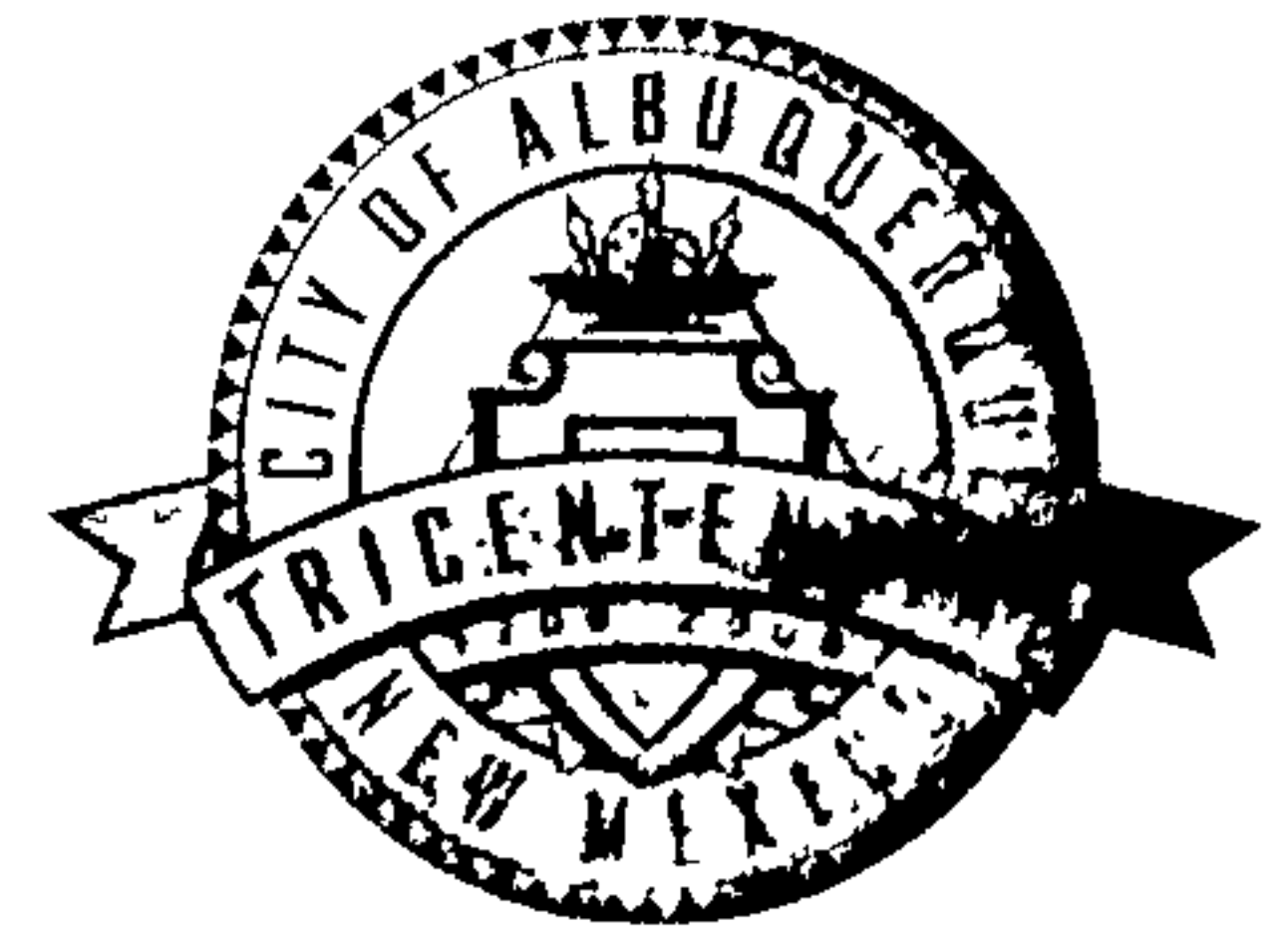


CITY OF ALBUQUERQUE



March 28, 2007

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave NW
Albuquerque, NM 87120

Re: Hardware Business Park, 4811 Hardware Dr. NE, Approval of Permanent Certificate of Occupancy (C.O.),
Engineer's Stamp dated 06/06/06 (F-17/D070B)
Certification dated 3/24/07

Based upon the information provided in your submittal received 3/28/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Timothy Sims
Plan Checker - Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

DRAINAGE INFORMATION SHEET

HARDWARE BUSINESS PARK

76-6-06

PROJECT TITLE: ~~SEGO LIMITED PARTNERSHIP BUILDING~~
DRB #: PC#: N/A

ZONE MAP/DRG. FILE # F17-D70B
WORK ORDER#:

LEGAL DESCRIPTION: LOT KIA AND LOT J OF THE SEGO SUBDIVISION
CITY ADDRESS: 4811 HARDWARE DRIVE N.E.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT
ADDRESS: 8624 CASA VERDE AVE. N.W.
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA
PHONE: 250-7719
ZIP CODE: 87120

OWNER: BRAD LITLE
ADDRESS:
CITY, STATE: Albuquerque, New Mexico

CONTACT: BRAD
PHONE: 883-9100
ZIP CODE:

ARCHITECT:
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

SURVEYOR: N/A
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

CONTRACTOR: N/A
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ PAVING PLAN
- ☐ TCL CERTIFICATION
- ☐ RESUBMITTAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ X CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) CERTIFICATION

