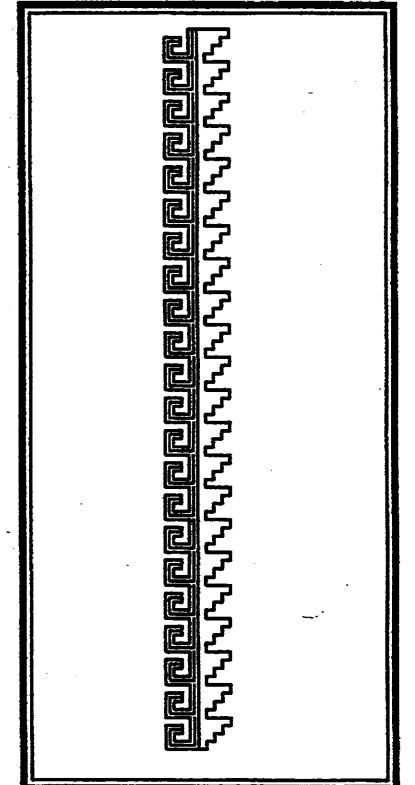


Scale 1"=20'-0"



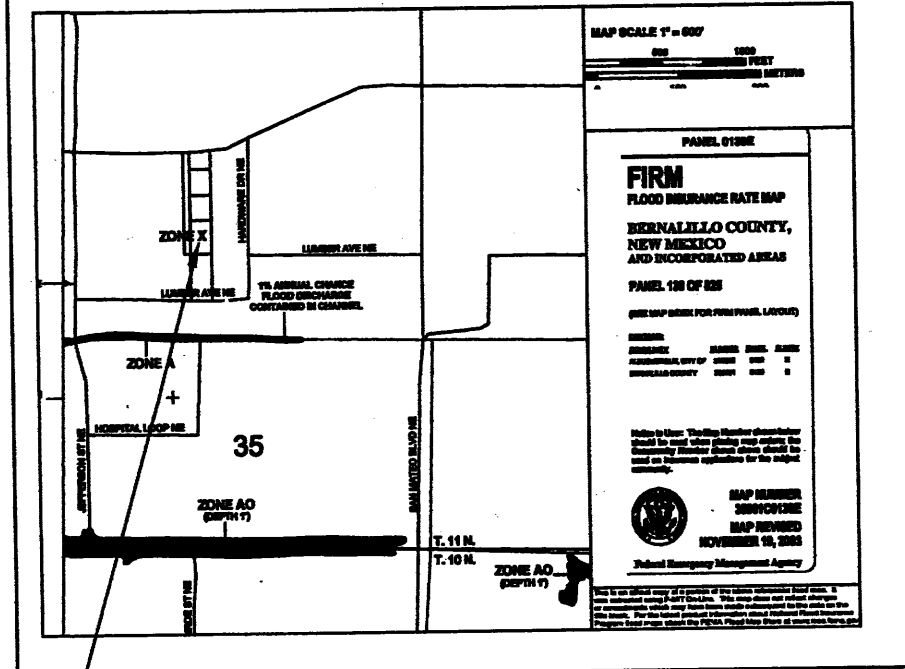
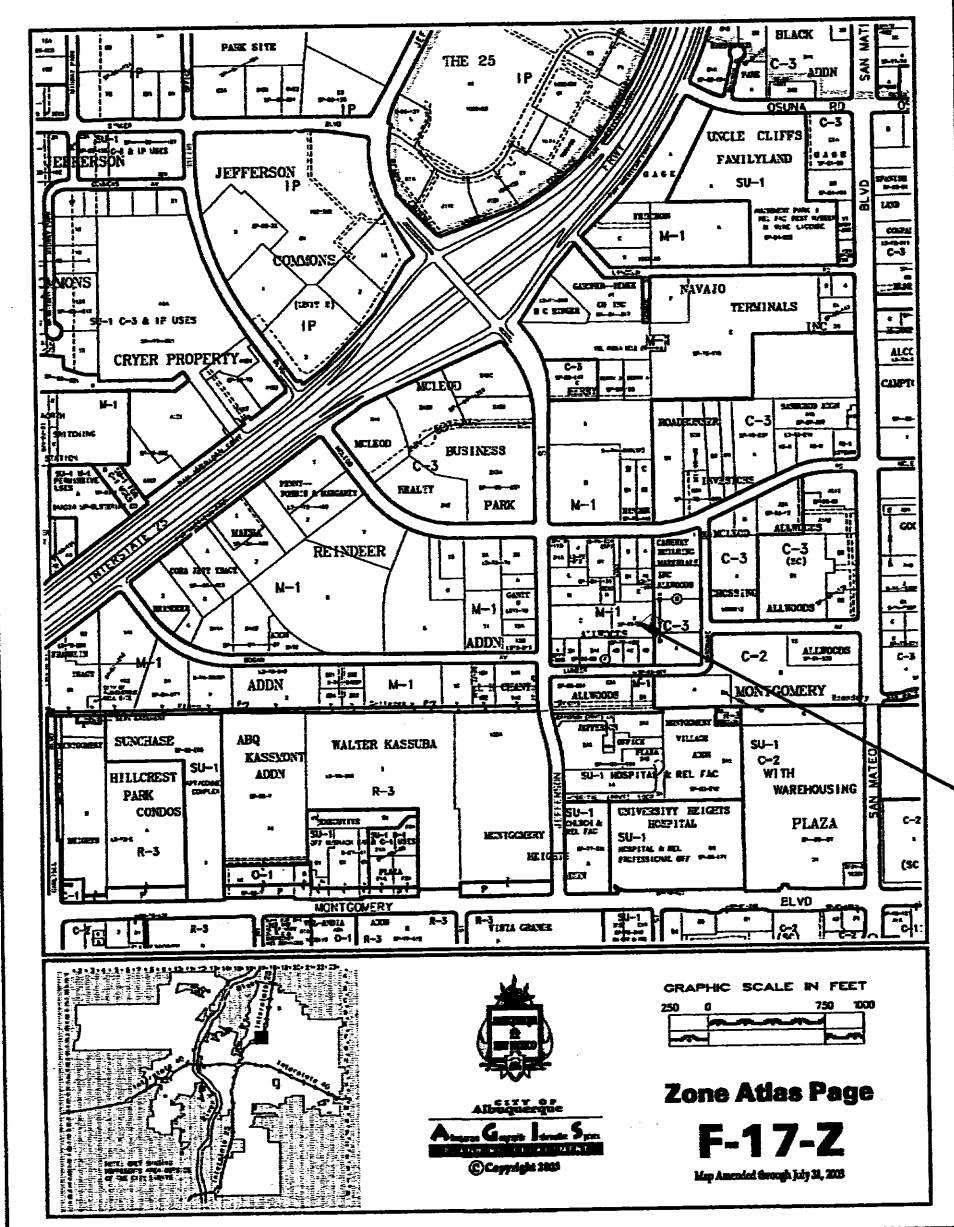
JOB NO:	XXXXXX
DATE:	MARCH 2006
REVISIONS	

