

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

October 21, 1997

Kim Kemper
Kemper-Vaughan Consulting Engineers
3700 Coors Rd. NW
Albuquerque, New Mexico 87120

RE: REVISED CONCEPTUAL DRAINAGE PLAN FOR BLOCK G ALLWOODS
SUBDIVISION (F17-D70) REVISION DATED 9/30/97

Dear Mr. Kemper:

Based on the information provided on your September 30, 1997 resubmittal, the above referenced site is approved for Site Development Plan for Building Permit.

Please be advised that site specific drainage plans will be required for each lot prior to Building Permit release. The approved master site plan will need to be followed for the development of the site specific.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

A rectangular stamp with the word 'File' in a bold, sans-serif font.

Sincerely

A handwritten signature in cursive script that reads 'Bernie J. Montoya'.

Bernie J. Montoya CE
Associate Engineer

Good for You Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



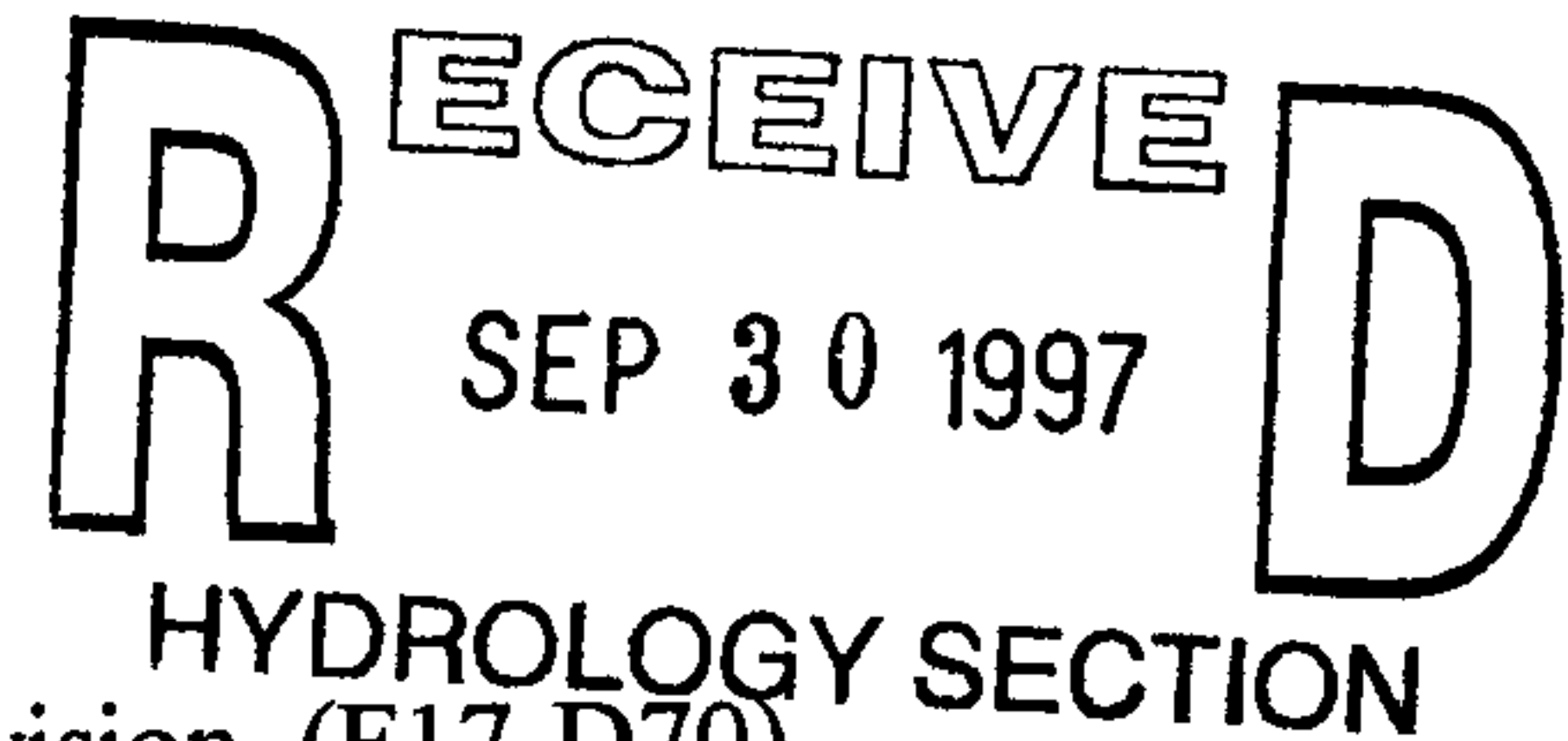
K**KEMPER-VAUGHAN
CONSULTING ENGINEERS**