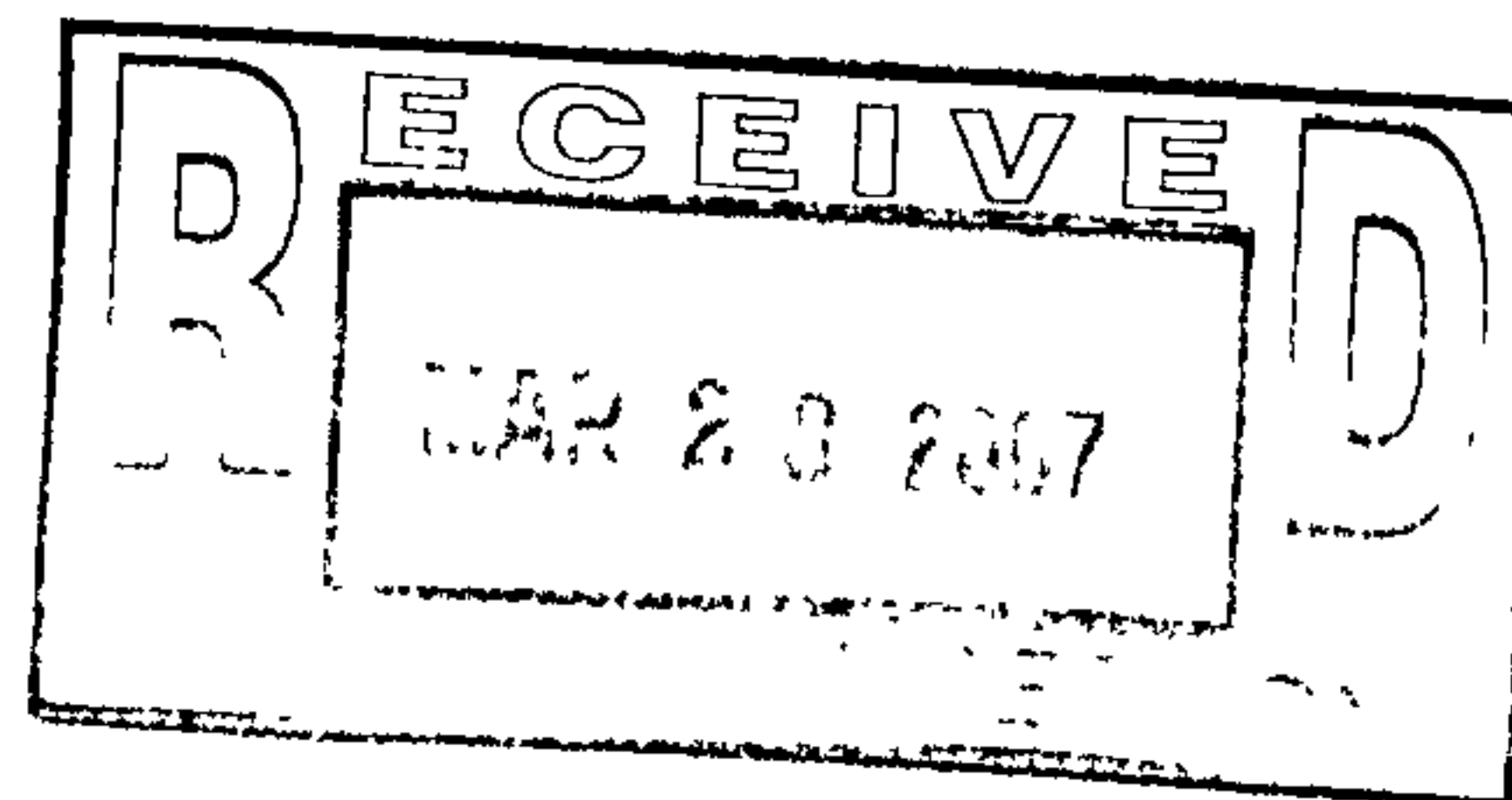
DATE SUBMITTED: 03-26-2007

BY:

Bernie J. Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



June 27, 2006

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave NW
Albuquerque, NM 87120

Re: Hardware Business Park, 4811 Hardware Dr. NE
Grading and Drainage Plan
Engineer's Stamp dated 6-06-06 (F17-D70B)

Dear Mr. Sabay,

P.O. Box 1293

Based upon the information provided in your submittal dated 6-08-06, the above referenced plan is approved for Preliminary Plat, Final Plat, Foundation Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

New Mexico 87103

If you have any questions, you can contact me at 924-3977.

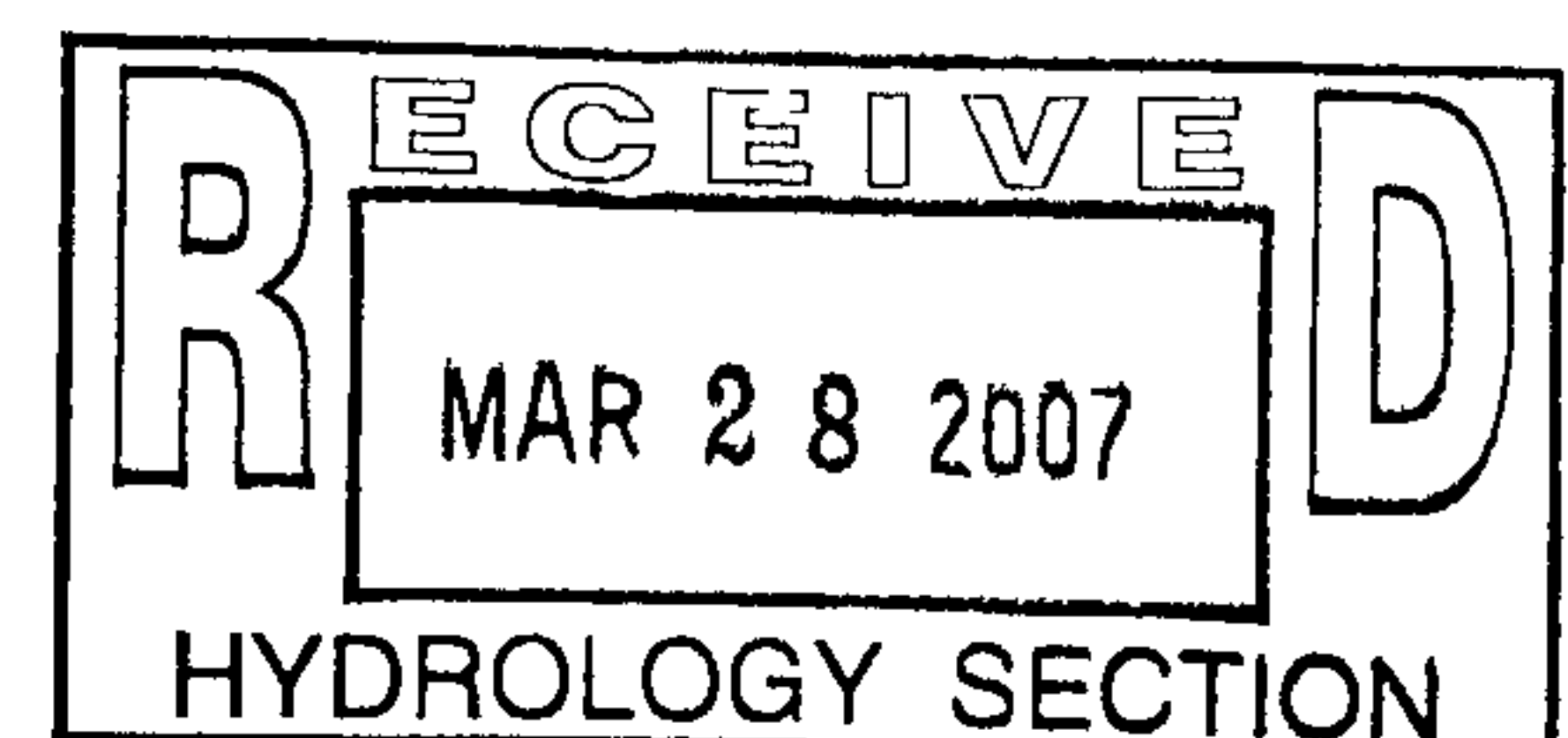
www.cabq.gov

Sincerely,

A handwritten signature in black ink, appearing to read "Rudy E. Rael".

