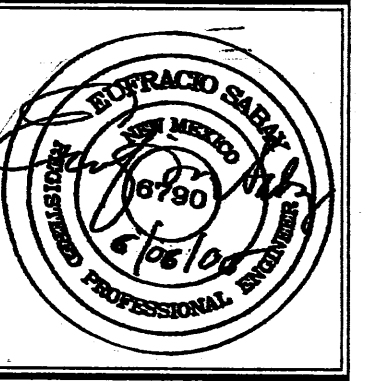
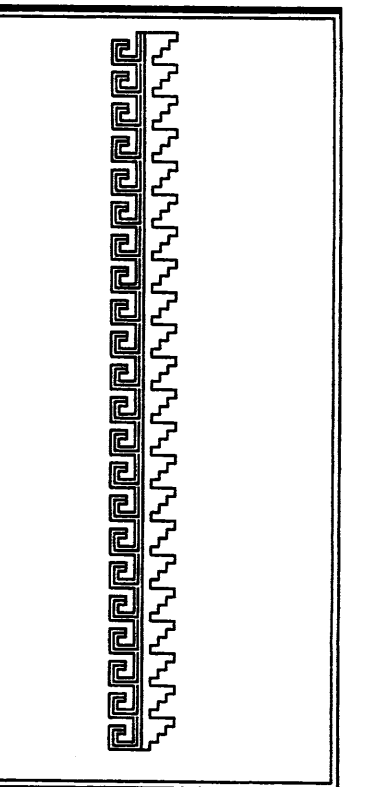




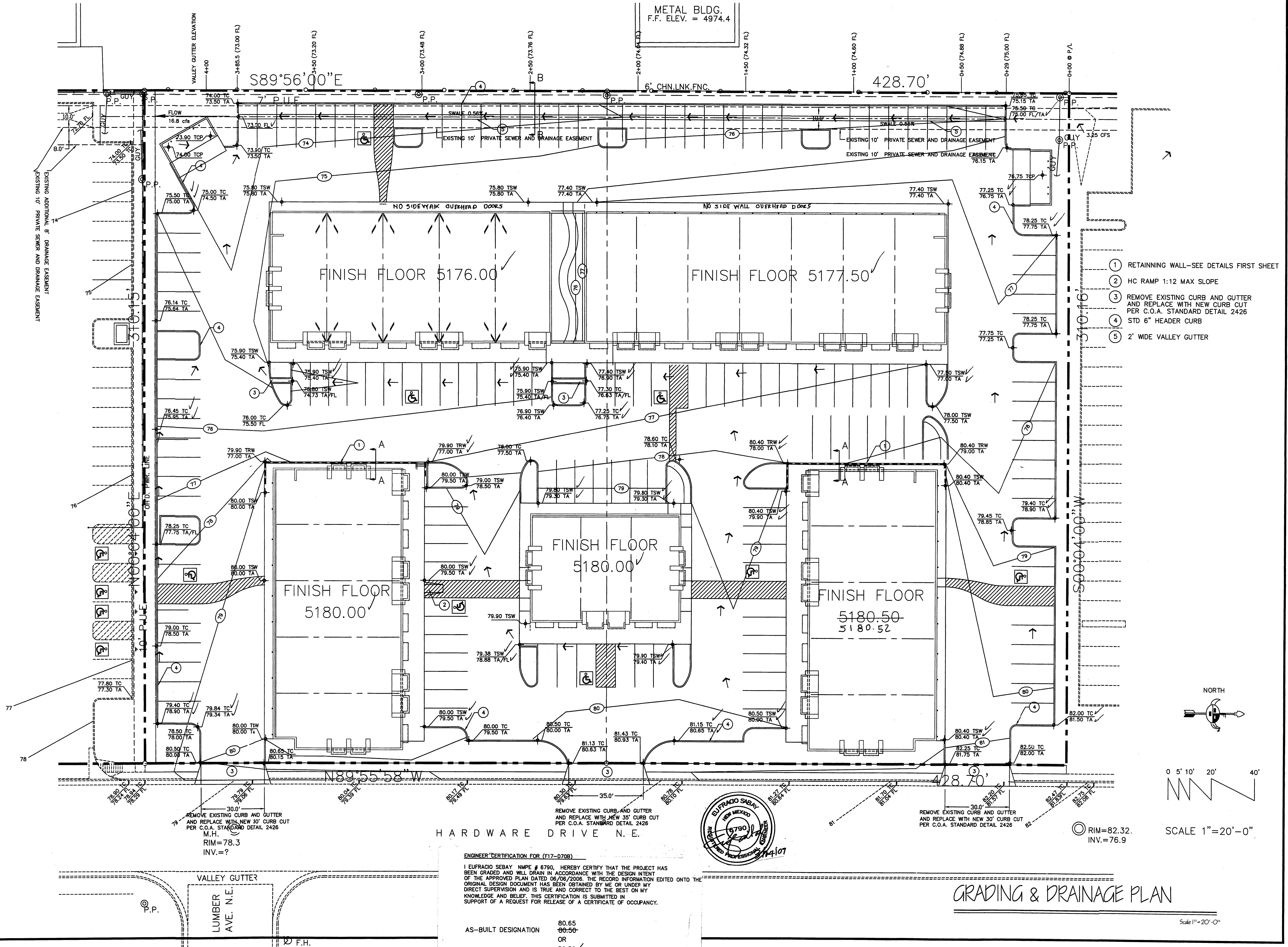
JOB NO.	XXXXXX
DATE	APRIL 2006
REVISIONS	
	06-07-2006

Sheet Title
GRADING & DRAINAGE PLAN
Drawn By: HTH & BJM Checked By: ES



Job Title
PROPOSED BUILDINGS FOR
SEGO LIMITED PARTNERSHIP
4811 HARDWARE DRIVE N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO. 2 OF 2
AD
MAR 28 2007
HYDROLOGY SECTION



GRADING/ DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING (4811 HARDWARE DRIVE N.E.) LOT 2 AND 3, BLOCK G, CASHWAY BUILDING MATERIALS INC. ALLWOODS, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREIN:

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 3.052 ACRES MORE OR LESS AND IS LOCATED SOUTH OF THE INTERSECTION OF MCLEOD BLVD. N.E. AND HARDWARE DRIVE N.E. ON THE WEST SIDE OF HARDWARE DRIVE N.E. THE SITE IN ITS PRESENT CONDITION IS VACANT WITH THE TERRAIN SLOPING FROM EAST TO WEST. RUN-OFF ENTERS THE SITE FROM THE NORTH PROPERTY AND IS ACCEPTED INTO THE 10' FOOT PRIVATE UTILITY AND DRAINAGE EASEMENT. NO OTHER FLOWS ENTER FROM ANY OTHER DIRECTION. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0139 E, REVISED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF FIVE BUILDINGS TOTALLING 36,830 SQ. FT. ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. ALL THE DEVELOPED FLOWS WILL BE ROUTED WEST AND ONTO TO A 10' FOOT DRAINAGE AND UTILITY EASEMENT. A CONCEPTUAL GRADING AND DRAINAGE PLAN WAS PREPARED AND APPROVED BY THE C.O.A. HYDROLOGY DEPARTMENT (FILE F17-D70). THE APPROVED PLAN PROVIDED FOR A 10' FOOT DRAINAGE EASEMENT ALONG THE WEST PROPERTY LINE TO CONVEY THE DEVELOPED RUN-OFF TOWARDS AND INTO LUMBER AVENUE N.E. THROUGH THREE 24" SIDEWALK CULVERTS LOCATED ON THE NORTH SIDE OF LUMBER AVE. N.E. THERE IS AMPLE CAPACITY IN THE DRAINAGE SWALE, LUMBER AVE. N.E. AND DOWNSTREAM DRAINAGE FACILITIES FOR THE RUN-OFF. THE CALCULATIONS WHICH APPEAR HEREON ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

HYDROLOGIC CALCULATIONS

PROJECT AREA = 3.052001 ac.
SEGO BUILDINGS OFF OF HARDWARE DRIVE N.E.

PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.

	EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.53 in.	1.56 cfs/ac.
TREATMENT B	0.78 in.	2.28 cfs/ac.
TREATMENT C	1.13 in.	3.14 cfs/ac.
TREATMENT D	2.12 in.	4.70 cfs/ac.

	EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A	AREA	AREA
TREATMENT B	0 ac.	0 ac.
TREATMENT C	0 ac.	0.34001 ac.
TREATMENT D	3.052001 ac.	0 ac.
TREATMENT E	0 ac.	2.71199 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = $(0.53 \times 0.00) + (0.78 \times 0.00) + (1.13 \times 3.05) + (2.12 \times 0.00) / 3.05$ ac.
= 1.13 in.
 $V_{100-360} = (1.13 \times 3.05) / 12 = 0.287397$ ac-ft = 12519 CF

EXISTING PEAK DISCHARGE:

$Q_{100} = (1.56 \times 0.00) + (2.28 \times 0.00) + (3.14 \times 3.05) + (4.70 \times 0.00) = 9.58$ CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = $(0.53 \times 0.00) + (0.78 \times 0.34) + (1.13 \times 0.00) + (2.12 \times 2.71) / 3.05$ ac.
= 1.97 in.
 $V_{100-360} = (1.97 \times 3.05) / 12.0 = 0.501219$ ac-ft = 21833 CF

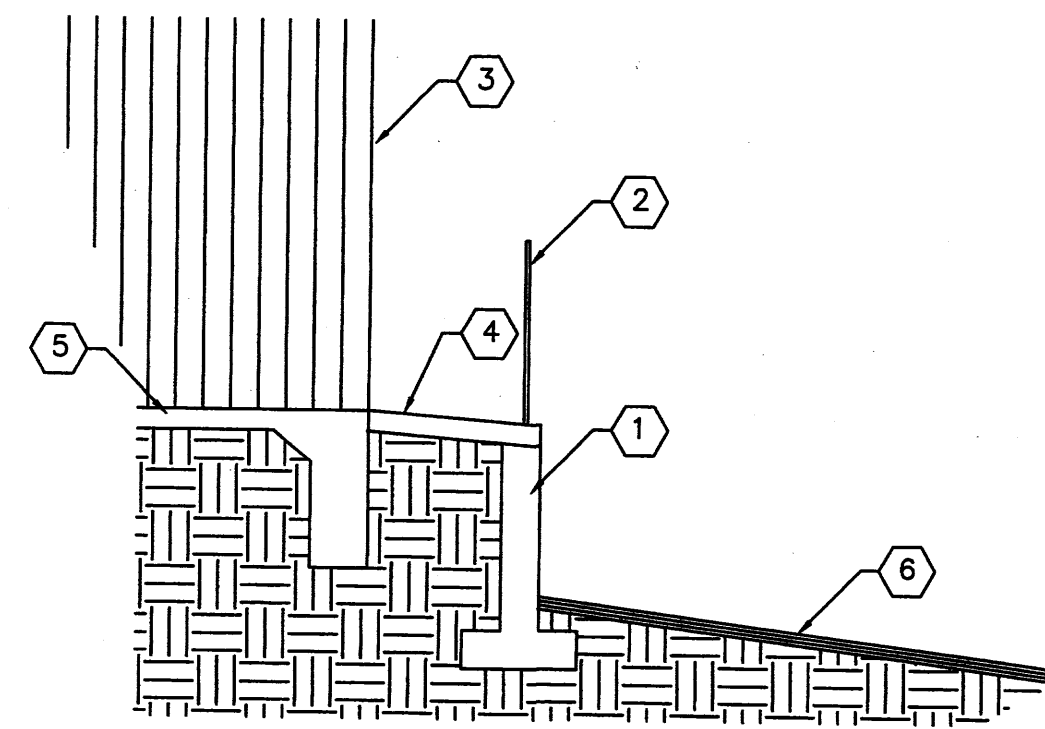
$V_{100-1440} = (0.50) + (2.71 \times 2.75 - 2.35) / 12 = 0.591619$ ac-ft = 25771 CF

$V_{100-10day} = (0.50) + (2.71 \times 3.95 - 2.35) / 12 = 0.862818$ ac-ft = 37584 CF

PROPOSED PEAK DISCHARGE:

$Q_{100} = (1.56 \times 0.00) + (2.28 \times 0.34) + (3.14 \times 0.00) + (4.70 \times 2.71) = 12.75$ CFS

INCREASE 12.75 CFS - 9.58 CFS = 3.17 CFS

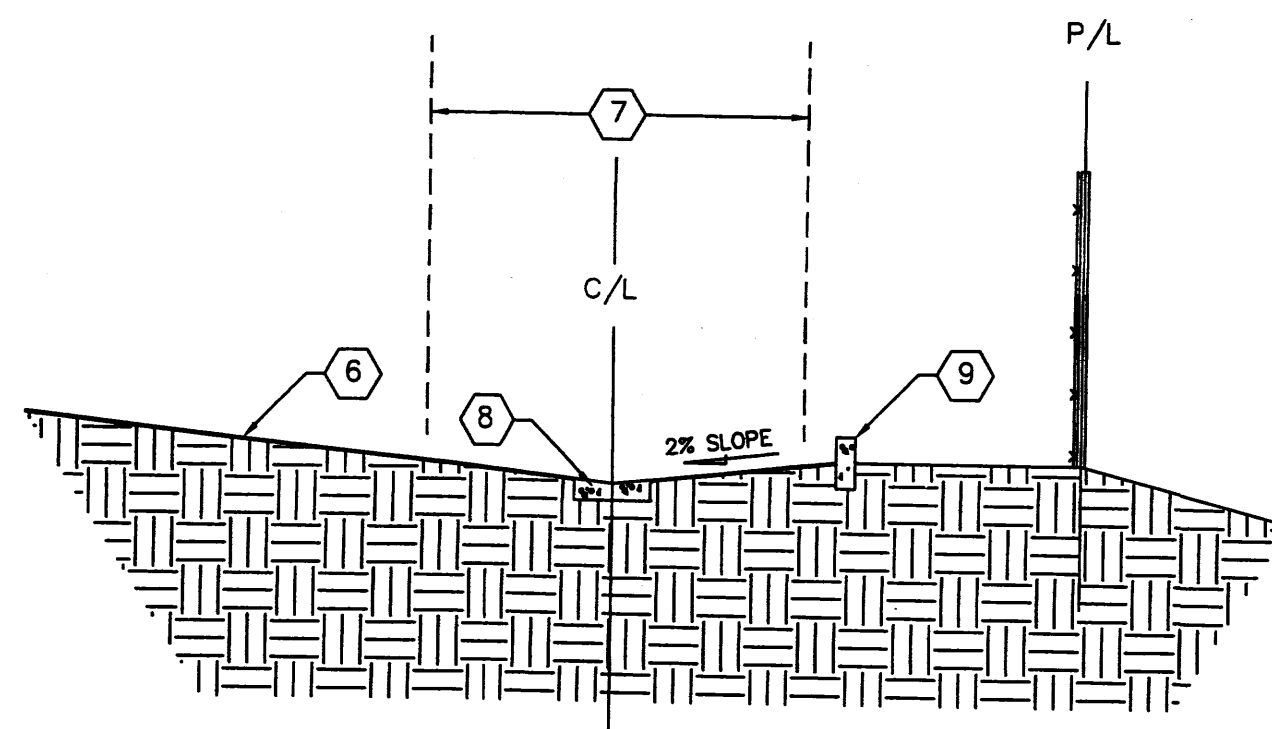


SECTION A-A

NOT TO SCALE

KEYED NOTES

- 1 RETAINING WALL-DESIGNED BY OTHERS
- 2 HANDRAIL PER ADA
- 3 PROPOSED BUILDING LINE
- 4 PROPOSED SIDEWALK-SEE BUILDING PLANS FOR DIMENSIONS PROVIDE 2% SLOPE AWAY FROM BUILDING
- 5 PROPOSED FOUNDATION AND SLAB-SEE BUILDING PLANS
- 6 NEW ASPHALT PAVING
- 7 10.0' DRAINAGE EASEMENT
- 8 2' WIDE VALLEY GUTTER PER COA STD
- 9 6" HEADER CURB PER COA STD



SECTION B-B

NOT TO SCALE

SYMBOL LEGEND

EXISTING CONTOUR	---
EXISTING SPOT ELEVATION	70.50 TC
DESIGN CONTOUR	---
PROPOSED SPOT ELEVATION	70.50 TC
PROPERTY LINE	---
EASEMENT LINE	---
FLOW DIRECTION	---
EXISTING SPOT ELEVATION	---
DOWN SPOUT	---

ABBREVIATION LEGEND

TOP OF CONC PAD	---	TOP
TOP OF CURB	---	TC
TOP OF ASPHALT	---	TA
TOP OF BERM	---	TB
BOTTOM OF POND	---	BP
FINISHED FLOOR	---	FF
BDC	---	BACK OF CURB
DC	---	DRIVECUT
DI	---	DRAINAGE INLET
EA	---	EDGE OF ASPHALT
EC	---	EDGE OF CONCRETE
FL	---	FLOW LINE
FP	---	FENCE POST
G	---	GROUND
HP	---	HIGH POINT

ENGINEER CERTIFICATION FOR (F17-D70B)

I, EULFRACIO SEBAY, NMPE # 6790, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08/06/2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF A CERTIFICATE OF OCCUPANCY.

AS-BUILT DESIGNATION 80.65
80.50
OR
80.50



EXISTING LEGAL DESCRIPTION

LOTS NUMBERED 2 & 3, BLOCK G
CASHWAY BUILDING MATERIALS INC. ALLWOODS SUBDIVISION
BERNALILLO COUNTY, ALBUQUERQUE
NEW MEXICO.

PROPOSED LEGAL DESCRIPTION

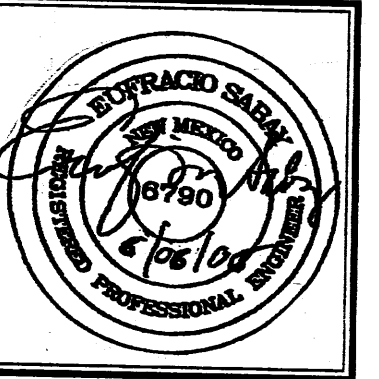
LOT NUMBERED 3A, BLOCK G
CASHWAY BUILDING MATERIALS INC. ALLWOODS SUBDIVISION
BERNALILLO COUNTY, ALBUQUERQUE
NEW MEXICO.

BENCHMARK:

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "9-F18", HAVING AN ELEVATION OF 5209.56
LOCATED IN THE MEDIAN ON SAN MATEO BLVD. NORTH OF MONTGOMERY RD.