Street Title
TRAFFIC CIRCULATION PLAN
Drawn By: HTH & BLM Checked By: ES



PROPOSED STORAGE BUILDING FOR
BILL RAMOS
4608 McLEOD DR. N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.
4



SITE LOCATION

NOTE TO CONTRACTOR

1. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
2. All work shown on this plan is to be performed in accordance with the specifications and standards of the City of Albuquerque.
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
4. Prior to construction, the contractor shall verify the location and depth of all existing utilities and structures.
5. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
6. All work on this project shall be performed in accordance with the specifications and standards of the City of Albuquerque.
7. Maintenance of the facilities shall be the responsibility of the owner.

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "9-118", HAVING AN ELEVATION OF 5172.08.

LOCATED JUST SOUTH OF SAN MATEO LANE N.E. ON THE WEST SIDE.

B.M.

EXISTING FINISH FLOOR OF EXISTING BUILDING HAVING AN ELEVATION OF 5172.08.

Too Small

The layout shown does not match what is shown in the 2004 Aerial - must show all existing pavement and buildings w/ elevations

Finished floor elevations do not match those provided in the approved plan (11/98)

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING (4608 McLEOD RD. N.E.) TRACT "X" SEGO SUBDIVISION, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 1.4196 ACRES MORE OR LESS AND IS LOCATED SOUTH OF McLEOD RD. N.E. BETWEEN JEFFERSON ST. AND HARDWARE DR. N.E. THE SITE IN ITS PRESENT CONDITION CONTAINS A 6,705 SQ. FT. OFFICE/WAREHOUSE BUILDING ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. THE FLOWS ARE FROM SOUTH TO NORTH AND THROUGH AN EXISTING PLATTED ACCESS EASEMENT AND DOWN TO McLEOD RD. N.E. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0139E, REVISED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 16,000 SQ. FT. METAL BUILDING ADDITION ALONG WITH ADDITIONAL PAVED PARKING AND LANDSCAPED AREAS. THE DEVELOPED RUN-OFF WILL CONTINUE TO DRAIN NORTH AND ONTO McLEOD RD. N.E. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