Rudy E. Rael Associate Engineer
Planning Department.
Development and Building Services

C: File



CITY OF ALBUQUERQUE



June 27, 2006

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave NW
Albuquerque, NM 87120

Re: Hardware Business Park, 4811 Hardware Dr. NE
Grading and Drainage Plan
Engineer's Stamp dated 6-06-06 (F17-D70B)

Dear Mr. Sabay,

P.O. Box 1293

Based upon the information provided in your submittal dated 6-08-06, the above referenced plan is approved for Preliminary Plat, Final Plat, Foundation Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

New Mexico 87103

If you have any questions, you can contact me at 924-3977.

www.cabq.gov

Sincerely,

Rudy E. Rael Associate Engineer
Planning Department.
Development and Building Services

C: File

DRAINAGE INFORMATION SHEET

Hardware Business Park
PROJECT TITLE: ~~SEGO LIMITED PARTNERSHIP BUILDING~~
DRB #: PC#: N/A

ZONE MAP/DRG. FILE # F17-D70B
WORK ORDER#:

LEGAL DESCRIPTION: LOT KIA AND LOT J OF THE SEGO SUBDIVISION
CITY ADDRESS: 4811 HARDWARE DRIVE N.E.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT
ADDRESS: 8624 CASA VERDE AVE. N.W.
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA
PHONE: 250-7719
ZIP CODE: 87120

OWNER: BRAD LITLE
ADDRESS:
CITY, STATE: Albuquerque, New Mexico

CONTACT: BRAD
PHONE: 883-9100
ZIP CODE:

ARCHITECT:
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

SURVEYOR: N/A
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

CONTRACTOR: N/A
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ PAVING PLAN
☐ TCL CERTIFICATION
☒ RESUBMITTAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

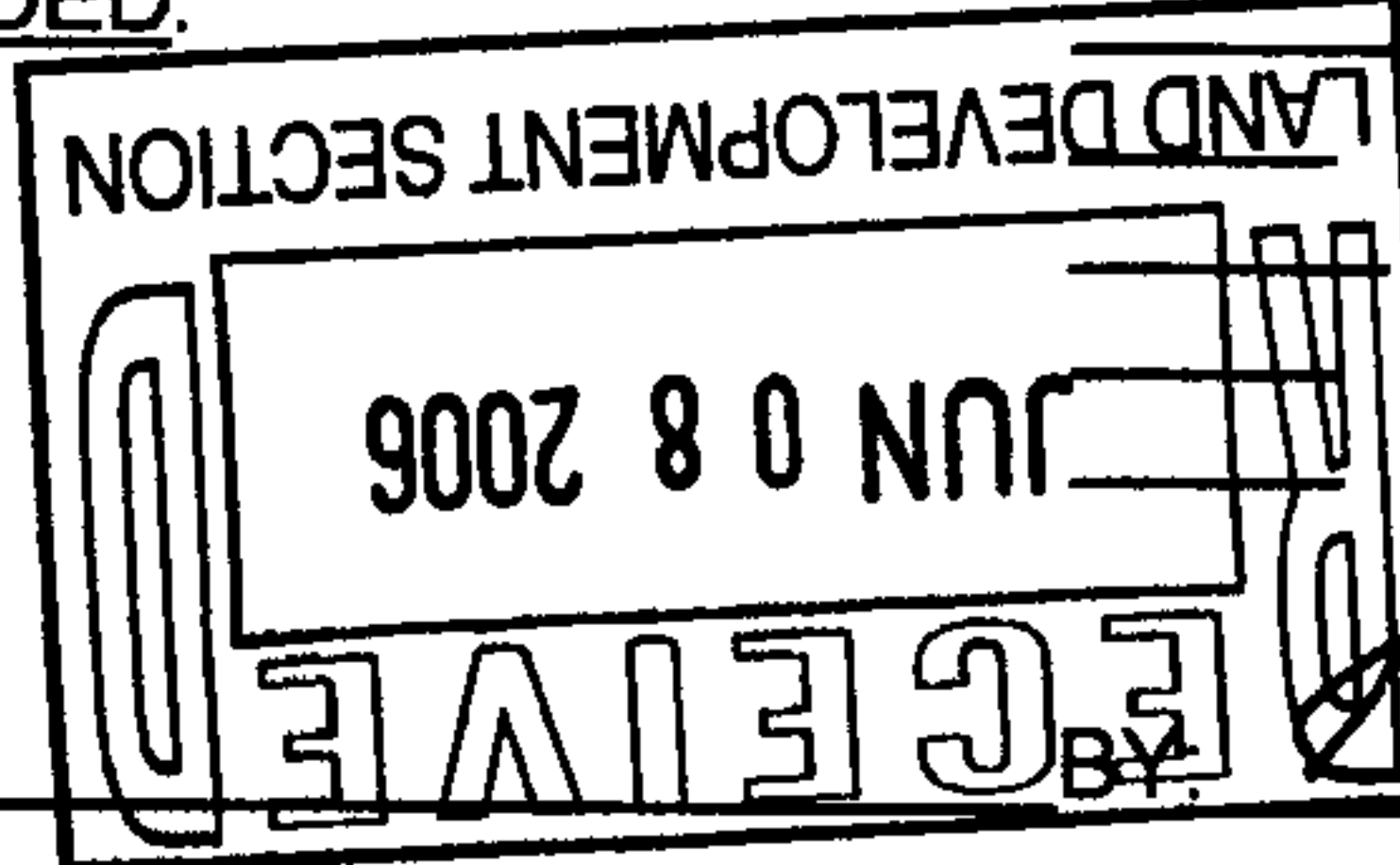
☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) CERTIFICATION

DATE SUBMITTED: 06/09/2006



Bernie J. Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

June 7, 2006

Kristal D. Metro, P.E.
Senior Engineer, Planning Department
Development and Building Services

**RE: HARDWARE BUSINESS PARK – PROPOSED BUILDINGS FOR SEGO
LIMITED PARTNERSHIP, 4811 HARDWARE DRIVE N.E. (F17-D70B)**

Dear Ms. Metro:

This letter is in response to your comments dated June 5, 2006:

1. Call out all proposed curb cuts. *All proposed curb cuts have been labeled on the plan drawing.*
2. You have included the proposed legal description on the plan. The existing legal description must also be included. *Existing legal has been included on the plan drawing.*
3. Per the as-built information provided for lot 1, the total off-site flows entering the Site is 3.25 cfs. Therefore, the total quantity of flow entering Lot 4 is 16.8 cfs. *The revised cfs amount is indicated on the plan drawing.*
4. Check the location of note 5. The way the note is positioned, it appears that there are two different gutters in this area. *The location arrows have been adjusted to indicate one gutter.*
5. City of Albuquerque Standard 2425 does not show a detail for a proposed curb cut. Please update your note to define the width of the proposed curb cut, and Remove the reference to water blocks. *New detail number has been added to the note and the widths are now shown, and the water block note has been deleted.*
6. Call out location of the existing drainage easement. Please show that the 10-foot drainage easement expands to a width of 18 feet at Lot 4. *Location of existing easements are now shown on the plan drawing.*

If I can be of further assistance, please feel free to call me at 250-7719

Sincerely



Bernie J. Montoya C.E.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 20, 2007

Lloyd W. Goldbick, Registered Architect
4808 Jefferson NE
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Hardware Business Park, [F-17 / D70B]
4811(A,B,C,D, & E) Hardware Dr. NE
Architect's Stamp Dated 03/17/07

P.O. Box 1293

Dear Mr. Goldbick:

Albuquerque

The TCL / Letter of Certification submitted on March 19, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: HARDWARE BUSINESS PARK ZONE ATLAS/DRNG. FILE #: F17 **070B**
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 2&3, TRACT G CASHWAY BUILDING MATERIALS ALLWOODS SUBDIVISION,
BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO
 CITY ADDRESS: 4811A, 4811B, 4811C, 4811D, 4811E HARDWARE DR. NE. 87109