3700 Coors Road N.W.
Albuquerque, N.M. 87120
(505) 831-4520

V

September 30, 1997

Mr. Bernie J. Montoya CE
Associate Engineer
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103



RE: Conceptual Drainage Plan for Block G Allwoods Subdivision (F17-D70)

Dear Bernie:

This letter is in response to comments regarding the subject plan identified in your letter dated September 17, 1997. For ease of review they are presented in like order.

1. Down Stream Capacities:

As you know, there are a number of drainage plans on file at the City that affect or otherwise have some impact on the capacities down stream of this site, both on McLeod Road and Lumber Avenue. First, to address McLeod Road. There are drainage concerns that exist downstream on McLeod where it intersects the Frontage road. As such, it is our opinion that it would be prudent to restrict the discharge from this site to a level not to adversely impact those conditions. Therefore, the plan has been modified to require that the development of this site limit discharge to those calculated as existing. The balance of the runoff created at the time of development would then be directed to the facilities that exist on Lumber Ave.

With regard to the capacities in Lumber Ave., there several plans on file which specifically addressed this capacity. Because the drainage in the area is fairly complicated and some of the plans on file have been constructed and some have not, it was our attempt to evaluate these earlier plans and present a summary consistent with those plans approved earlier. The three (3) plans that we will reference in this response are: (1) The original report encompassing approximately 47.33 acres, dated September 28, 1976; (2) a plan prepared in 1985 (F17/D2C) for "Flinchum Warehouse" which, was completed for the subject parcel(not constructed); and (3) a plan prepared for the "Black-Eyed Pea Restaurant"(F17/D2E) by Chavez-Grieves completed in 1993.

The 1993 plan prepared by Chavez-Grieves also consolidated previous plans to summarize the drainage impacts on Lumber Ave. Enclosed are excerpts from that file which are pertinent the question of area capacities. From this information the following data is presented. The flows contributing to Lumber/Hardware intersection are 71.0 cfs (these are Areas B & F as shown on the enclosed figure). Moving further downstream, it is necessary to include an added 14.5 cfs for Area C (this assumes that approx. 1/2 of this site will drain to the drainage structure in the rear when this parcel fully develops). This now totals 85.5 cfs. The plan further identifies that the cattleguard-type inlet on lumber has a capacity in excess of 124 cfs (124 cfs being the original design criteria for the inlet).

Bernie Montoya
Tract G Drainage
9/30/97
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Next, the 1985 plan prepared for the subject parcel was also required to determine the capacity of the cattleguard-type inlet at Lumber Ave. This plan calculated the total contributing flow to the inlet as 81.4 cfs and determined that the capacity of the inlet was 214 cfs (based on Neenah data).

For purposes of the subject plan we must added the flow from the site to the total flow of 85.5 cfs (more conservative previously calculated flow). Including the excess developed flow from the most northerly lot the total discharge from this site would be 22.0 cfs ($20.3 + 1.7$). This would result in an anticipated flow rate at the western property line of Tract G (subject parcel) of 107.5 cfs. Further, based on field data obtained last month, a cross section of Lumber Ave. at this location has a capacity of approximately 118 cfs contained within the curb. (see plan for location and calculations)

In summary, the discharge flow rate to McLeod will be limited to that calculated as existing. The flows to Lumber Ave. of approximately 107.1 cfs can be contained within the existing road section and can be accepted by the existing inlet.

2. Retaining walls:

There are no retaining walls required to achieve the conceptual grading scheme as shown.

3. Drainage Easement:

The drainage easement proposed across the rear of the property is to allow for the "lot-to-lot" drainage as proposed. The only viable option to drain the interior parcels is through the rear of the adjacent parcels. Future development of the individual parcels shall be required to accept and convey the adjacent flows as shown on the plan.

4. Mass Grading:

No grading is proposed at this time. Substantial fill will be required to achieve the grading scheme shown which shall be accomplished at the time the site develops.

