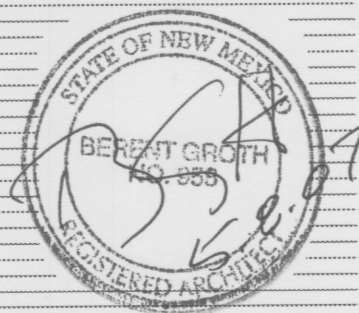
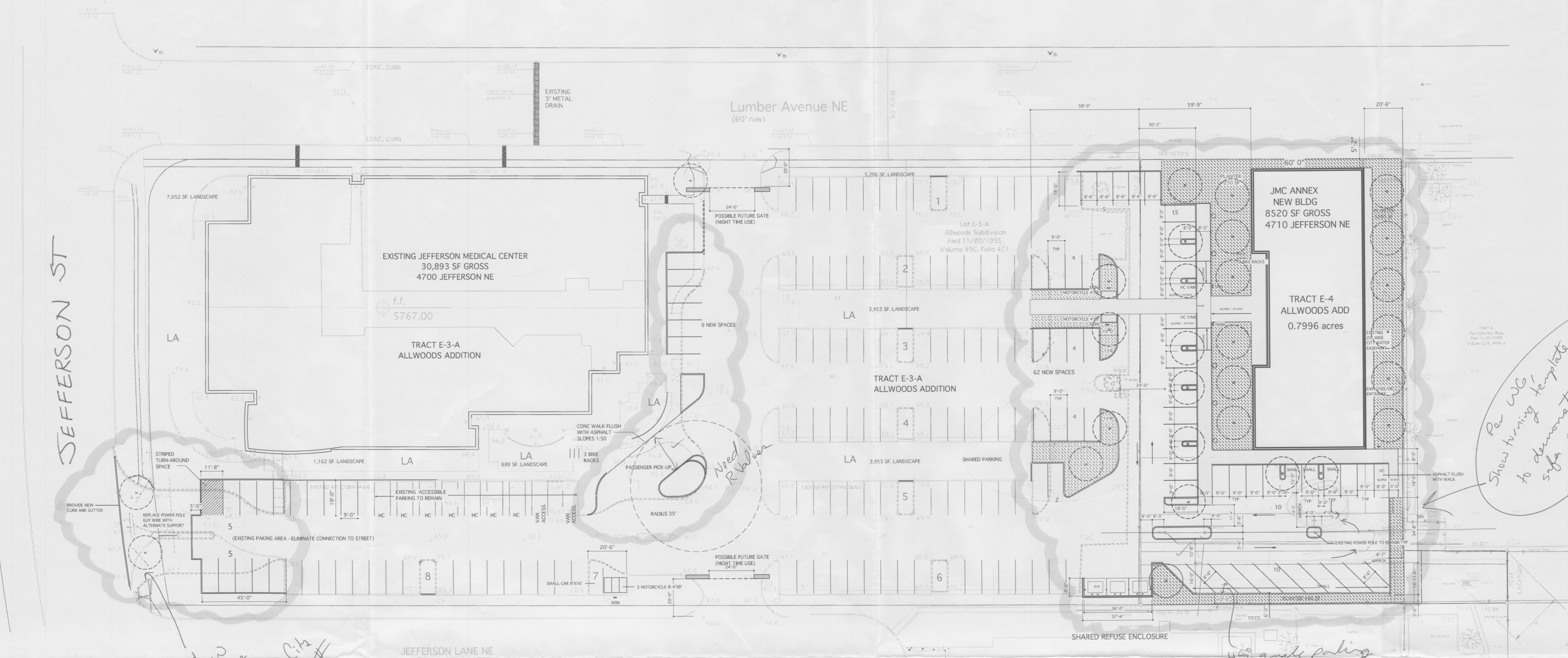




Per WC
Show turning template
to demonstrate
safe one way flow

demonstrate
circular through 1st
existing parking spaces

All compact spaces
must have 1' compact
printed on pavement



LANDSCAPE LEGEND

PEDESTRIAN WALK/ACCESSIBLE ROUTE (6' MIN.)

PARKING LOT LIGHTING-26' HIGH-

FESCUE TURF LAWN - MEDIUM TO HIGH WATER

PLANTER: BARK MULCH OR SANTA FE BROWN
GRAVEL WITH 1 GALLON SHRUBS AND
GROUND COVER VEGETATION AT 5' O.C.