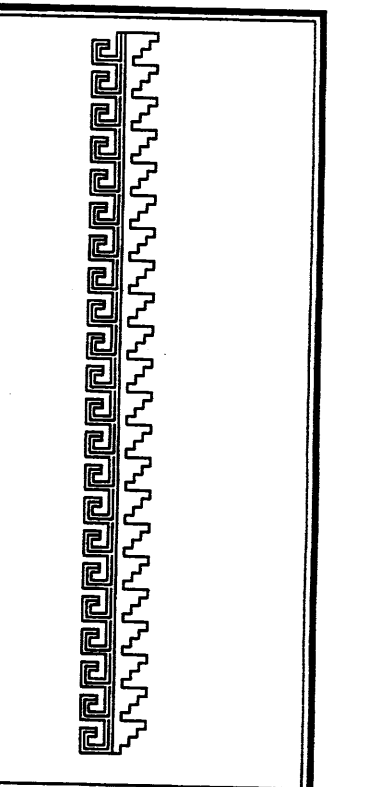
EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
 - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



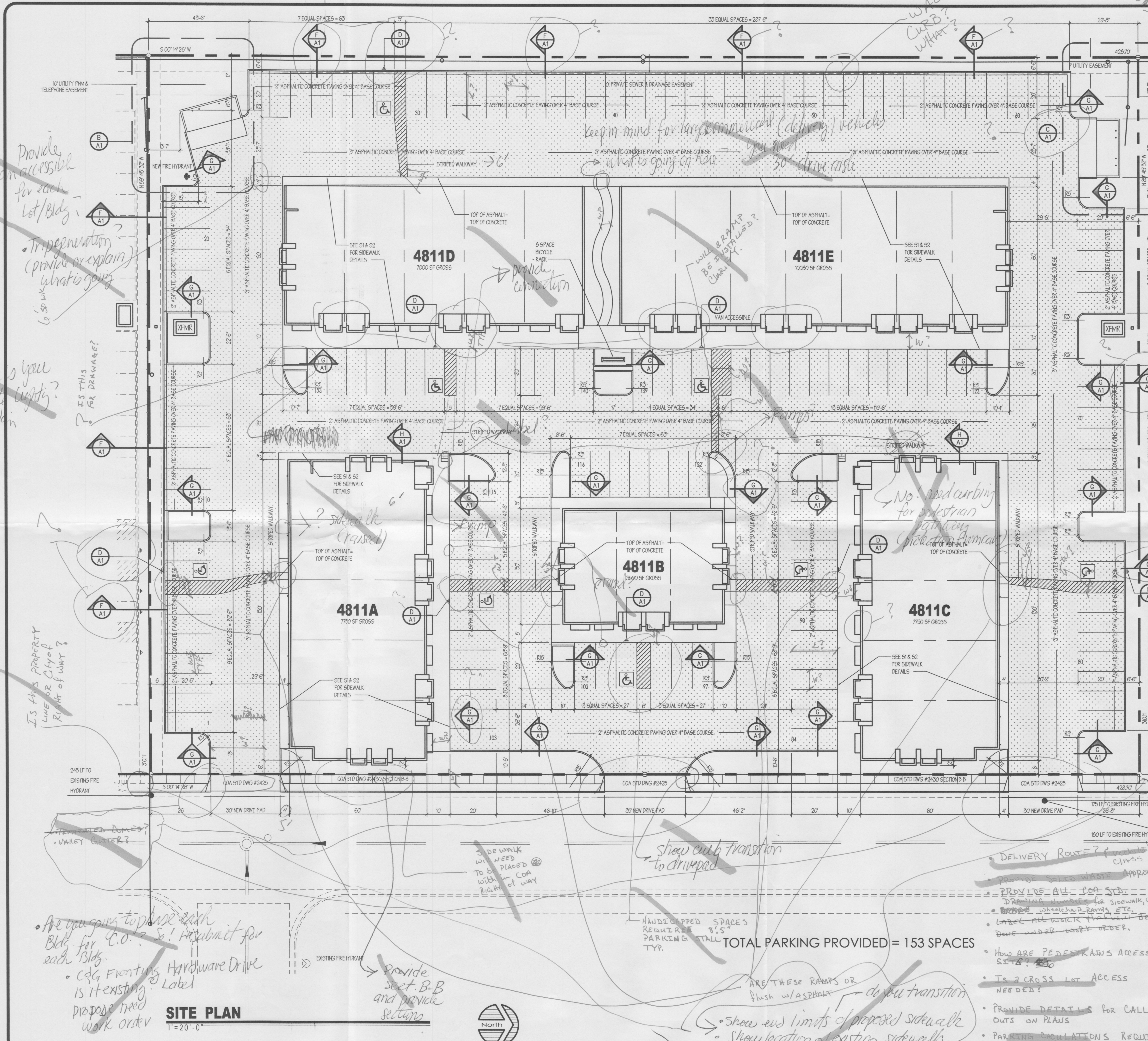
JOB NO:	XXXXXX
DATE:	APRIL 2006
REVISIONS	
	06-07-2006

Sheet Title	GRADING & DRAINAGE PLAN
Drawn By:	HTH & BJM
Checked By:	ES



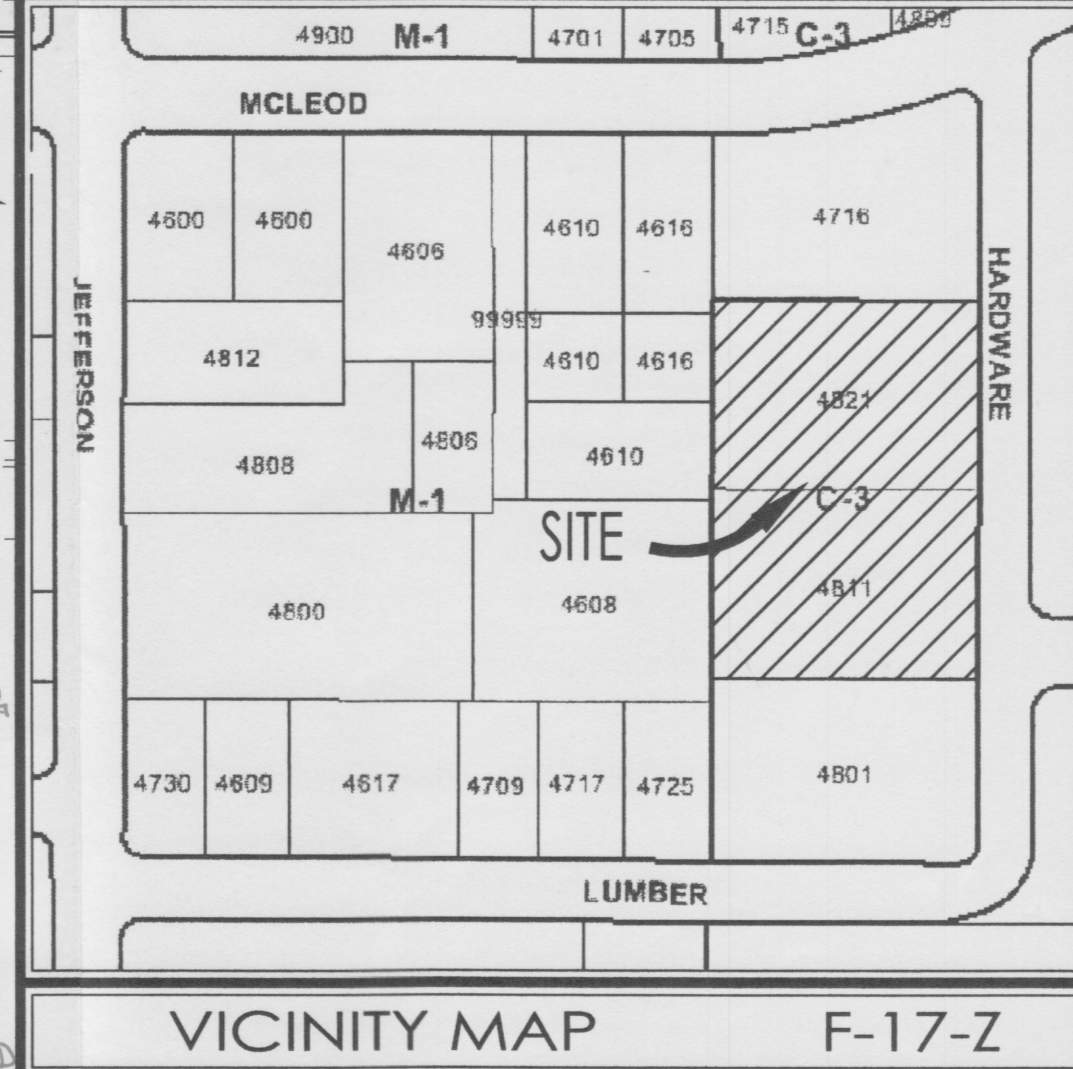
Job Title	PROPOSED BUILDINGS FOR SEGO LIMITED PARTNERSHIP 4811 HARDWARE DRIVE N.E. ALBUQUERQUE, NEW MEXICO
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SHEET NO. 1 OF 2
AD
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HYDROLOGY SECTION



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C1	DRAINAGE PLAN, DETAILS, NOTES	4
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U1	SITE WATER, SEWER & GAS PLAN	6
E1	ELECTRICAL SITE PLAN, ELECTRICAL LIGHTING	7
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S4	ROOF FRAMING PLAN, FRAMING DETAILS	11
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A5.2	WALL SECTIONS, NOTES	16
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4811C - SEE TITLE BLOCK ADDRESS @ RIGHT OF SHEET		
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4811D - SEE TITLE BLOCK ADDRESS @ RIGHT OF SHEET		
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4811E - SEE TITLE BLOCK ADDRESS @ RIGHT OF SHEET		
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DATE: 12/06/05
PLOT DATE: APRIL 14, 2006
REVISIONS:

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PROPOSED BUILDING FOR

HARDWARE BUSINESS PARK

4811A, 4811B, 4811C, 4811D, 4811E
HARDWARE DRIVE NE
ALBUQUERQUE, NEW MEXICO 87109

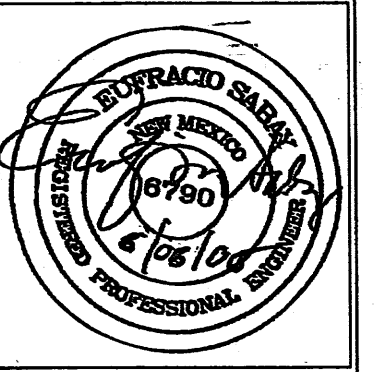
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HYDROLOGY SECTION

STATE OF NEW MEXICO
LLOYD W. GOLDRICK
No. 2327
4/26/06
REGISTERED PROFESSIONAL ENGINEER

SITE PLAN, INDEX & T.C.L. VICINITY MAP PLAN

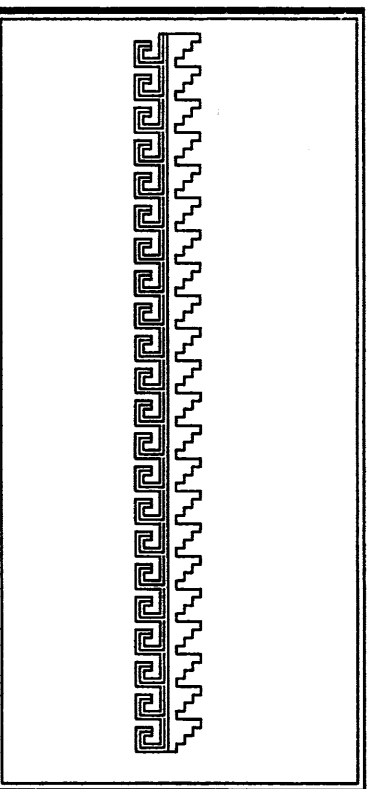
SHEET NO. **A0**

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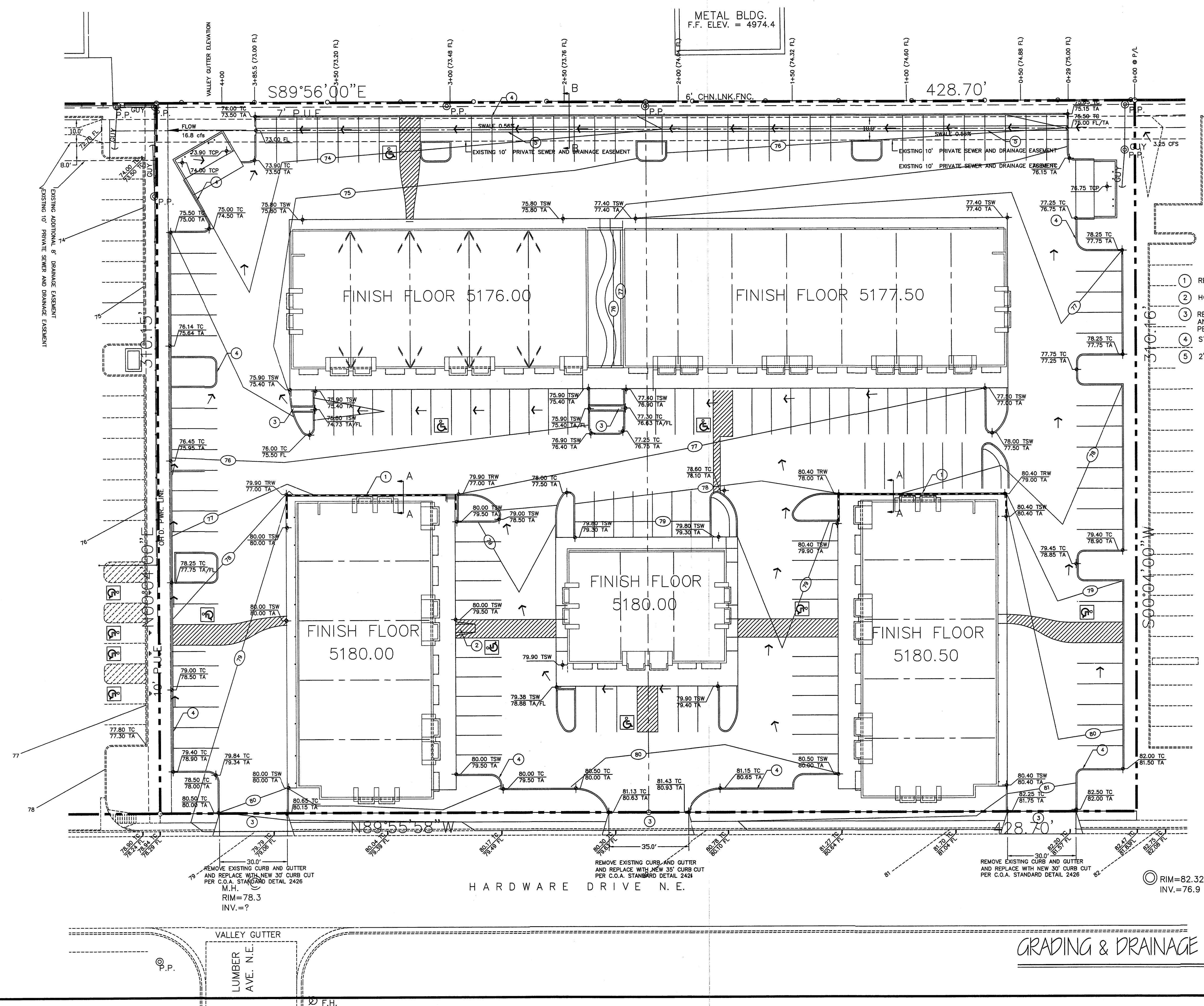
JOB NO:	XXXXXX
DATE:	APRIL 2006
REVISIONS	
	06-07-2006

Sheet Title
GRADING & DRAINAGE PLAN
Drawn By: HTH & BJM Checked By: ES

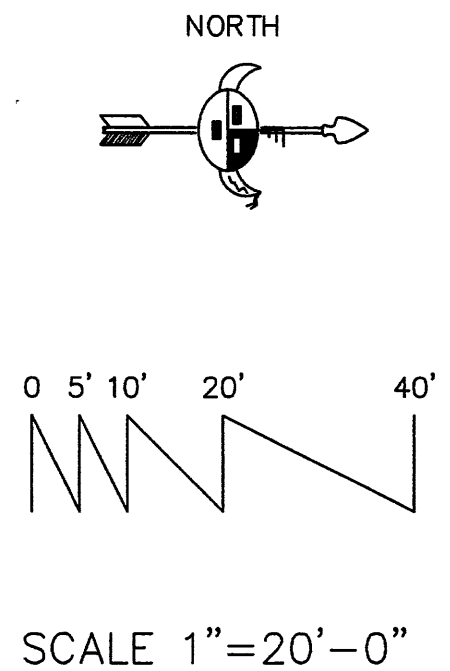


Job Title
PROPOSED BUILDINGS FOR
SEGO LIMITED PARTNERSHIP
4811 HARDWARE DRIVE N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO. 2 OF 2
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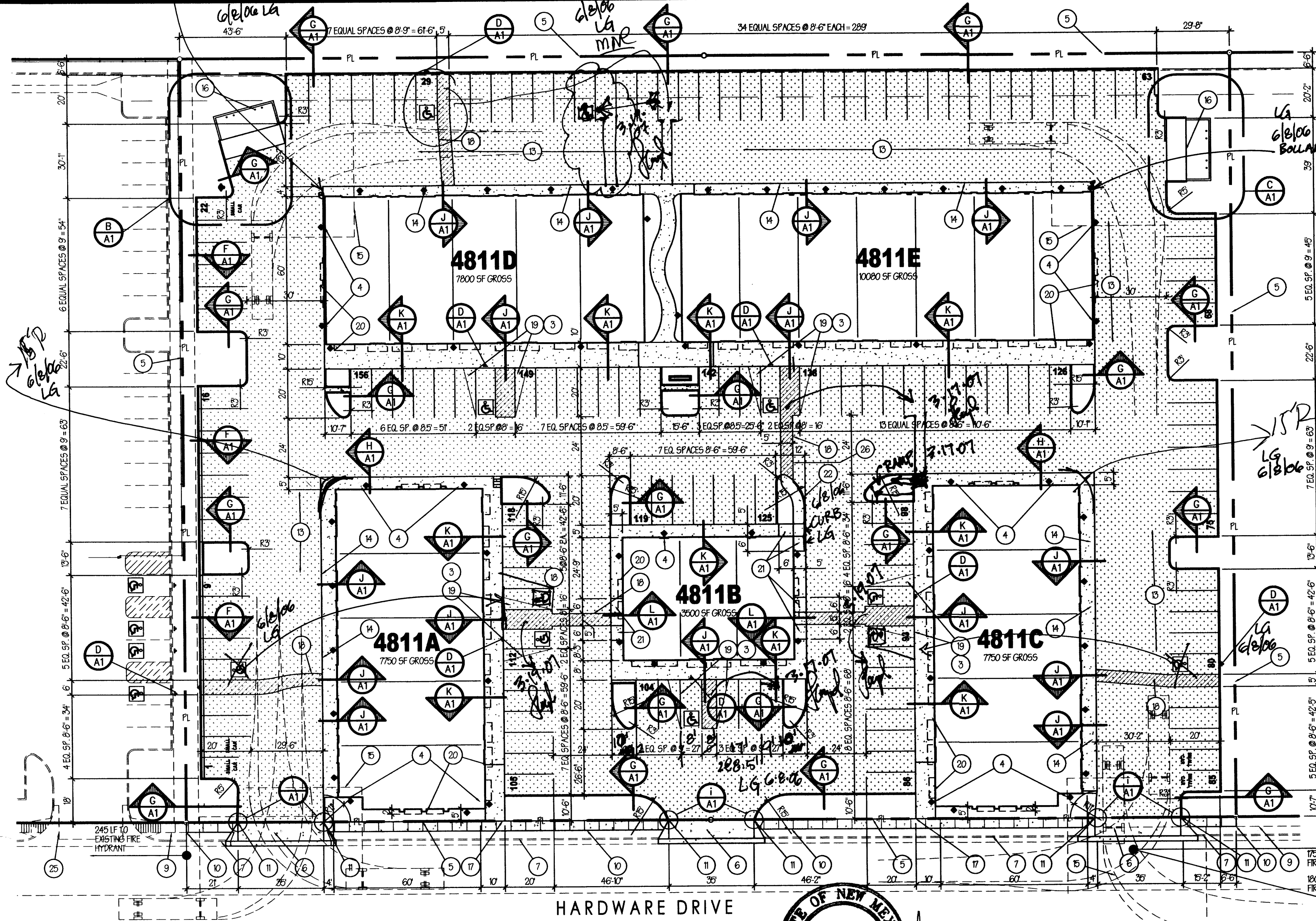
- 1 RETAINING WALL-SEE DETAILS FIRST SHEET
- 2 HC RAMP 1:12 MAX SLOPE
- 3 REMOVE EXISTING CURB AND GUTTER AND REPLACE WITH NEW CURB CUT PER C.O.A. STANDARD DETAIL 2426
- 4 STD 6" HEADER CURB
- 5 2' WIDE VALLEY GUTTER