ENGINEERING FIRM: BERNIE MONTOYA CONSULTING ENGINEERS CONTACT: BERNIE MONTOYA
 ADDRESS: _____ PHONE: (505) 250.7719
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87

OWNER: WILLIAM A. SEGO CONTACT: JEFF FOSS
 ADDRESS: 4808 JEFFERSON RD NE PHONE: 883.9100
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

ARCHITECT: LLOYD W. GOLDRICK CONTACT: LLOYD W. GOLDRICK
 ADDRESS: 4808 JEFFERSON NE PHONE: 883-9100
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

SURVEYOR: REX VOGLER CONTACT: REX VOGLER
 ADDRESS: _____ PHONE: (505) 767.8891
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87

CONTRACTOR: DURA BILT PRODUCTS INC. CONTACT: JEFF FOSS
 ADDRESS: 4808 JEFFERSON NE PHONE: 883-9100
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

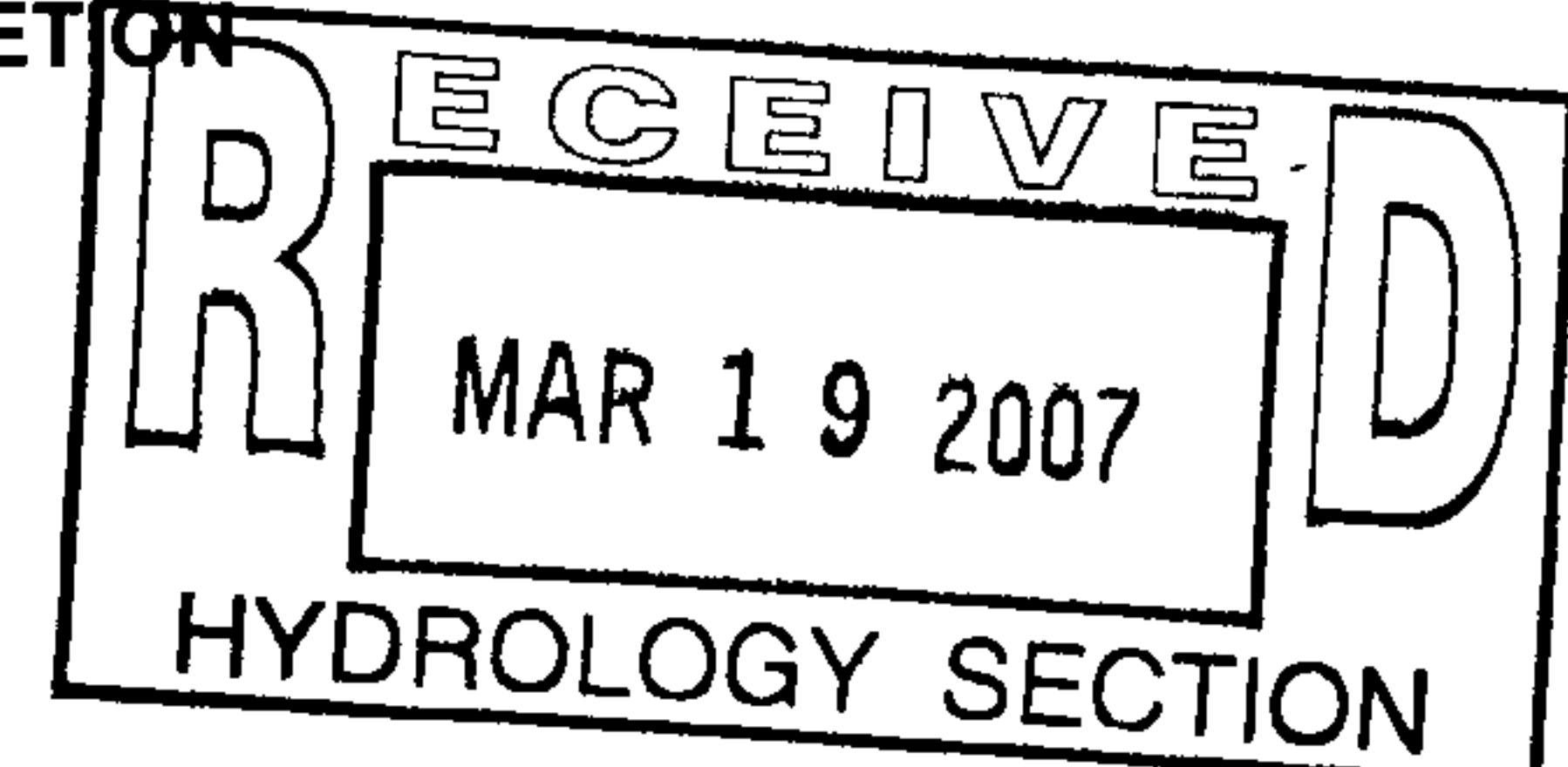
PLEASE NOTE: BUILDING AND SITE IS EXISTING.

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) **CERTIFICATE OF COMPLETION**



DATE SUBMITTED: March 19, 2007 BY: LLOYD W. GOLDRICK

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Dura Bilt Products, Inc.

4808 Jefferson NE
Albuquerque, NM 87109
Phone: (505) 883-9100
Fax: (505) 883-9198
www.durabiltproducts.com

Wilfred A. Gallegos, PE
Development and Building Services
PO Box 1293
Albuquerque, New Mexico 87103