TYPICAL SHRUBS (L-M)

CHAMISA
SILVERBERRY
CLIFFROSE
APACHE PLUME

TYPICAL GROUND COVERS (L-M)

SANTOLINA
CREEPING MAHONIA
COTONEASTER
BARBERY

ALL TREES 8' HIGH OR 2 1/2" CALIPER

L,M,H, = LOW, MEDIUM, HIGH WATER CONSUMPTION

LARGE DECIDUOUS TREES

A ASPEN (M) (10'-15')
TA TEXAS ASH (M) (40'-60')
CP CHINESE PISTACHE (M) (40'-60')
AL "AMBIGUOUS" LOCUST (M) (40'-60')

SMALL DECIDUOUS TREES

DW DESERT WILLOW (L) (20'-30')
F NEW MEXICO OLIVE (M) (20'-30')
WH WASHINGTON HAWTHORN (M) (20'-30')
RO RUSSIAN OLIVE (L) (15'-20')

EVERGREEN TREES

AUSTRIAN PINE (H) (20'-30')
PINON (M) (20'-30')

PROJECT/CODE DATA (IBC 2003)

PROJECT TYPE: BUILDING SHELL ONLY
PROJECT NAME: JMC ANNEX
ADDRESS: 4710 JEFFERSON STREET NE, ALBUQUERQUE
LEGAL: TRACT E-4, ALLWOODS SUBDIVISION
ZONE: M-1 (F-17-Z)

BUILDING ALLOWABLE FLOOR AREA: 23,000 SF (TABLE 503)
TYPE OF CONST: II-B, SPRINKLERED
HEIGHT: 20 FEET, ONE STORY
FLOOR AREA: 8,520 SF
OCCUPANCY: B
LOAD @ 100 GROSS: 86 (1004.1.2)
EXITS REQUIRED: 2, PROVIDED: 2
MAXIMUM EXIT ACCESS TRAVEL : 100 LF
MAXIMUM ALLOWED : 300 LF

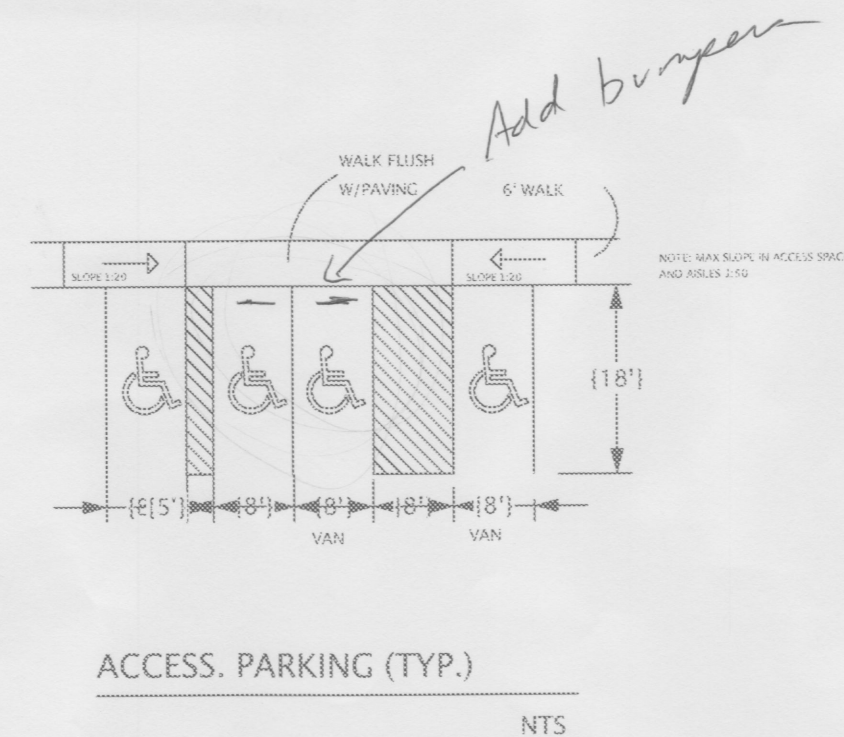
LANDSCAPING, TRACT E-4

TRACT AREA = 0.7996 ACRES, 34,831 SF
BUILDING = 8,520 SF
15% NET SITE AREA = 3,946 SF
LANDSC. AREA PROVIDED= 7,900 SF

-TREES SHALL BE 2" CALIPER OR 10' TALL, SHRUBS 1 GALLON STOCK
-THIS LANDSCAPE PLAN SHALL FOLLOW THE PLANTING RESTRICTIONS APPROACH, USING ONLY
LOW AND MEDIUM WATER USE PLANTS ON AT LEAST 80% OF THE LANDSCAPE AREA.
-LANDSCAPING SHALL COMPLY WITH CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCES
AND SHALL BE OWNER MAINTAINED.
-IRRIGATION SYSTEM SHALL BE WATER CONSERVING AUTOMATIC DRIP IRRIGATION, OWNER MAINTAINED