PROJECT AREA = 1.4196 ac.
BILL RAMOS NEW STORAGE BUILDING PROJECT
ZONE 2
PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.53 in.	1.56 cfs/ac.
TREATMENT B	0.78 in.	2.28 cfs/ac.
TREATMENT C	1.13 in.	3.14 cfs/ac.
TREATMENT D	2.12 in.	4.70 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
AREA	AREA
TREATMENT A 0 ac.	0 ac.
TREATMENT B 0.02595 ac. 0.028	0.15758 ac. 11%
TREATMENT C 0.99576 ac. 0.980	0 ac.
TREATMENT D 0.42123 ac. 0.412	1.26202 ac. 89%

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.03) + (1.13)(1.00) + (2.12)(0.42) = 1.42 ac.
= 1.44 in.

V100-360 = (1.44)(1.42) / 12 = 0.169871 ac-ft = 7400 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.56)(0.00) + (2.28)(0.03) + (3.14)(1.00) + (4.70)(0.42) = 5.17 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.16) + (1.13)(0.00) + (2.12)(1.26) = 1.42 ac.
= 1.97 in.

V100-360 = (1.97)(1.42) / 12.0 = 0.233200 ac-ft = 10158 CF

V100-1440 = (0.23)(1.26) + (2.75 - 2.35) / 12 = 0.275267 ac-ft = 11991 CF

V100-10day = (0.23)(1.26) + (3.95 - 2.35) / 12 = 0.401469 ac-ft = 17488 CF

PROPOSED PEAK DISCHARGE:

Q100 = (1.56)(0.00) + (2.28)(0.16) + (3.14)(0.00) + (4.70)(1.26) = 6.3 CFS

INCREASE 1.13 CFS - 5.17 CFS = 0.76 CFS

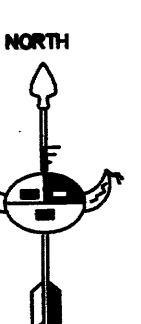
TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10% slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, ground cover and infiltration capacity.
B	Irrigated lawns, parks and golf courses with 0 to 10% slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10% and less than 20%.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10%. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20% or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability.
D	Impervious areas, pavement and roofs.

PER ARIAL

EXISTING CONDITIONS

Type A	0%	0.000 Ac
Type B	2%	0.028 Ac
Type C	69%	0.980 Ac
Type D	29%	0.412 Ac

Q_{EXIST} = 5.08 cfs



0' 5' 10' 20' 40'

GRADING & DRAINAGE PLAN

Scale 1" = 20' - 0"

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
- A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERM, DITCH, DRAINAGE, AND OTHER TEMPORARY MEASURES AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
- B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM RUN-OFF BY THE SITE BY CONSTRUCTING BERM OR OTHER MEASURES TO PREVENT STORM RUN-OFF FROM ENTERING THE PUBLIC RIGHT-OF-WAY.
- C) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL DEBRIS WITHIN THE PUBLIC RIGHT-OF-WAY THAT HAVE BEEN DEPOSITED FROM THE SITE AND REPORTED THERE.

SYMBOL LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- DESIGN CONTOUR
- PROPOSED SPOT ELEVATION
- PROPERTY LINE
- EASEMENT LINE
- FLOW DIRECTION
- EXISTING SPOT ELEVATION
- DOWN SPOUT

ABBREVIATION LEGEND

- TOP OF CONC PAD
- TOP OF CURB
- TOP OF ASPHALT
- TOP OF BERM
- BOTTOM OF POND
- FINISHED FLOOR
- BOC = BACK OF CURB
- DI = DRAINAGE INLET
- CA = EDGE OF ASPHALT
- EC = EDGE OF CONCRETE
- FL = FLOW LINE
- FP = FENCE POST
- G = GROUND
- HP = HIGH POINT
- TC = TOP OF CURB
- TA = TOP OF ASPHALT
- TB = TOP OF BERM
- BP = BOTTOM OF POND
- FF = FINISHED FLOOR

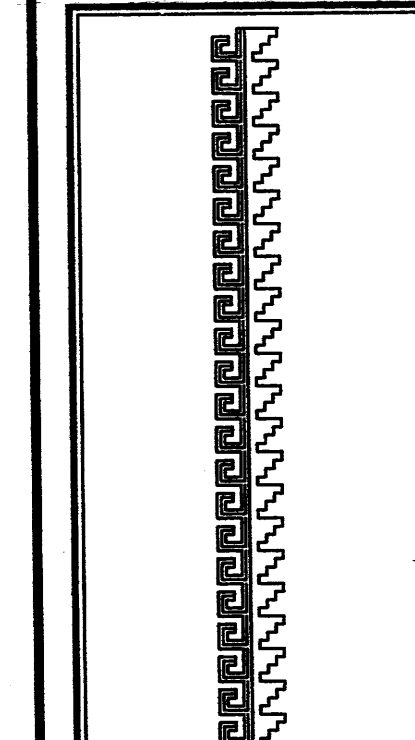
LEGAL DESCRIPTION

TRACT "X"
SEGO SUBDIVISION
ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO.