GRADING & DRAINAGE PLAN

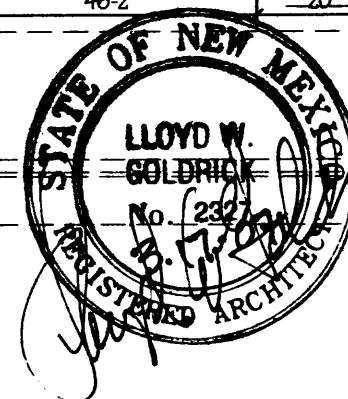
Scale 1"=20'-0"

INDEX TO CONSTRUCTION DRAWINGS		
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TRAFFIC CIRCULATION LAYOUT

1"=30'-0"

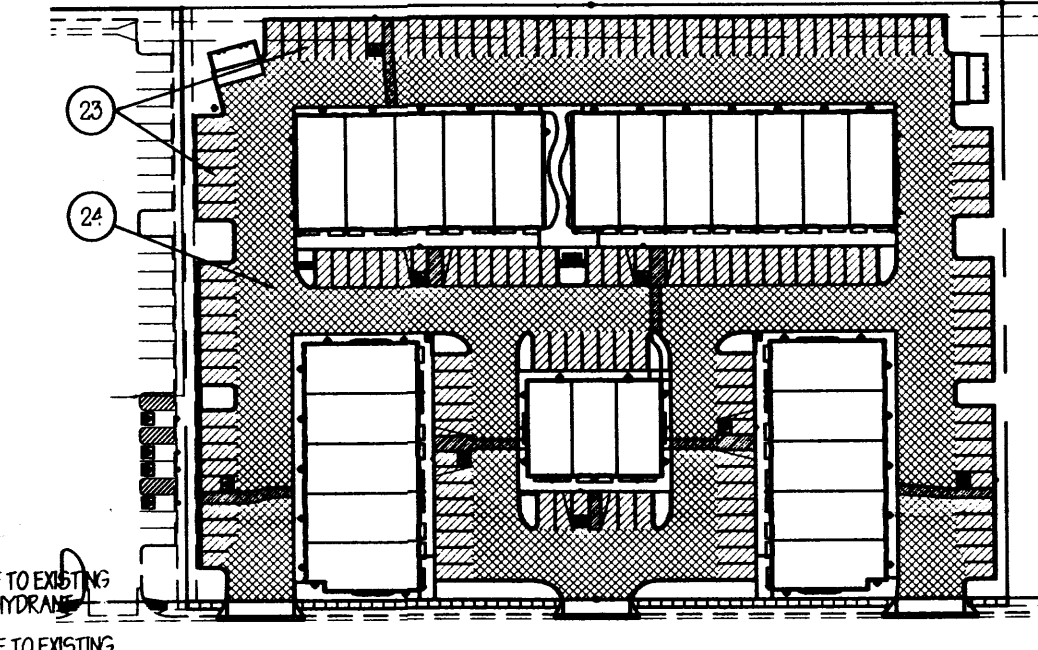


TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: 4/12/06 Date:

KEYED NOTES:

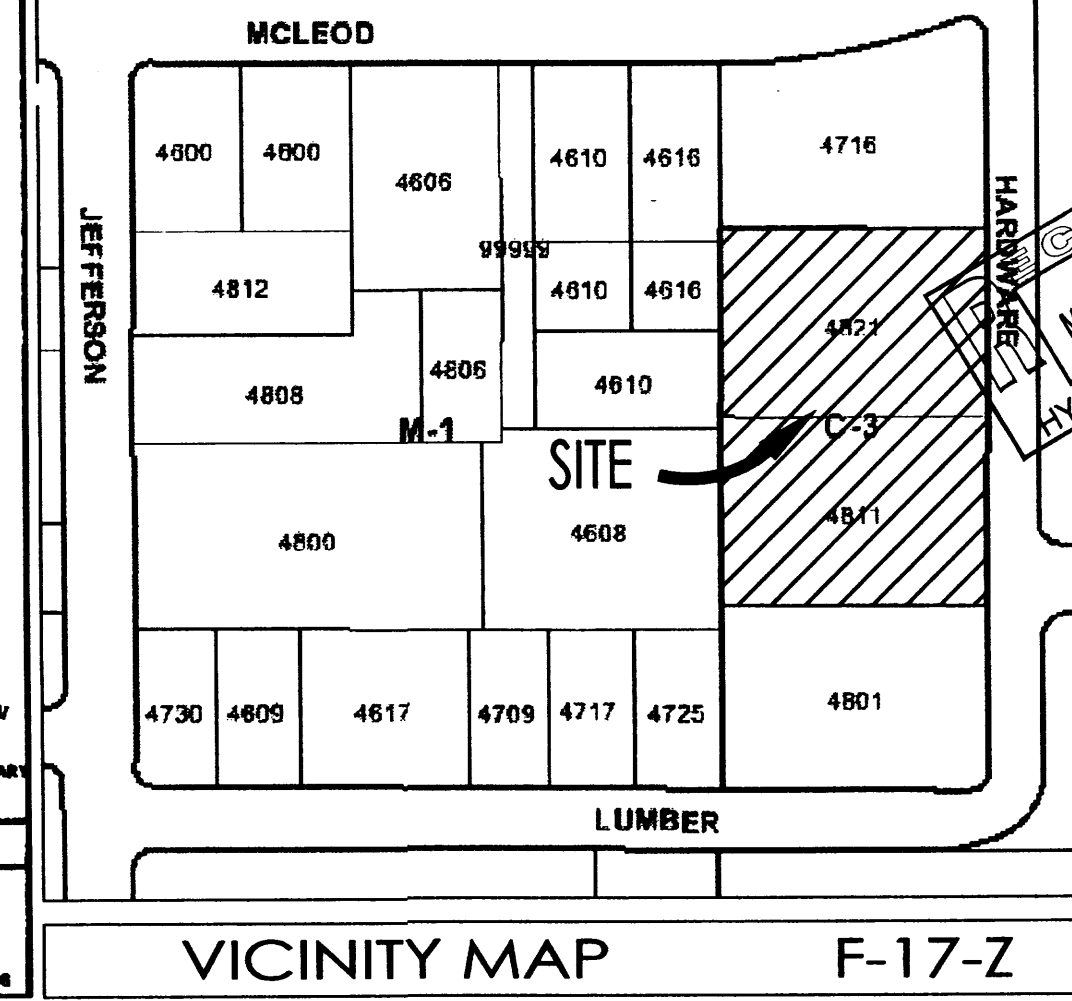
- THIS SITE WILL NOT BE PHASED. RATHER ALL BUILDINGS WILL BE PERMITTED FOR SHELL CONSTRUCTION AT ONE TIME & RECEIVE A CERTIFICATE OF COMPLETION. TENANT BUILD-OUTS WILL BE SUBMITTED FOR SEPARATE PERMITS.
- THRESHOLD FOR TRIP GENERATION ANALYSIS: 15,000 SF. TOTAL AREA FOR ALL FIVE BUILDINGS IS 36,800 SF.
- AN ACCESSIBLE SPACE (ONE PROVIDED PER BUILDING).
- LIGHTING IS LIMITED TO THAT WHICH IS PROVIDED ON EACH BUILDING. THERE IS NO "SITE LIGHTING" ON EACH BUILDING. LIGHTING SHALL BE INSTALLED SUCH THAT IT WILL NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT CANDLETS, AND NO LIGHT FIXTURE SHALL BE MOUNTED HIGHER THAN 20 FEET ON BUILDINGS MEASURED FROM FINISH GRADE TO TOP OF FIXTURE.
- THE PROPERTY LINES & RIGHTS-OF-WAY LINES ARE INDICATED BY PHANTOM LINE TYPE IN BOLD BLACK, & "PL" TEXT HAS BEEN ADDED FOR CLARITY. THE EASTERLY PROPERTY LINE ALONG HARDWARE DRIVE IS THE WESTERLY ROW OF HARDWARE DRIVE.
- CURBS & GUTTERS SHALL BE CONSTRUCTED PER CITY STANDARD DWG # 2425.
- SHEET A1 SHOWING DETAILS IS INCLUDED IN THIS SUBMISSION.
- LOCATION OF EXISTING 4" WIDE SIDEWALK AS INDICATED BY DASHED LINES & NOTES. SINCE THE PROPOSED WALK & THE EXISTING WALK ARE OF THE SAME WIDTH & ORIENTATION, NO TRANSITION IS REQUIRED.
- NEW SIDEWALK IS SHOWN HATCHED WITHIN THE CITY RIGHT-OF-WAY PER CITY OF ALBUQUERQUE STANDARD DRAWING #2430 SECTION B-B. MATCH ELEVATION OF EXISTING 4" WIDE SIDEWALK AT JUNCTURE.
- CURB TO DRIVE NO TRANSITION, DETAIL 1 SHEET A1.
- SEE PLAN FOR RESPONSES TO ADDITIONAL COMMENTS SHOWN ON THE T.O. SUBMITTAL.
- CONDOMINIUM AGREEMENT PROVIDES FOR SHARED ACCESS & PARKING RECORDED AT THE OFFICE OF THE COUNTY CLERK, 5/10/2006, BOOK 18, PAGE 808.
- 4" WIDE APRON AT DELIVERY AREA IN FRONT OF OVERHEAD DOOR LOCATIONS.
- DELIVERY ROUTE - SHOWN AS DASHED LINES, FOR VEHICLES AS LARGE AS 8'-0" SEE TURNING RADIUS ON PLAN.
- SOLID WASTE APPROVAL IS PENDING.
- CONCRETE SIDEWALK INTERSECTS THE PUBLIC SIDEWALK. SLOPE SHALL NOT EXCEED 120.
- 5" WIDE PERMANENT PAINTED STRIPED WALKS.
- HANDICAP SPACE FLUSH WITH SIDEWALK MAX. CROSS SLOPE 1:48. SLOPE GRADES @ ADJACENT PARKING SPACES AS REQUIRED.
- DASHED LINE INDICATES OVER HEAD BLDG FEATURE.
- RAMP DOWN 1:2 SLOPE MAX.
- 4'-6" WIDE CONCRETE SIDEWALK WITH 6" CURB ADJACENT, SLOPE NOT TO EXCEED 120, CROSS SLOPE NOT TO EXCEED 1:48. SEE DETAIL M-1.
- 2" ASPHALTIC CONCRETE OVER 4" BASE COURSE TYPICAL IN SINGLE HATCHED AREAS.
- 3" ASPHALTIC CONCRETE OVER 4" BASE COURSE TYPICAL IN DOUBLE HATCHED AREAS.
- PRIVATE DRIVE ON ADJACENT PROPERTY.
- SITE GRADING IS SUCH THAT NO ACCESS FROM 4811D & 4811E THAT DOES NOT EXCEED 120 SLOPE EXCEPT THAT WHICH OCCURS AT THIS LOCATION.