JMC ANNEX BUILDING
SITE PLAN

5.07.07



ON-SITE VEHICLE PARKING

EXISTING AUTO PARKING TO REMAIN = 121 SPACES
NEW PARKING ADDED (SEE BELOW) = 76 SPACES
TOTAL AUTO PARKING PROVIDED = 197 SPACES

NEW PKG @ JMC WEST LOT = 10 SP
NEW @ JMC EAST CURB = 6 SP
NEW @ ANNEX = 53 SP
NEW ISLAND SPACES = 8 SP
TOTAL NEW AUTO PARKING= 80 SPACES

GROSS BUILDING AREA= 39,400 SF
NET LEASABLE BLDG AREA, SINGLE TENANTS= 38,535 SF

TOTAL REQUIRED AUTO PARKING, MEDICAL USE
30 DOCTORS @ 5 SPACES/DOCTOR = 150 PARKING SPACES
TOTAL REQUIRED AUTO PARKING, OFFICE USE
39,400 SF @ 1 SPACE/200SF= 197 SPACES

TOTAL PROVIDED AUTO PARKING ON SITE= 198 SPACES
INCLUDING 8 ACCESSIBLE SPACES PLUS 4 VAN ACCESSIBLE

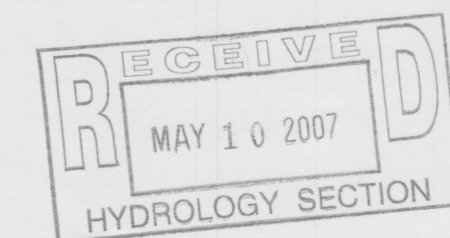
BICYCLE PARKING REQUIRED, PROVIDED= 5 SPACES
MOTORCYCLE PARKING REQUIRED, PROVIDED= 5 SPACES

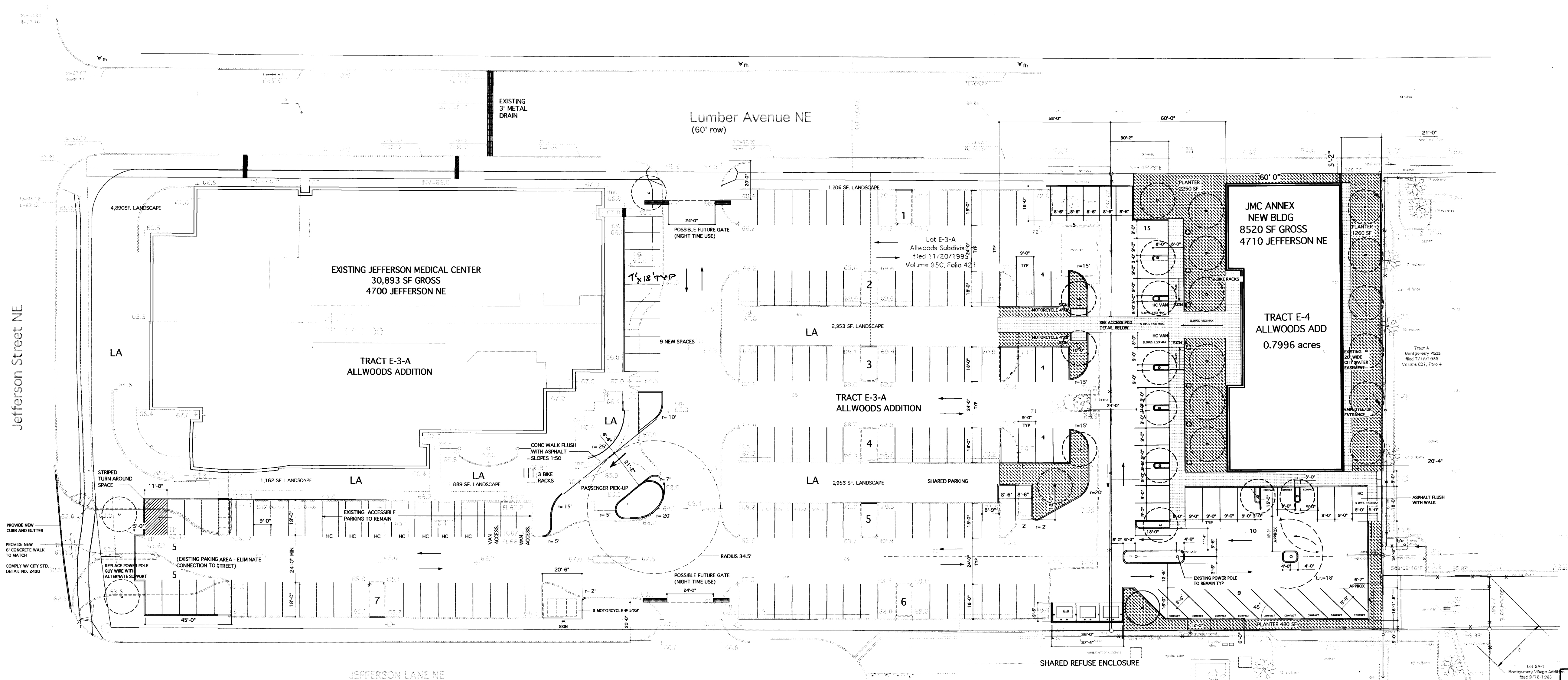
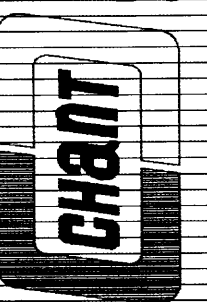
LANDSCAPING, TRACTS E-3-A (EXISTING)