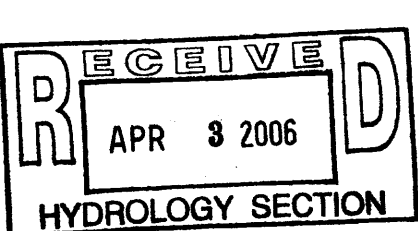
JOB NO: XXXXXX
DATE: MARCH 2006
REVISIONS

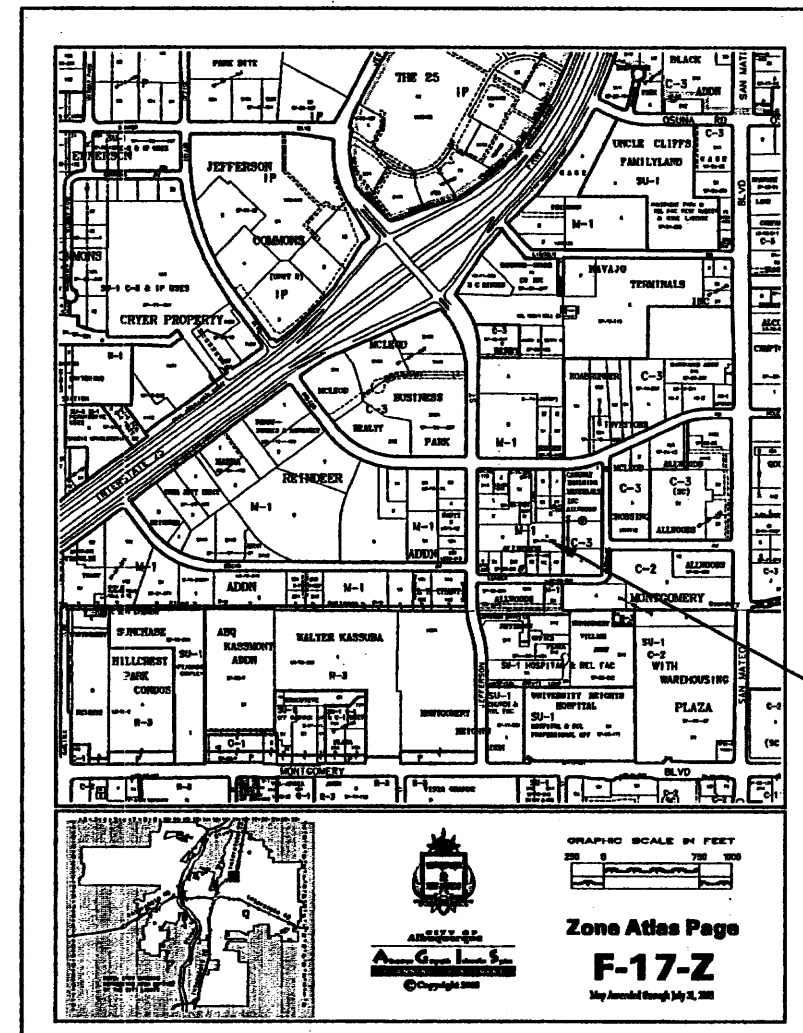
Sheet Title
GRADING/ DRAINAGE PLAN
Drawn By: HTH & BLM Checked By: ES



Job Title
PROPOSED STORAGE BUILDING FOR
BILL RAMOS
4608 McLEOD DR. N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.
3





SITE LOCATION

1. REMOVE SIDEWALK AND DISPOSAL AS REQUIRED
REPLACE SIDEWALK AS SHOWN MATCHING EXISTING
FINISHED FLOOR ELEVATION
2. REMOVE SIDEWALK AND DISPOSAL AS REQUIRED
REPLACE SIDEWALK AS SHOWN WITH NEW 6" RISE STEPS
PROVIDE HANDRAIL ON EACH SIDE PER ADA REQUIREMENTS
3. REMOVE SIDEWALK AND DISPOSAL AS REQUIRED
REPLACE SIDEWALK AS SHOWN WITH NEW HC RAMP
WITH 1:12 MAX SLOPE
4. NEW HANDRAIL INSTALLED PER ADA
5. NEW CONCRETE HC RAMP OVER EXISTING ASPHALT
WITH 1:12 MAX SLOPE
6. NEW CONCRETE SLAB, SWALE SLAB TO NEW SIDEWALK CULVERT
7. NEW CONCRETE SIDEWALK CULVERT PER COA STD
8. NEW 6" THICK CONCRETE DRIVE APRON WITH #3 RE-BAR GRID @12"OC EA WAY
9. MATCH ASPHALT FLUSH WITH CONCRETE