PAVING KEY

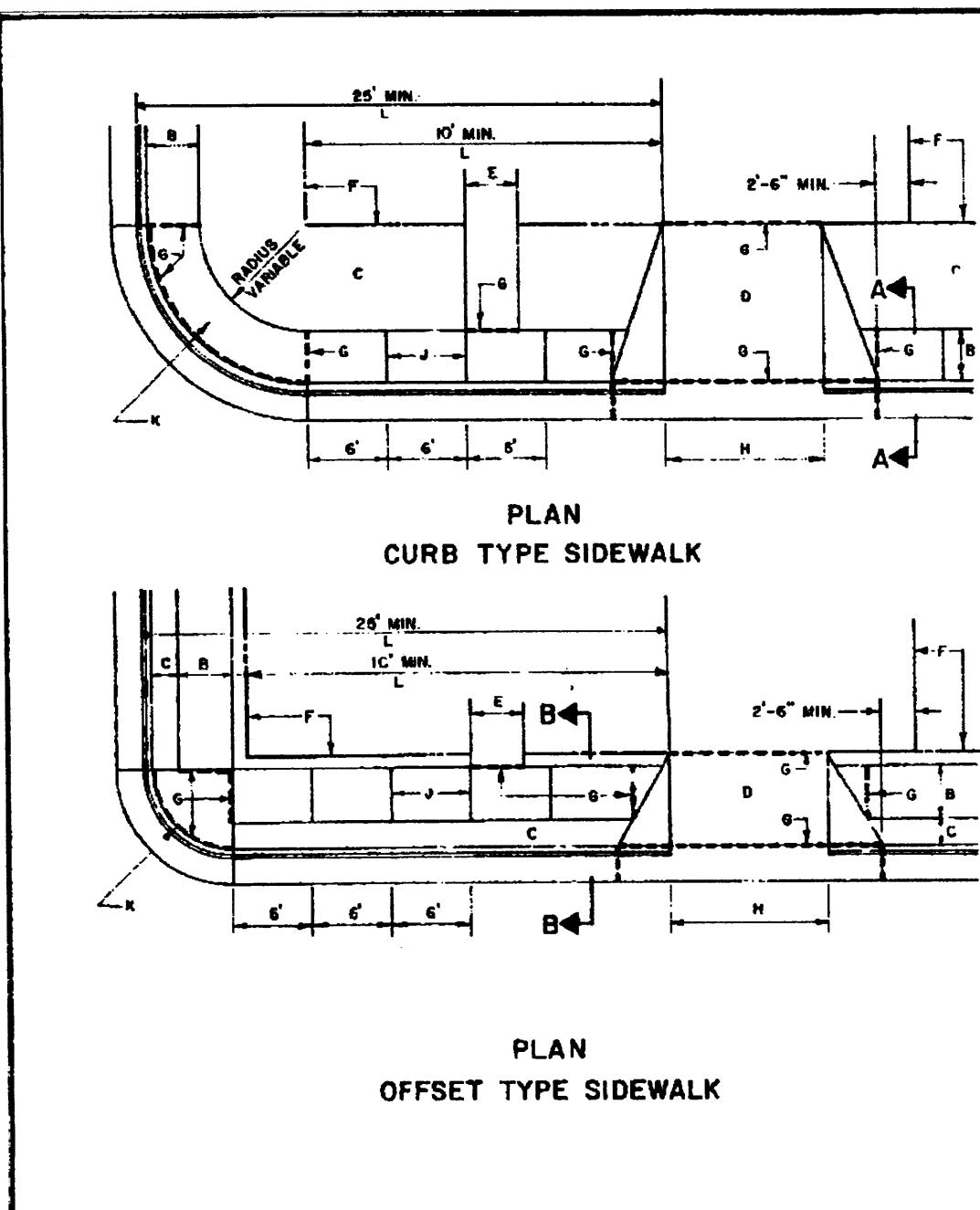
PARKING ANALYSIS:				
AREA	NET LEASABLE AREA	DR. FACTOR	% ASSIGNED	TOTAL REQUIRED
OFFICE 4811A	7000	2000	0.25	1750
WAREHOUSE 4811A	7000	2000	0.25	1750
WAREHOUSE 4811B	3400	2000	0.25	850
WAREHOUSE 4811C	3400	2000	0.25	850
WAREHOUSE 4811D	3400	2000	0.25	850
WAREHOUSE 4811E	3400	2000	0.25	850
WAREHOUSE 4811F	3400	2000	0.25	850
WAREHOUSE 4811G	3400	2000	0.25	850
WAREHOUSE 4811H	3400	2000	0.25	850
WAREHOUSE 4811I	3400	2000	0.25	850
WAREHOUSE 4811J	3400	2000	0.25	850
WAREHOUSE 4811K	3400	2000	0.25	850
WAREHOUSE 4811L	3400	2000	0.25	850
WAREHOUSE 4811M	3400	2000	0.25	850
WAREHOUSE 4811N	3400	2000	0.25	850
WAREHOUSE 4811O	3400	2000	0.25	850
WAREHOUSE 4811P	3400	2000	0.25	850
WAREHOUSE 4811Q	3400	2000	0.25	850
WAREHOUSE 4811R	3400	2000	0.25	850
WAREHOUSE 4811S	3400	2000	0.25	850
WAREHOUSE 4811T	3400	2000	0.25	850
WAREHOUSE 4811U	3400	2000	0.25	850
WAREHOUSE 4811V	3400	2000	0.25	850
WAREHOUSE 4811W	3400	2000	0.25	850
WAREHOUSE 4811X	3400	2000	0.25	850
WAREHOUSE 4811Y	3400	2000	0.25	850
WAREHOUSE 4811Z	3400	2000	0.25	850
TOTAL REQUIRED				21,000
TOTAL PROVIDED				21,000
REQUIRED HANDICAP PARKING SPACES				8
BICYCLE PARKING REQUIRED (SPACE FOR 30 PARKING SPACES)				8