TRACT AREA = 2.86 ACRES, 124,400 SF
BUILDING GROSS AREA = 30,893 SF
15% NET SITE AREA = 14,026 SF
LANDSC. AREA PROVIDED= 22,800 SF

-TREES SHALL BE 2" CALIPER OR 10' TALL, SHRUBS 1 GALLON STOCK
-THIS LANDSCAPE PLAN SHALL FOLLOW THE PLANTING RESTRICTIONS APPROACH, USING ONLY
LOW AND MEDIUM WATER USE PLANTS ON AT LEAST 80% OF THE LANDSCAPE AREA.
-LANDSCAPING SHALL COMPLY WITH CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCES
AND SHALL BE OWNER MAINTAINED.
-IRRIGATION SYSTEM SHALL BE WATER CONSERVING AUTOMATIC DRIP IRRIGATION, OWNER MAINTAINED

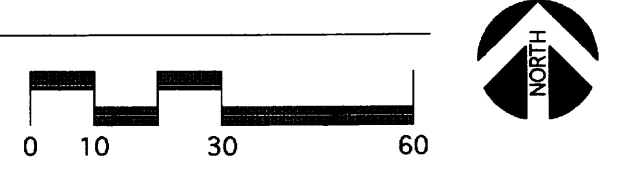
5/17/07
Design Discussion
w/ WG, KDM, BL
KAZ





JMC ANNEX BUILDING
SITE PLAN

5.17.07



TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 5/18/07

LANDSCAPE LEGEND

- PEDESTRIAN WALK/ACCESSIBLE ROUTE (6" MIN.)
- PARKING LOT LIGHTING-26" HIGH-
- FESCUE TURF LAWN - MEDIUM TO HIGH WATER
- GROUND COVER: BARK MULCH OR SANTA FE BROWN GRAVEL
PLANTER AREAS: 1 GALLON SHRUBS AND
GROUND COVER VEGETATION AT 5' O.C.
- TYPICAL SHRUBS (L-M)
CHAMISA
SILVERBERRY
CLIFFROSE
APACHE PLUME
- TYPICAL GROUND COVERS (L-M)
SANTOLINA
CREEPING MAHONIA
COTONEASTER
BARBERY
- EVERGREEN TREES
AUSTRIAN PINE (H) (20'-30')
PINON (M) (20'-30')
- L, M, H, = LOW, MEDIUM, HIGH WATER CONSUMPTION
- LARGE DECIDUOUS TREES
A ASPEN (M) (10'-15')
TA TEXAS ASH (M) (40'-60')
CP CHINESE PISTACHE (M) (40'-60')
AL "AMBIGUJA" LOCUST (M) (40'-60')
- SMALL DECIDUOUS TREES
DW DESERT WILLOW (L) (20'-30')
F NEW MEXICO OLIVE (M) (20'-30')
WH WASHINGTON HAWTHORN (M) (20'-30')
RO RUSSIAN OLIVE (L) (15'-20')