TRACT "N"
SEGO SUBD.
FILED 4-13-1984
(C23, 158)

PARKING CALCULATION

NEW BUILDING

OFFICE AREA NO OFFICE REQUIRED

WAREHOUSE AREA 16,000 S.F. / 2000 = 8.0 SPACES

Subtotal = 8 cars

Total car spaces required = 8 spaces

Total spaces provided: 16
15 are full size spaces
1 are handicapped/ADA spaces

EXISTING OFFICE/WAREHOUSE AREA

OFFICE AREA 789.85/200 = 3.95 SPACES

WAREHOUSE AREA 5915.78 S.F. / 2000 = 2.96 SPACES

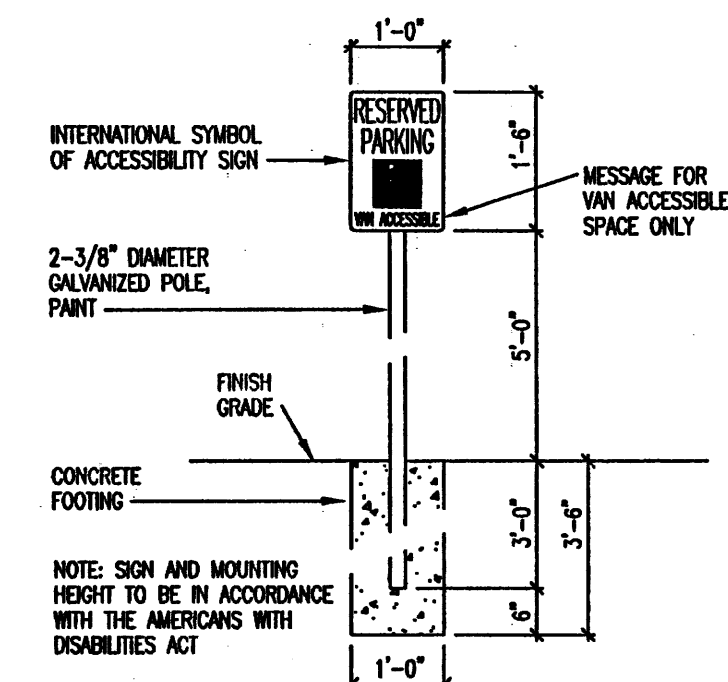
Subtotal = 7 cars

Total car spaces required = 7 spaces

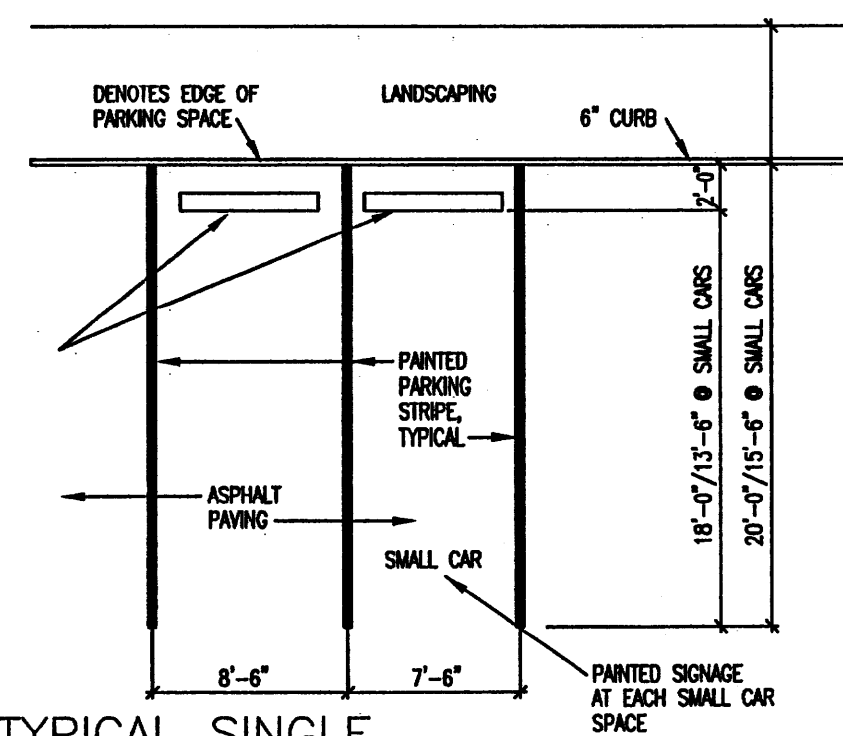
Total spaces provided: 16
15 are full size spaces
1 are handicapped/ADA spaces