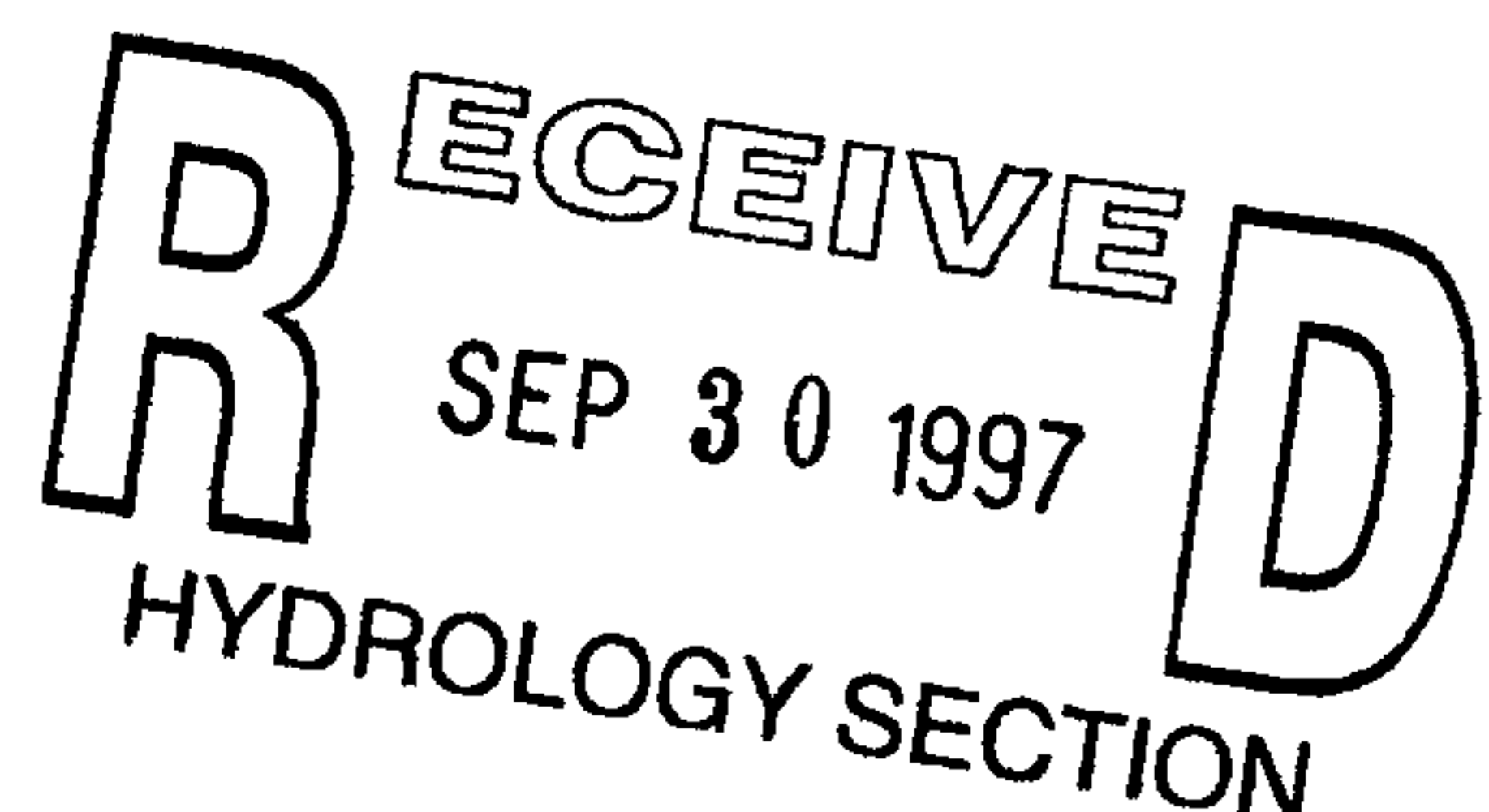
I trust this information adequately addresses your comments. Please contact me if you have any further questions or concerns.