LANDSCAPING, TRACTS E-3-A. (EXISTING)

TRACT AREA = 2.86 ACRES, 124,400 SF
BUILDING GROSS AREA = 30,893 SF
15% NET SITE AREA = 14,026 SF
LANDSC. AREA PROVIDED= 14,050 SF

-TREES SHALL BE 2" CALIPER OR 10' TALL, SHRUBS 1 GALLON STOCK
-THIS LANDSCAPE PLAN SHALL FOLLOW THE PLANTING RESTRICTIONS APPROACH, USING ONLY LOW AND MEDIUM WATER USE PLANTS ON AT LEAST 80% OF THE LANDSCAPE AREA.
-LANDSCAPING SHALL COMPLY WITH CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCES AND SHALL BE OWNER MAINTAINED.
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PROJECT/CODE DATA (IBC 2003)

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FLOOR AREA: 8,520 SF
OCCUPANCY: B
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MAXIMUM ALLOWED : 300 LF

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BUILDING = 8,520 SF
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-TREES SHALL BE 2" CALIPER OR 10' TALL, SHRUBS 1 GALLON STOCK
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-LANDSCAPING SHALL COMPLY WITH CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCES AND SHALL BE OWNER MAINTAINED.
-IRRIGATION SYSTEM SHALL BE WATER CONSERVING AUTOMATIC DRIP IRRIGATION, OWNER MAINTAINED

ON-SITE VEHICLE PARKING

EXISTING AUTO PARKING TO REMAIN = 121 SPACES
NEW PARKING ADDED (SEE BELOW) = 79 SPACES
TOTAL AUTO PARKING PROVIDED = 200 SPACES
INCLUDING 12 COMPACT SPACES

NEW PKG @ JMC WEST LOT = 10 SP
NEW @ JMC EAST CURB = 9 SP
NEW @ ANNEX = 53 SP
NEW ISLAND SPACES = 7 SP
TOTAL NEW AUTO PARKING= 79 SPACES