Total car spaces required/ new and existing = 15 spaces

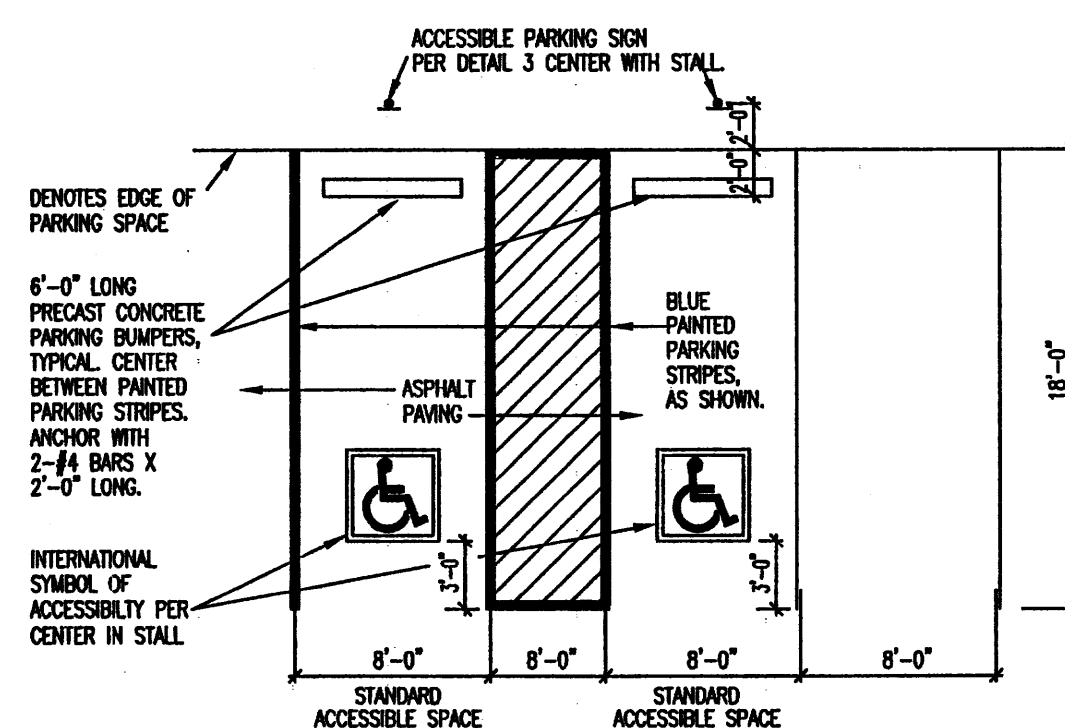
Total spaces provided: 16
Two Handicap Parkings