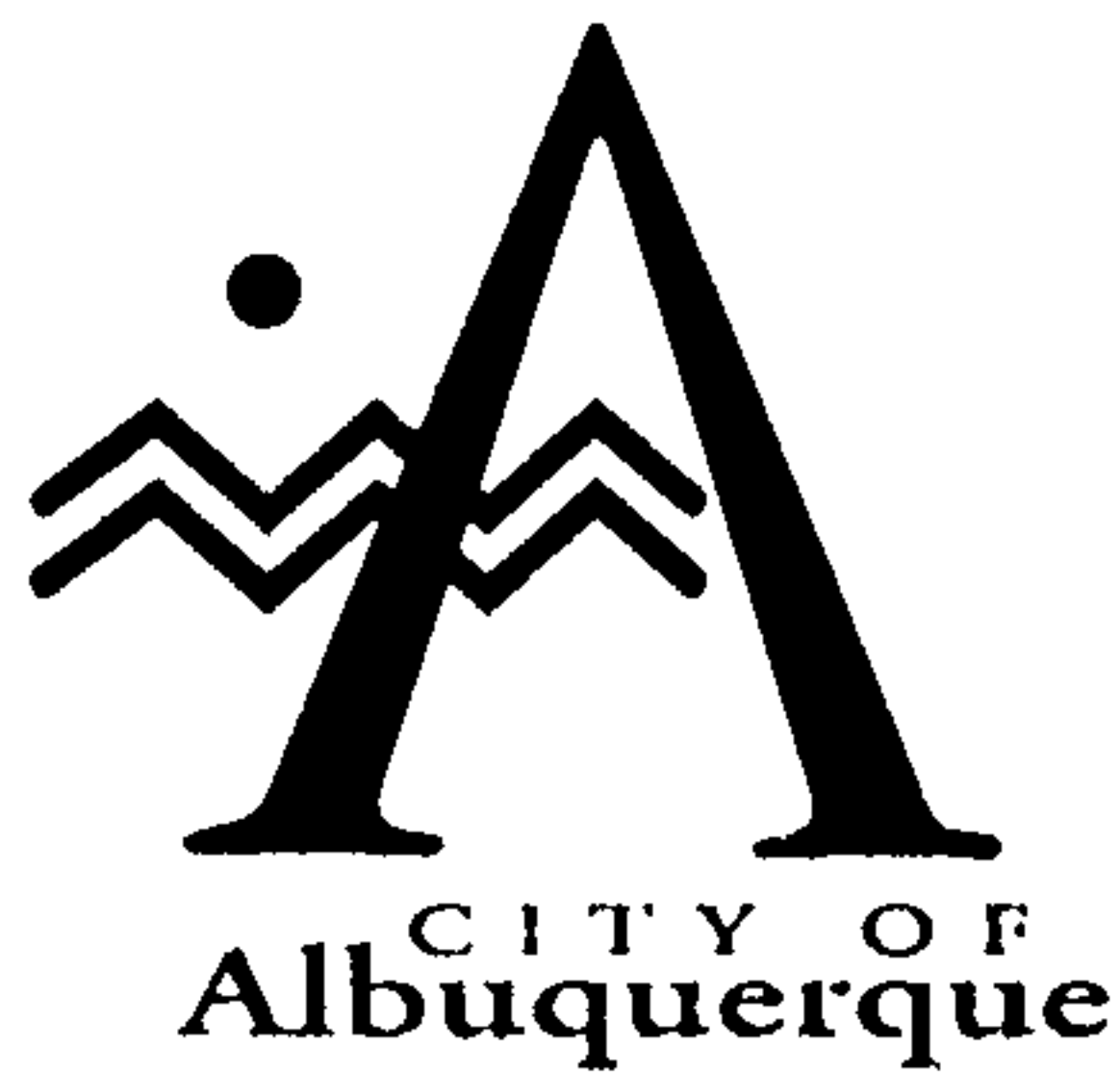
Sincerely,

KEMPER-VAUGHAN CONSULTING ENGINEERS



Kim R. Kemper, P.E.
Project Manager





Martin J. Chávez, Mayor

September 17, 1997

Kim Kemper
Kemper-Vaughan Consulting Engineers
3700 Coors Rd. NW
Albuquerque, New Mexico 87120

RE: CONCEPTUAL DRAINAGE PLAN FOR BLOCK G ALL WOODS SUBDIVISION
(F17-D70) ENGINEER'S STAMP DATED 8/25/97

Dear Mr. Kemper:

Based on the information provided on your August 27, 1997 submittal, listed are some concerns that will need to be addressed prior to final approval:

1. Verification of adequacy of downstream systems.
2. Are there any retaining wall requirements on the west & north sides of the property?
3. What is the purpose of the proposed 10' foot drainage and utility easement?
4. If you are proposing mass grading, you will need to provide an erosion control plan. The total site will need to be protected by an erosion control berm.

If I can be of further assistance, please feel free to contact me 924-3986.

C: Andrew Garcia

☒ File

Sincerely

Bernie J. Mandy CE
Associate Engineer