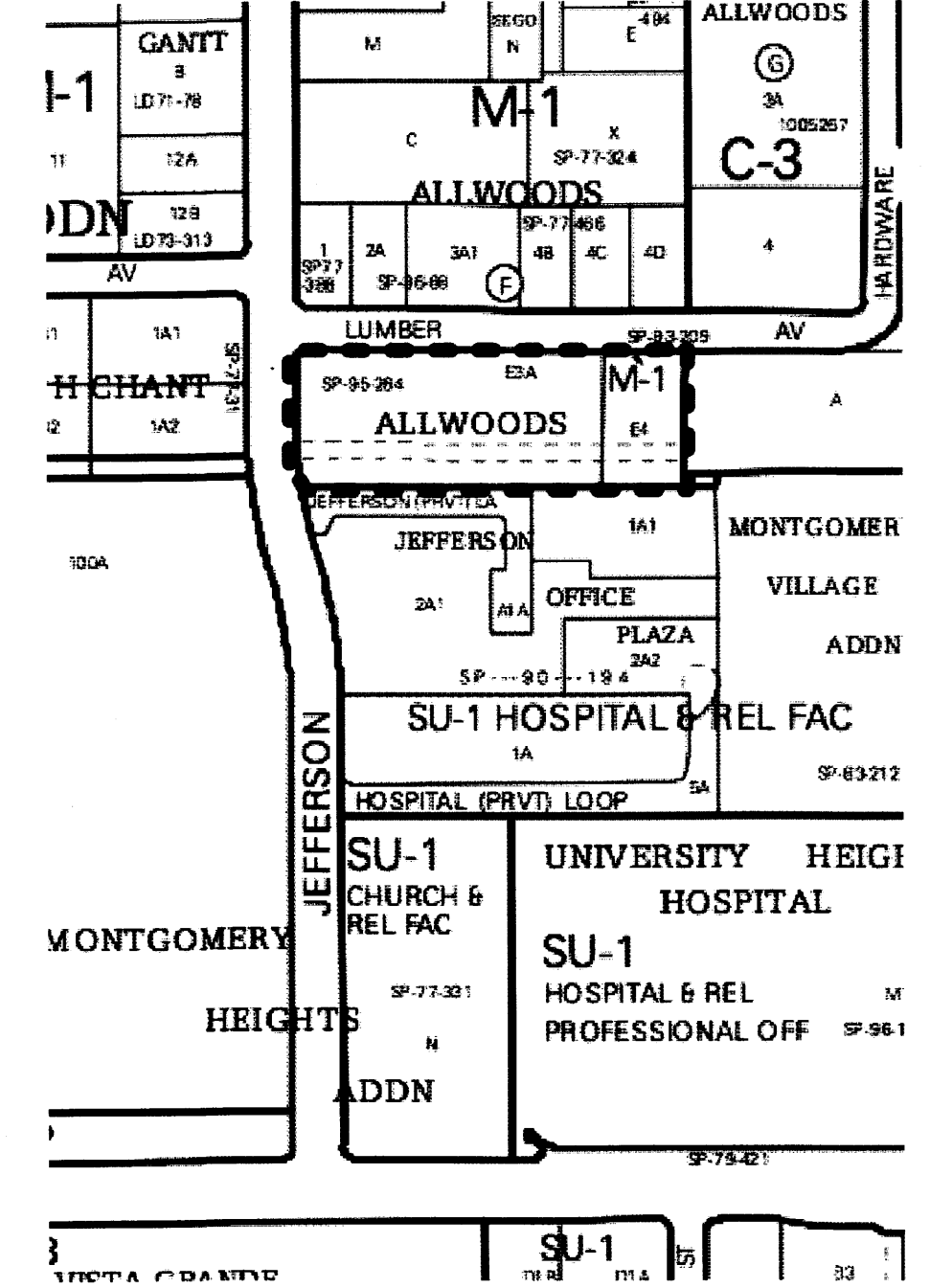
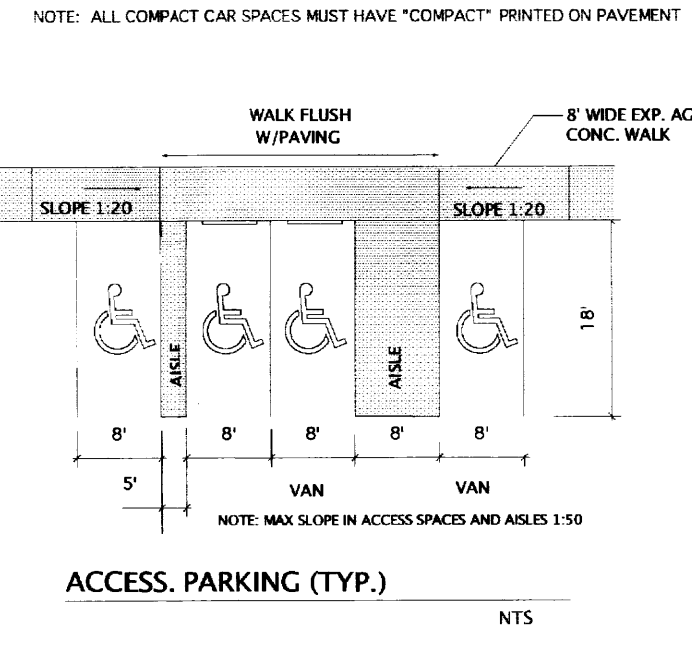
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NET LEASABLE BLDG AREA, SINGLE TENANTS= 38,535 SF

TOTAL REQUIRED AUTO PARKING, MEDICAL USE
30 DOCTORS @ 5 SPACES/DOCTOR = 150 PARKING SPACES

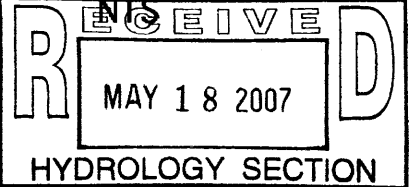
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INCLUDING 8 ACCESSIBLE SPACES PLUS 4 VAN ACCESSIBLE

BICYCLE PARKING REQUIRED, PROVIDED= 5 SPACES
MOTORCYCLE PARKING REQUIRED, PROVIDED= 5 SPACES



VICINITY MAP F-17-Z



Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.