LANDSCAPE REQUIREMENTS:				
LOT SIZE	MIN. BUILDING SQUARE FOOTAGE	NET LOT AREA	AREA TO BE LANDSCAPED (IN % OF LOT)	LANDSCAPE REQUIRED
10,000 SQ. FT.	20,000 SQ. FT.	10,000 SQ. FT.	10%	1,000 SQ. FT.
20,000 SQ. FT.	40,000 SQ. FT.	20,000 SQ. FT.	10%	2,000 SQ. FT.
30,000 SQ. FT.	60,000 SQ. FT.	30,000 SQ. FT.	10%	3,000 SQ. FT.
40,000 SQ. FT.	80,000 SQ. FT.	40,000 SQ. FT.	10%	4,000 SQ. FT.
50,000 SQ. FT.	100,000 SQ. FT.	50,000 SQ. FT.	10%	5,000 SQ. FT.
60,000 SQ. FT.	120,000 SQ. FT.	60,000 SQ. FT.	10%	6,000 SQ. FT.
70,000 SQ. FT.	140,000 SQ. FT.	70,000 SQ. FT.	10%	7,000 SQ. FT.
80,000 SQ. FT.	160,000 SQ. FT.	80,000 SQ. FT.	10%	8,000 SQ. FT.
90,000 SQ. FT.	180,000 SQ. FT.	90,000 SQ. FT.	10%	9,000 SQ. FT.
100,000 SQ. FT.	200,000 SQ. FT.	100,000 SQ. FT.	10%	10,000 SQ. FT.
110,000 SQ. FT.	220,000 SQ. FT.	110,000 SQ. FT.	10%	11,000 SQ. FT.
120,000 SQ. FT.	240,000 SQ. FT.	120,000 SQ. FT.	10%	12,000 SQ. FT.
130,000 SQ. FT.	260,000 SQ. FT.	130,000 SQ. FT.	10%	13,000 SQ. FT.
140,000 SQ. FT.	280,000 SQ. FT.	140,000 SQ. FT.	10%	14,000 SQ. FT.
150,000 SQ. FT.	300,000 SQ. FT.	150,000 SQ. FT.	10%	15,000 SQ. FT.
160,000 SQ. FT.	320,000 SQ. FT.	160,000 SQ. FT.	10%	16,000 SQ. FT.
170,000 SQ. FT.	340,000 SQ. FT.	170,000 SQ. FT.	10%	17,000 SQ. FT.
180,000 SQ. FT.	360,000 SQ. FT.	180,000 SQ. FT.	10%	18,000 SQ. FT.
190,000 SQ. FT.	380,000 SQ. FT.	190,000 SQ. FT.	10%	19,000 SQ. FT.
200,000 SQ. FT.	400,000 SQ. FT.	200,000 SQ. FT.	10%	20,000 SQ. FT.
210,000 SQ. FT.	420,000 SQ. FT.	210,000 SQ. FT.	10%	21,000 SQ. FT.
220,000 SQ. FT.	440,000 SQ. FT.	220,000 SQ. FT.	10%	22,000 SQ. FT.
230,000 SQ. FT.	460,000 SQ. FT.	230,000 SQ. FT.	10%	23,000 SQ. FT.
240,000 SQ. FT.	480,000 SQ. FT.	240,000 SQ. FT.	10%	24,000 SQ. FT.
250,000 SQ. FT.	500,000 SQ. FT.	250,000 SQ. FT.	10%	25,000 SQ. FT.
260,000 SQ. FT.	520,000 SQ. FT.	260,000 SQ. FT.	10%	26,000 SQ. FT.
270,000 SQ. FT.	540,000 SQ. FT.	270,000 SQ. FT.	10%	27,000 SQ. FT.
280,000 SQ. FT.	560,000 SQ. FT.	280,000 SQ. FT.	10%	28,000 SQ. FT.
290,000 SQ. FT.	580,000 SQ. FT.	290,000 SQ. FT.	10%	29,000 SQ. FT.
300,000 SQ. FT.	600,000 SQ. FT.	300,000 SQ. FT.	10%	30,000 SQ. FT.
310,000 SQ. FT.	620,000 SQ. FT.	310,000 SQ. FT.	10%	31,000 SQ. FT.
320,000 SQ. FT.	640,000 SQ. FT.	320,000 SQ. FT.	10%	32,000 SQ. FT.
330,000 SQ. FT.	660,000 SQ. FT.	330,000 SQ. FT.	10%	33,000 SQ. FT.
340,000 SQ. FT.	680,000 SQ. FT.	340,000 SQ. FT.	10%	34,000 SQ. FT.
350,000 SQ. FT.	700,000 SQ. FT.	350,000 SQ. FT.	10%	35,000 SQ. FT.
360,000 SQ. FT.	720,000 SQ. FT.	360,000 SQ. FT.	10%	36,000 SQ. FT.
370,000 SQ. FT.	740,000 SQ. FT.	370,000 SQ. FT.	10%	37,000 SQ. FT.
380,000 SQ. FT.	760,000 SQ. FT.	380,000 SQ. FT.	10%	38,000 SQ. FT.
390,000 SQ. FT.	780,000 SQ. FT.	390,000 SQ. FT.	10%	39,000 SQ. FT.
400,000 SQ. FT.	800,000 SQ. FT.	400,000 SQ. FT.	10%	40,000 SQ. FT.
410,000 SQ. FT.	820,000 SQ. FT.	410,000 SQ. FT.	10%	41,000 SQ. FT.
420,000 SQ. FT.	840,000 SQ. FT.	420,000 SQ. FT.	10%	42,000 SQ. FT.
430,000 SQ. FT.	860,000 SQ. FT.	430,000 SQ. FT.	10%	43,000 SQ. FT.
440,000 SQ. FT.	880,000 SQ. FT.	440,000 SQ. FT.	10%	44,000 SQ. FT.
450,000 SQ. FT.	900,000 SQ. FT.	450,000 SQ. FT.	10%	45,000 SQ. FT.
460,000 SQ. FT.	920,000 SQ. FT.	460,000 SQ. FT.	10%	46,000 SQ. FT.
470,000 SQ. FT.	940,000 SQ. FT.	470,000 SQ. FT.	10%	47,000 SQ. FT.
480,000 SQ. FT.	960,000 SQ. FT.	480,000 SQ. FT.	10%	48,000 SQ. FT.
490,000 SQ. FT.	980,000 SQ. FT.	490,000 SQ. FT.	10%	49,000 SQ. FT.
500,000 SQ. FT.	1,000,000 SQ. FT.	500,000 SQ. FT.	10%	50,000 SQ. FT.



VICINITY MAP

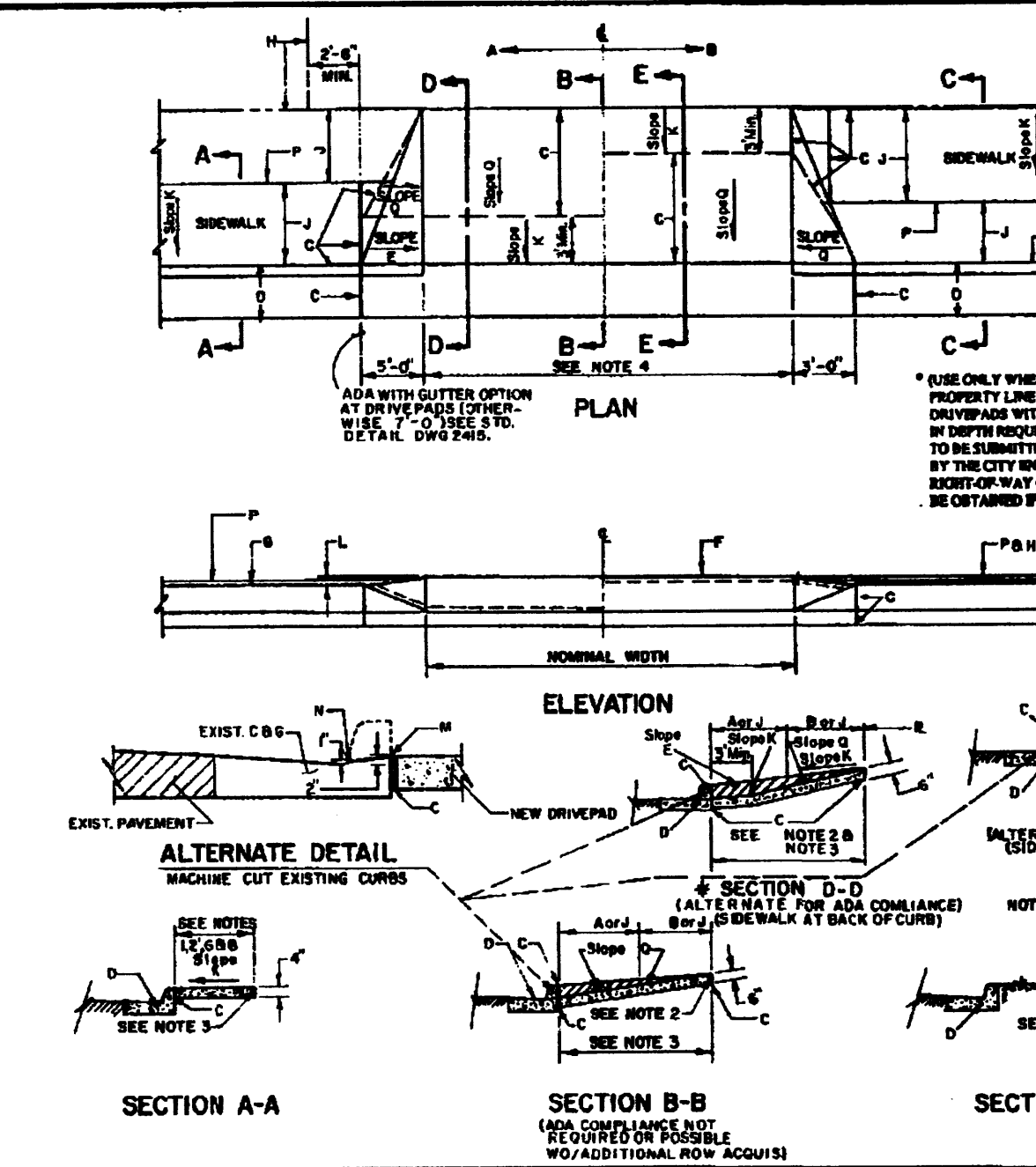
F-17-Z



SECTION A-A

SECTION B-B

CITY OF ALBUQUERQUE	
PAVING	DWG. 2430
SIDEWALK DETAILS	
DATE: 4/12/06	



SECTION A-A

SECTION B-B

SECTION C-C

CITY OF ALBUQUERQUE	
PAVING	DWG. 2425
DRIVEPADS	
DATE: 4/12/06	

PROPOSED BUILDING FOR

HARDWARE BUSINESS PARK

4811A, 4811B, 4811C, 4811D, 4811E
HARDWARE DRIVE NE
ALBUQUERQUE, NEW MEXICO 87109

TRAFFIC CIRCULATION LAYOUT & VICINITY MAP

SHEET NO.