RE: TCL Certification for 4811 Hardware

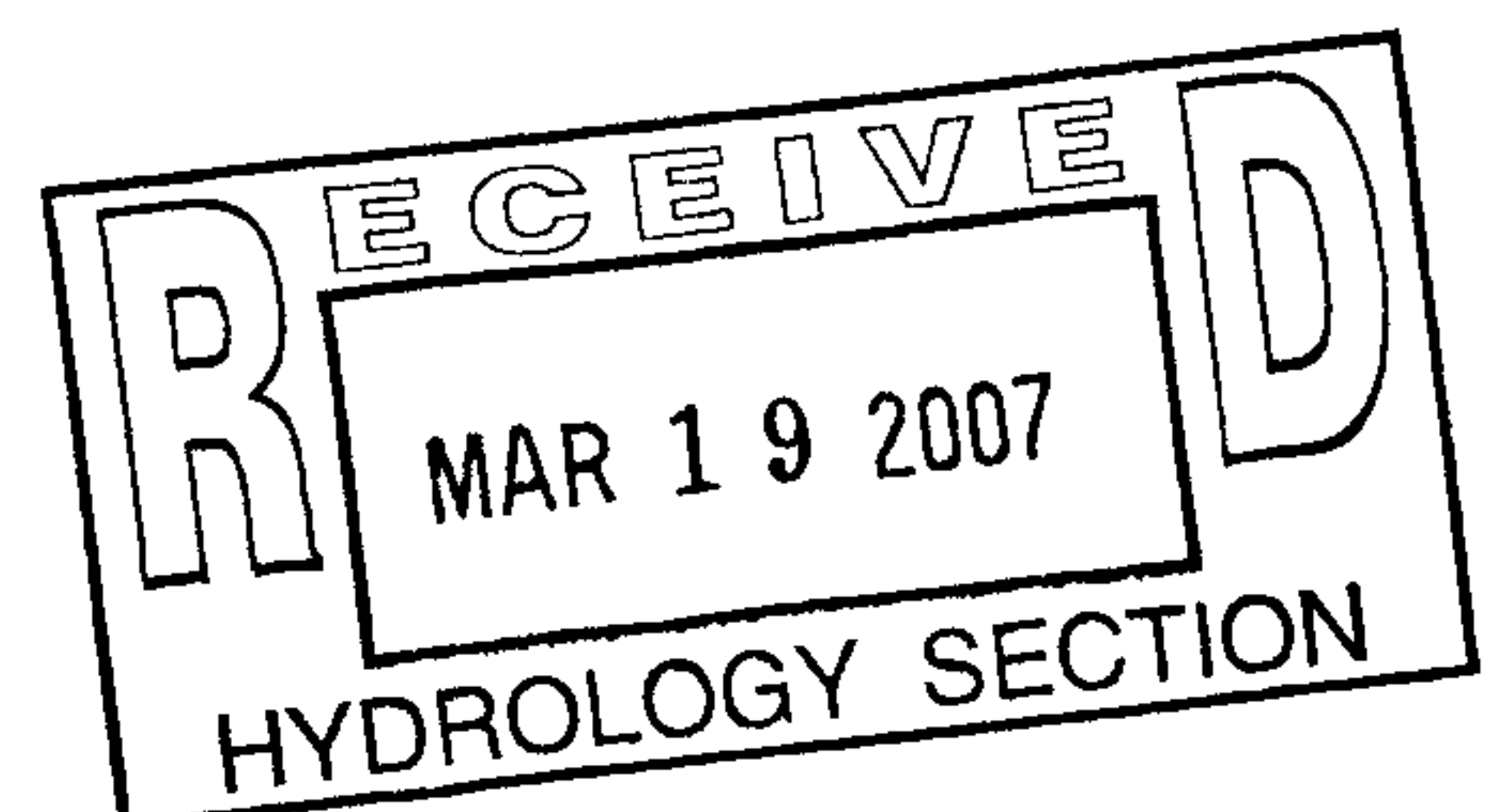
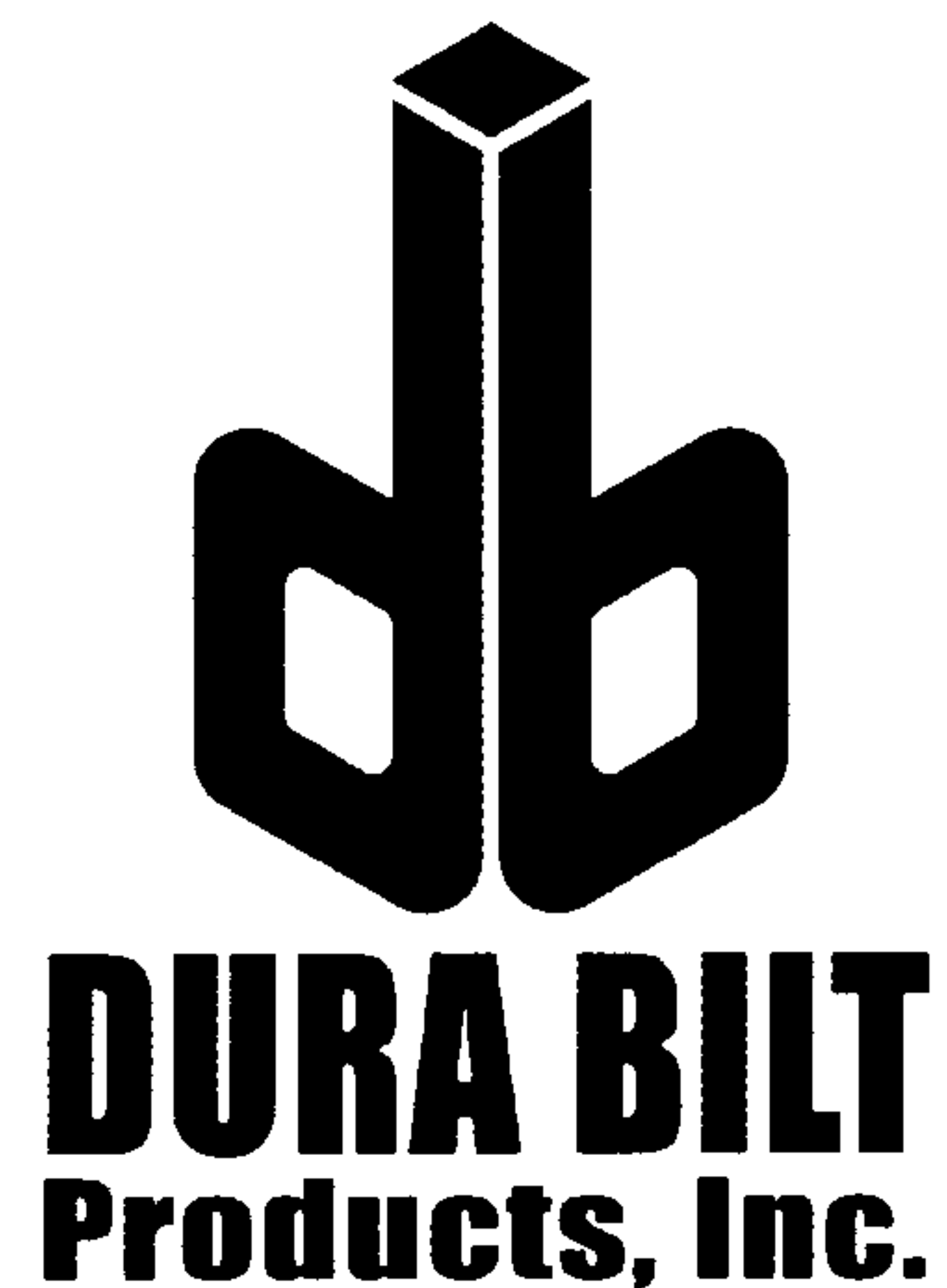
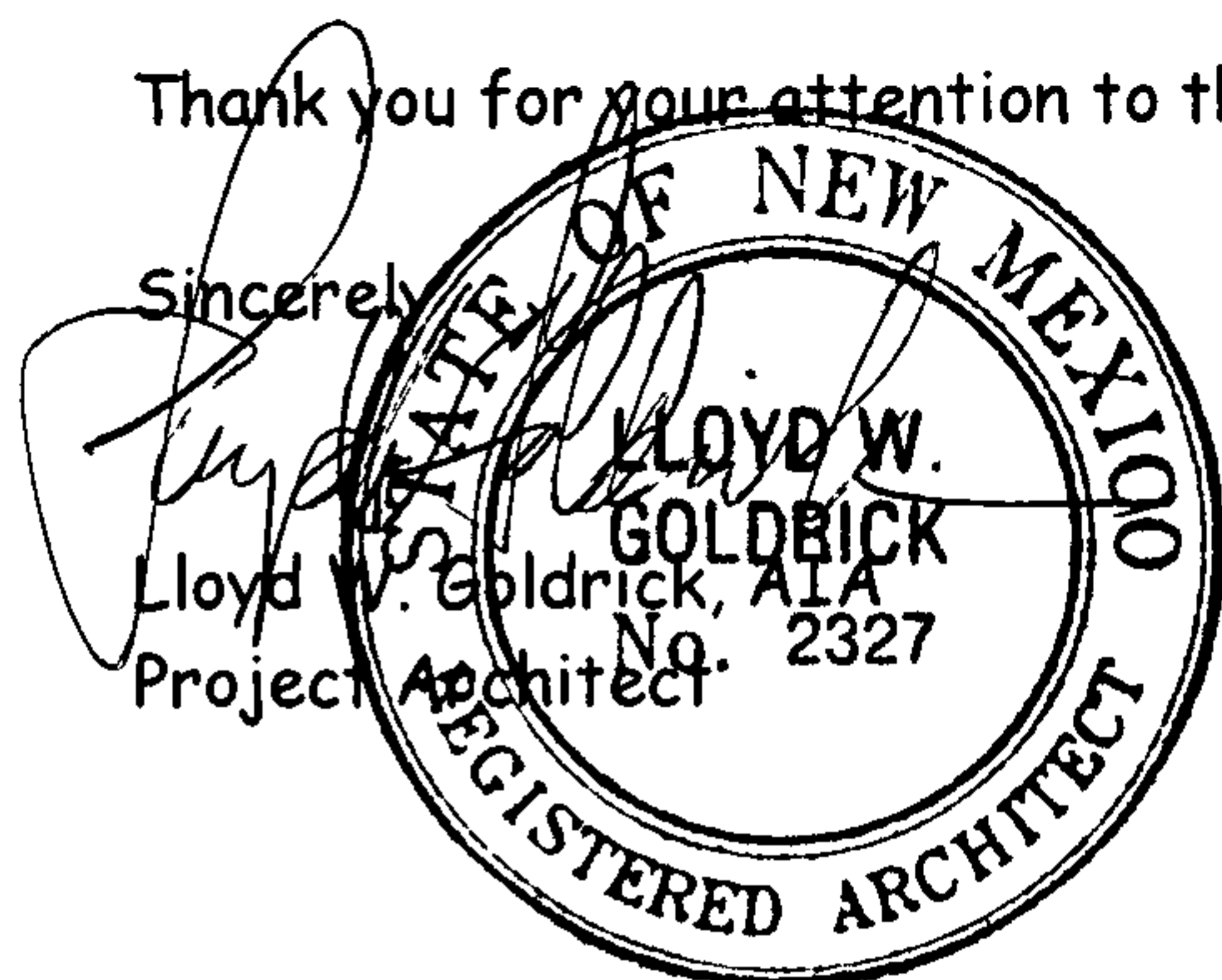
Mr. Gallegos:

This letter is to indicate that I have reviewed the approved TCL dated 6/8/06, observed the completed work and find it in Substantial Compliance with the approved TCL dated 6/8/06 according to my knowledge, information and belief. I have affixed my seal to the Certification TCL, dated 3/17/07 and noted some minor adjustments to the work.

Attached are a Drainage and Transportation Information Sheet for the project, the Certification TCL and a copy of the original letter of approval from your office.

Thank you for your attention to this matter.

Sincerely,



CITY OF ALBUQUERQUE

RECEIVED JUN 13 2006



**Planning Department
Transportation Development Services Section**

June 12, 2006

Lloyd Goldrick
Dura Built Products
4808 Jefferson Rd NE
Albuquerque, NM 87109

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Offices and Warehouse for Hardware Business Park [F-17/D-70B]
(4811 A, B, C, D, E), Albuquerque, NM
Engineer's/Architect's Stamp Dated 06-08-2006

Dear Mr. Goldrick,

The TCL submittal dated June 02, 2006 is approved for building permit. The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Wilfred A. Gallegos, PE
Development and Building Services

cc: Hydrology file
File

DRAINAGE INFORMATION SHEET

D70B
F-17/6229

PROJECT TITLE: Hardware Business Park
~~SEGO LIMITED PARTNERSHIP BUILDING~~
DRB #: PC#: N/A

ZONE MAP/DRG. FILE # F17-D
WORK ORDER#:

LEGAL DESCRIPTION: LOTS 2 AND 3 BLOCK G CASHWAY BLDG MATERIALS INC ALLWOODS
~~LOT K1A AND LOT J OF THE SEGO SUBDIVISION~~
CITY ADDRESS: 4811 HARDWARE DRIVE N.E. SUBDIVISION

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT
ADDRESS: 8624 CASA VERDE AVE. N.W.
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA
PHONE: 250-7719
ZIP CODE: 87120

OWNER: BRAD LITLE
ADDRESS:
CITY, STATE: Albuquerque, New Mexico

CONTACT: BRAD
PHONE: 883-9100
ZIP CODE:

ARCHITECT:
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

SURVEYOR: N/A
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

CONTRACTOR: N/A
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ PAVING PLAN
☐ TCL CERTIFICATION
☐ RESUBMITTAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) CERTIFICATION