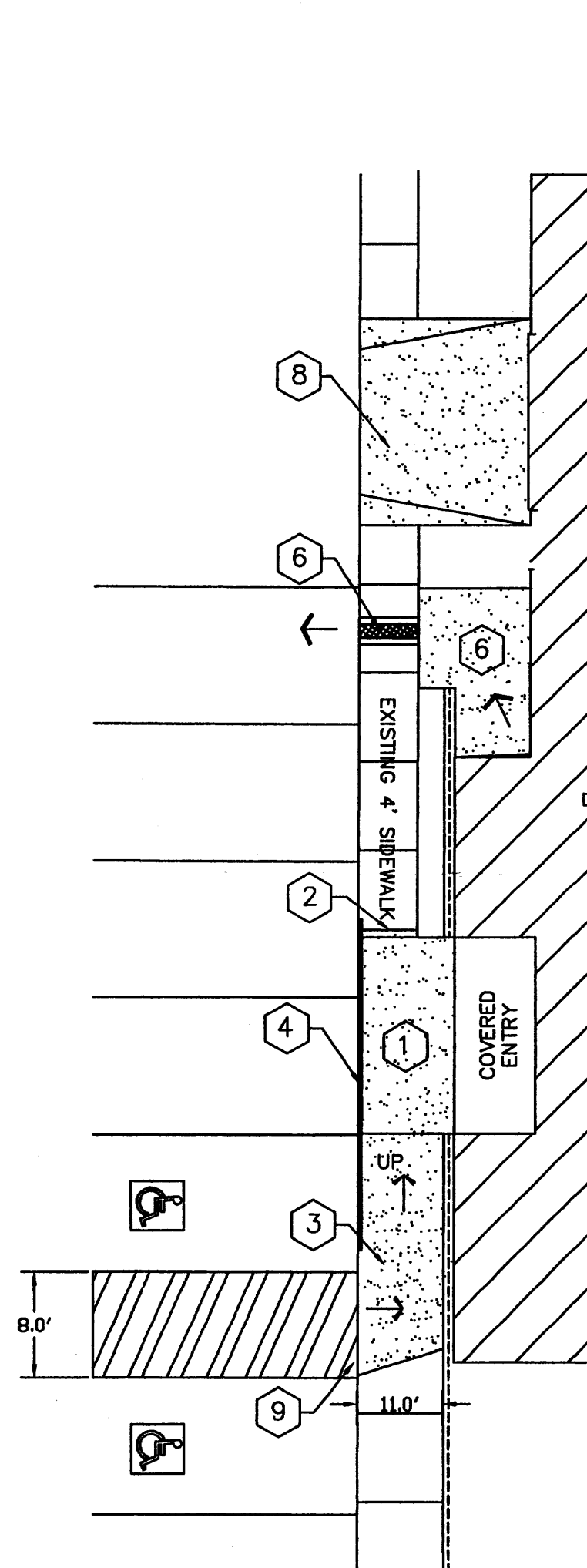
3 ACCESSIBLE PARKING SIGN
NTS



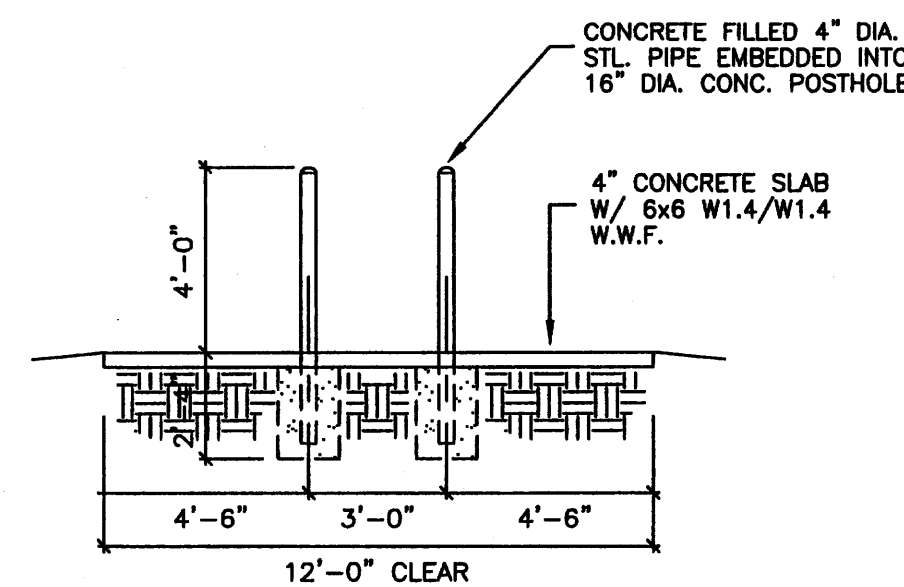
4 TYPICAL SINGLE LOADED PARKING SPACE
NTS



2 TYPICAL STANDARD ACCESSIBLE PARKING SPACES
NTS

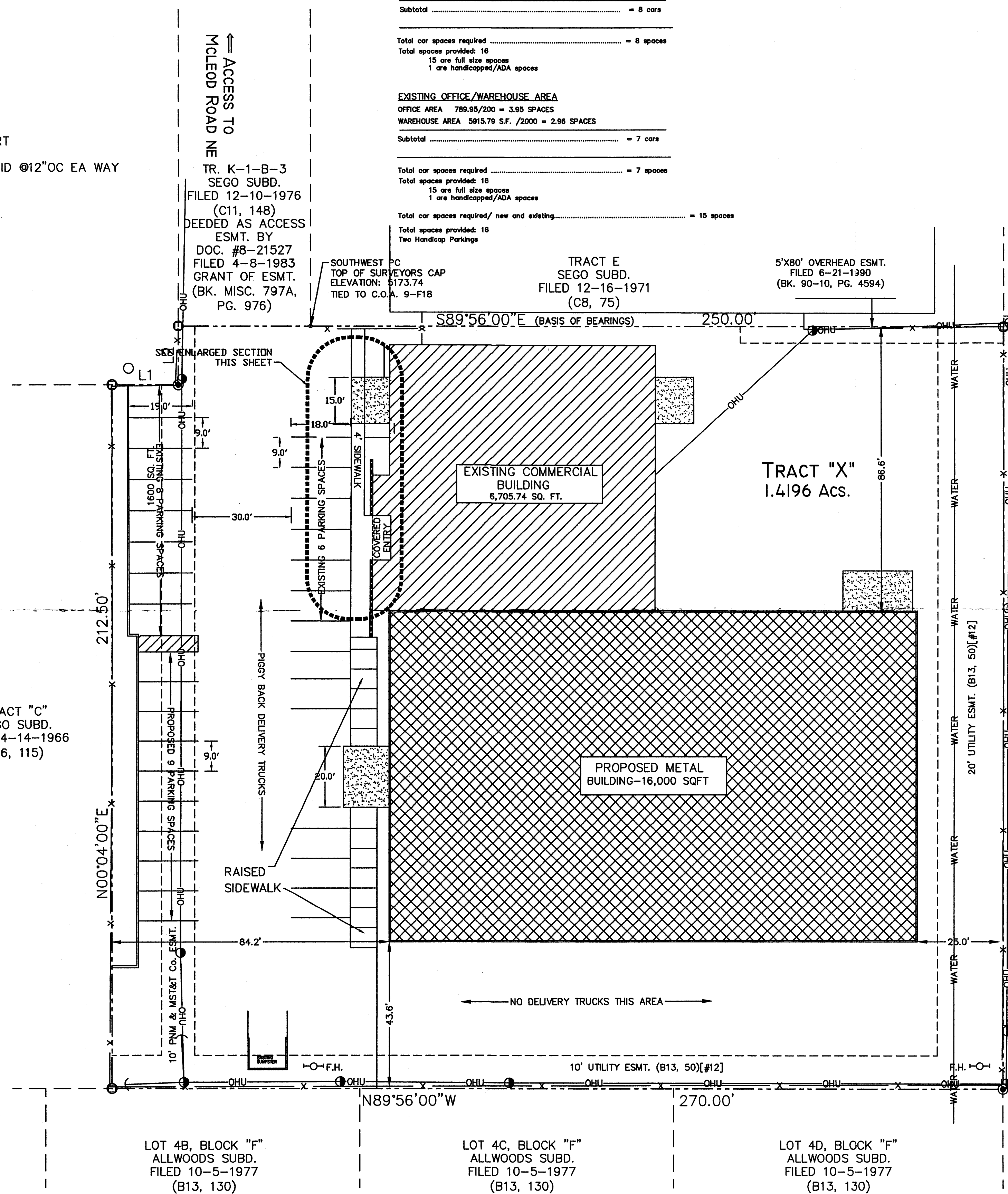


6 ENLARGE SECTION
NTS



1 TYPICAL SLAB @ DUMPSTER
NTS

TRACT "C"
SEGO SUBD.
FILED 4-14-1966
(C6, 115)



LEGAL DESCRIPTION

TRACT "X"
SEGO SUBDIVISION
ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO.

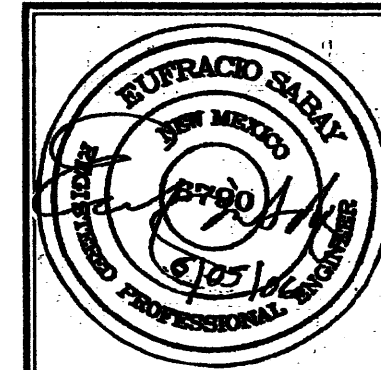
TRAFFIC CIRCULATION LAYOUT
APPROVED
6/6/06 45
Signed Date

LOT 4, BLOCK G, CASHWAY
BUILDING MATERIALS, INC.
FILED 12-17-1997 (97C, 354)

0 5' 10' 20' 40'

TRAFFIC CIRCULATION LAYOUT

Scale 1"=20'-0"



JOB NO:	XXXXXX
DATE:	FEBRUARY 2006
REVISIONS	
	6/05/2006

Sheet Title
TRAFFIC CIRCULATION LAYOUT

Drawn By: HTH & BJM Checked By: ES

PROPOSED STORAGE BUILDING FOR
BILL RAMOS
4608 McLEOD DR. N.E.
ALBUQUERQUE, NEW MEXICO

PROPOSED STORAGE BUILDING FOR
BILL RAMOS
4608 McLEOD DR. N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.
4
RECEIVED
DEC 0 8 2006
HYDROLOGY SECTION