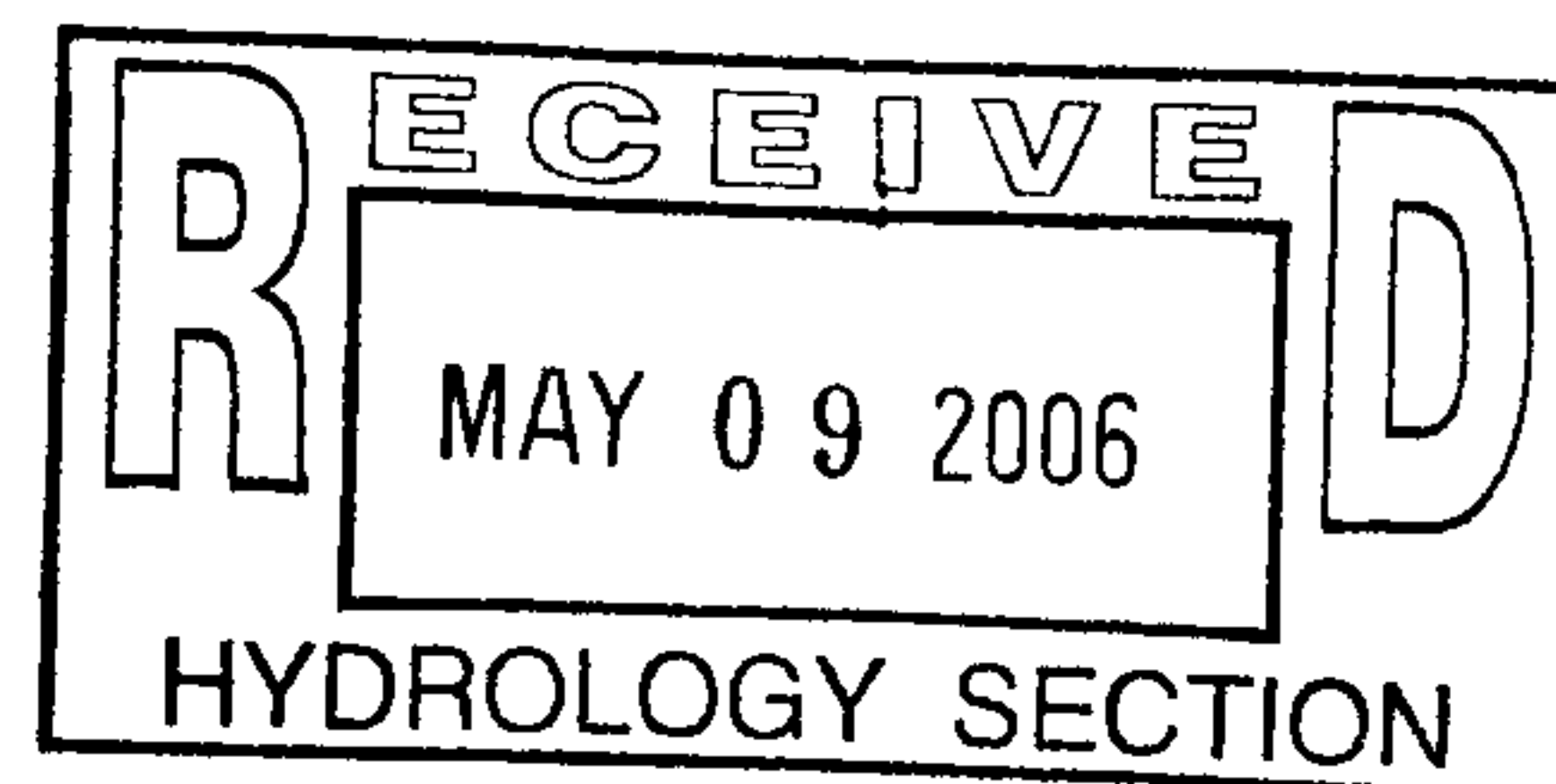
DATE SUBMITTED: 05/08/2006

BY:

Bernie J. Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Quantify all offsite flow
- plan defines offsite flow as 2.59 cfs,
but this does not coordinate w/
the ^{total} quantity of flows

CITY OF ALBUQUERQUE



June 5, 2006

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

**Re: Hardware Business Park - Proposed Buildings for Sego Limited
Partnership, 4811 Hardware Drive NE, Preliminary Plat
Engineer's Stamp dated 4-30-06 (F17-D70B)**

Dear Mr. Sabay,

Based upon the information provided in your submittal received 5-09-06, the above referenced plan cannot be approved for Preliminary Plat until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Call out all proposed curb cuts.
2. You have included the proposed legal description on the plan. The existing legal description must also be included.
3. Per the as-built information provided for Lot 1, the total offsite flow entering the site is 3.25 cfs. Therefore, the total quantity of flow entering lot 4 is 16.8 cfs.
4. Check the location of Note 5. The way the note is positioned, it appears that there are two different gutters in this area.
5. City of Albuquerque Standard 2425 does not show a detail for a proposed curb cut. Please update your note to define the width of the proposed curb cut, and remove the reference to water blocks.
6. Call out the location of the existing drainage easement. Please show that the 10-foot drainage easement expands to a width of 18 feet at lot 4.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 12, 2006

Lloyd Goldrick
Dura Built Products
4808 Jefferson Rd NE
Albuquerque, NM 87109

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Offices and Warehouse for Hardware Business Park [F-17/D-70B]
(4811 A, B, C, D, E), Albuquerque, NM
Engineer's/Architect's Stamp Dated 06-08-2006

Dear Mr. Goldrick,

The TCL submittal dated June 02, 2006 is approved for building permit. The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. **Public-infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

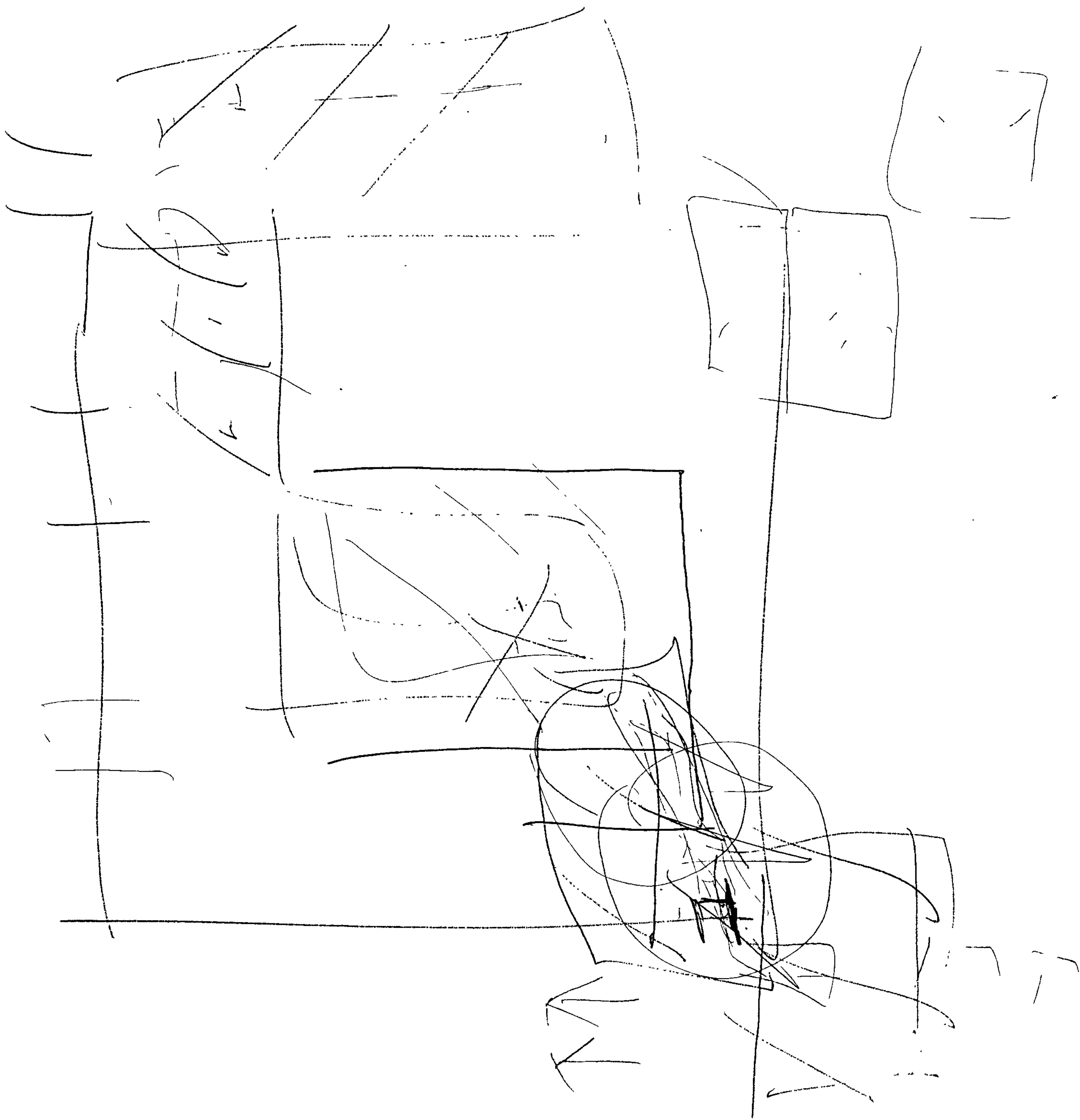
When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Wilfred A. Gallegos, PE
Development and Building Services

cc: Hydrology file
File



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

RE-SUBMITTAL JUNE 2 2006

F-17/D70B

PROJECT TITLE: HARDWARE BUSINESS PARK ZONE ATLAS/DRNG. FILE #: F17
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 2&3, TRACT G CASHWAY BUILDING MATERIALS ALLWOODS SUBDIVISION,
BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO

CITY ADDRESS: 4811A, 4811B, 4811C, 4811D, 4811E HARDWARE DR. NE. 87109

ENGINEERING FIRM: BERNIE MONTOYA CONSULTING ENGINEERS CONTACT: BERNIE MONTOYA
 ADDRESS: _____ PHONE: (505) 250.7719
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87

OWNER: WILLIAM A. SEGO CONTACT: JEFF FOSS
 ADDRESS: 4808 JEFFERSON RD NE PHONE: 883.9100
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

ARCHITECT: LLOYD W. GOLDRICK CONTACT: LLOYD W. GOLDRICK
 ADDRESS: 4808 JEFFERSON NE PHONE: 883-9100
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

SURVEYOR: REX VOGLER CONTACT: REX VOGLER
 ADDRESS: _____ PHONE: (505) 767.8891
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87

CONTRACTOR: DURA BILT PRODUCTS INC. CONTACT: JEFF FOSS
 ADDRESS: 4808 JEFFERSON NE PHONE: 883-9100
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

PLEASE NOTE: BUILDING AND SITE IS EXISTING.

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)



DATE SUBMITTED: April 26, 2006 BY: JEFFREY S. FOSS

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



May 16, 2006

Lloyd Goldrick
Lloyd Goldrick
4808 Jefferson Rd. NE
Albuquerque, NM 87109

Re: 4811-A, B, C, D, & E Hardware Dr NE, Traffic Circulation Layout
Architect's Stamp dated 04-26-06 (F17-D70B)

Dear Mr. Goldrick,

Based upon the information provided in your submittal received 4-26-2006, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Will this site be phased? If so, resubmit a TCL for each phase/ building. How will these buildings obtain a Certificate of Occupancy?
2. Provide a trip generation.
3. Provide van accessibility for each building/ lot.
4. Indicate and explain the on-site lighting.
5. Identify the property line and the right of way limits.
6. Will valley gutters be constructed with the proposed drive-pads?
7. Does the curb and gutter exist along Hardware Drive? Label as proposed or existing. A work order is needed if curb and gutter is proposed.
8. Provide and include all sections.
9. Include the limits of proposed sidewalk and the location of existing sidewalk; will a transition be needed?
10. Sidewalk will need to be built within the city right of way or an easement is required.
11. Show all curb to drive pad transitions.
12. See plan for additional comments.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nino Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

OK

6/8/06

Tim
type up.
letter
for approval
NLF

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: HARDWARE BUSINESS PARK ZONE ATLAS/DRNG. FILE #: F17 / D70B
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 2&3, TRACT G CASHWAY BUILDING MATERIALS ALLWOODS SUBDIVISION,
BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO

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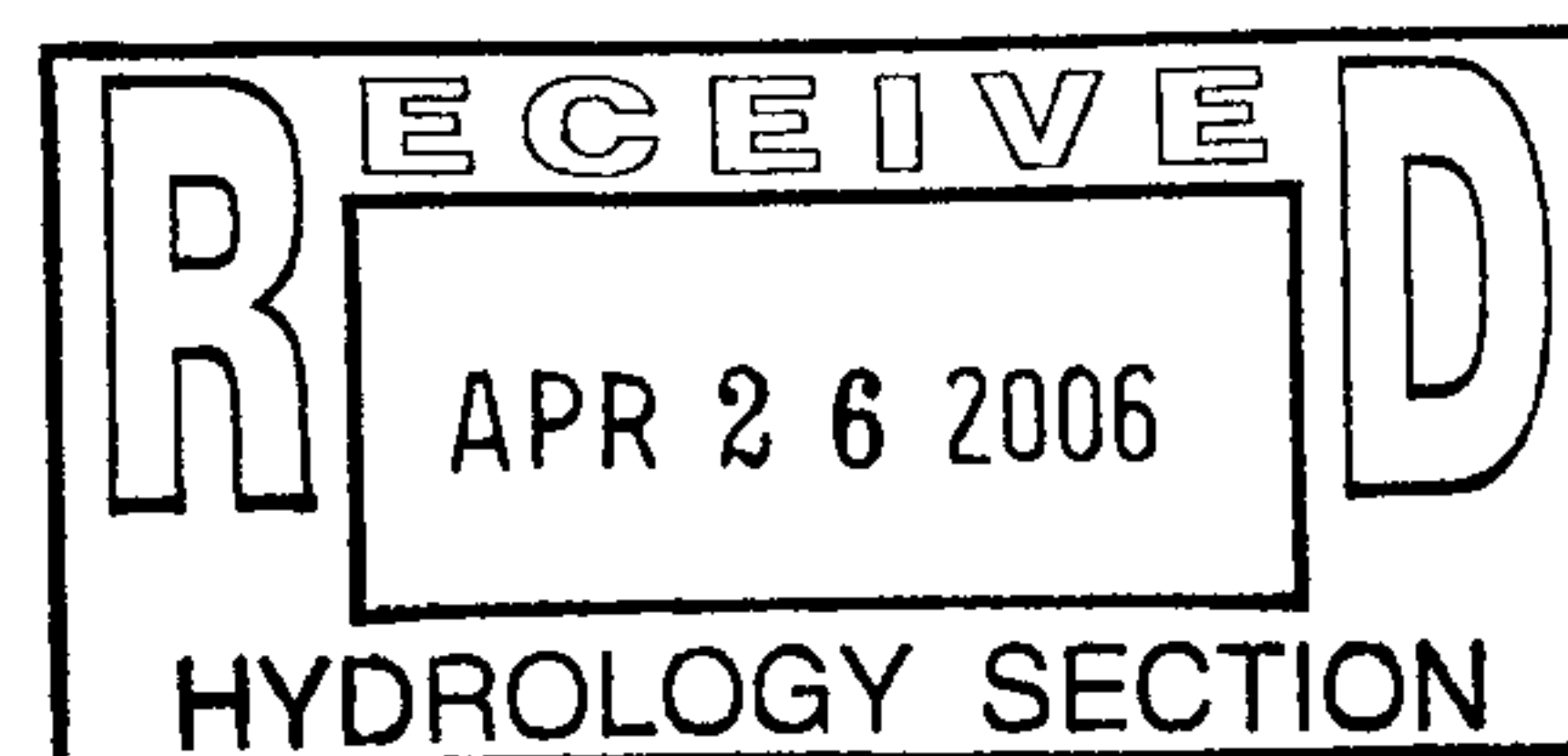
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