A0

JOB NO. 05-112 | OF 57

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DESIGN / BUILDER
Since 1950
LICENSE NO. 3044

4808 JEFFERSON N.E.
ALBUQUERQUE N.M. 87109
Telephone: (505) 883-9100
Fax: (505) 883-9198
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DATE: 12/06/05
PLOT DATE: MAY 3, 2006
REVISIONS:
FILE: A0.dwg

DATE: 4/12/06
PLOT DATE: MAY 3, 2006
REVISIONS:
FILE: A0.dwg

DATE: 4/12/06
PLOT DATE: MAY 3, 2006
REVISIONS:
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FILE: A0.dwg

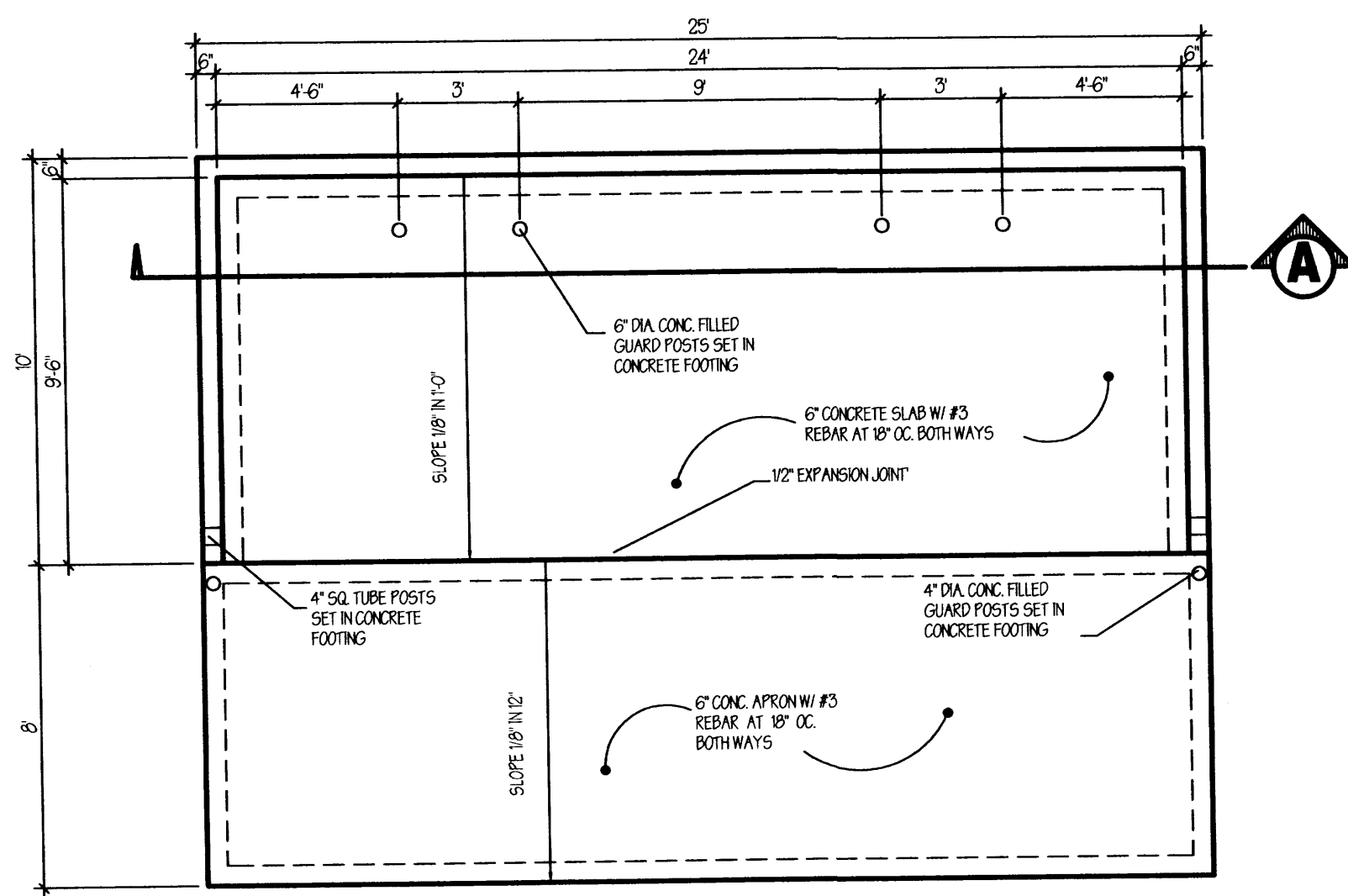
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FILE: A0.dwg

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PLOT DATE: MAY 3, 2006
REVISIONS:
FILE: A0.dwg

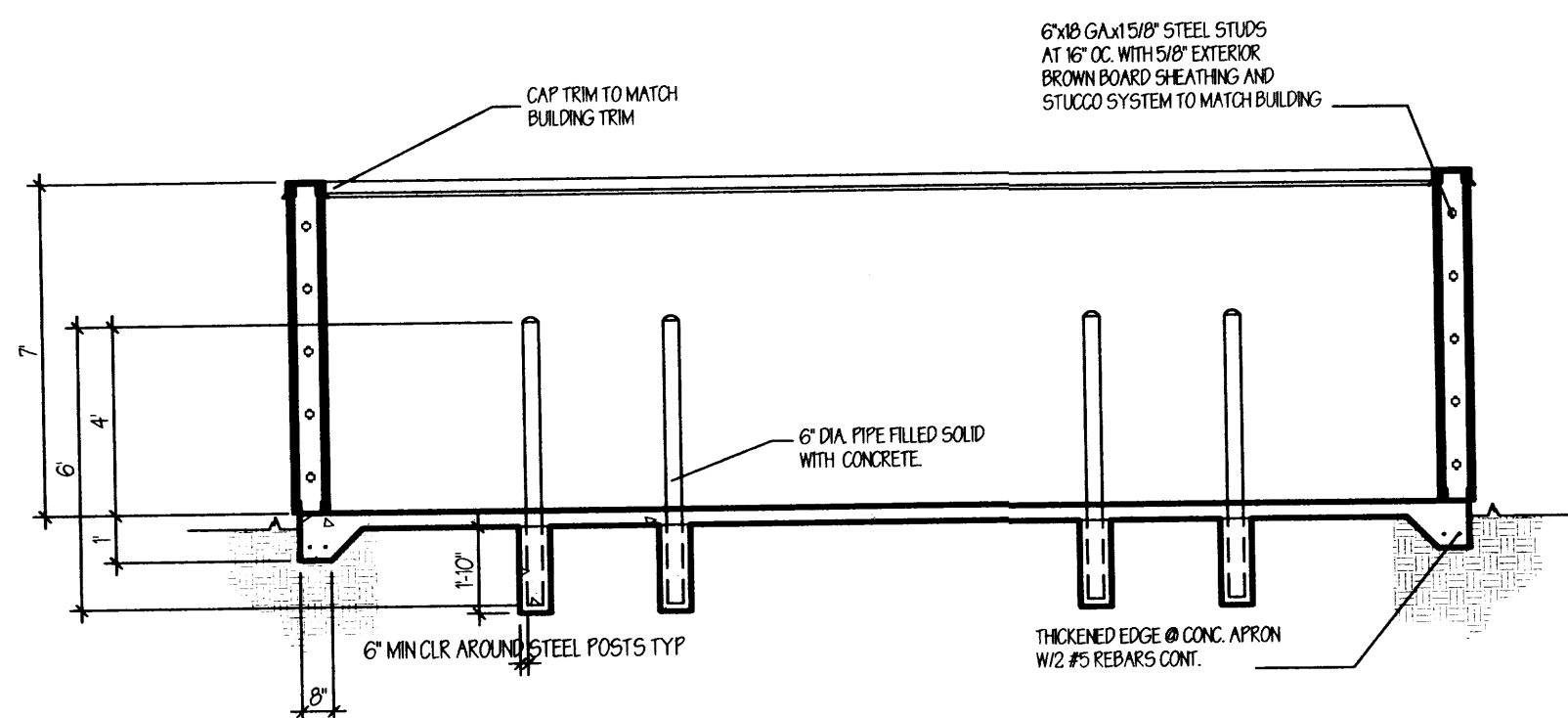
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REVISIONS:
FILE: A0.dwg

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PLOT DATE: MAY 3, 2006
REVISIONS:
FILE: A0.dwg

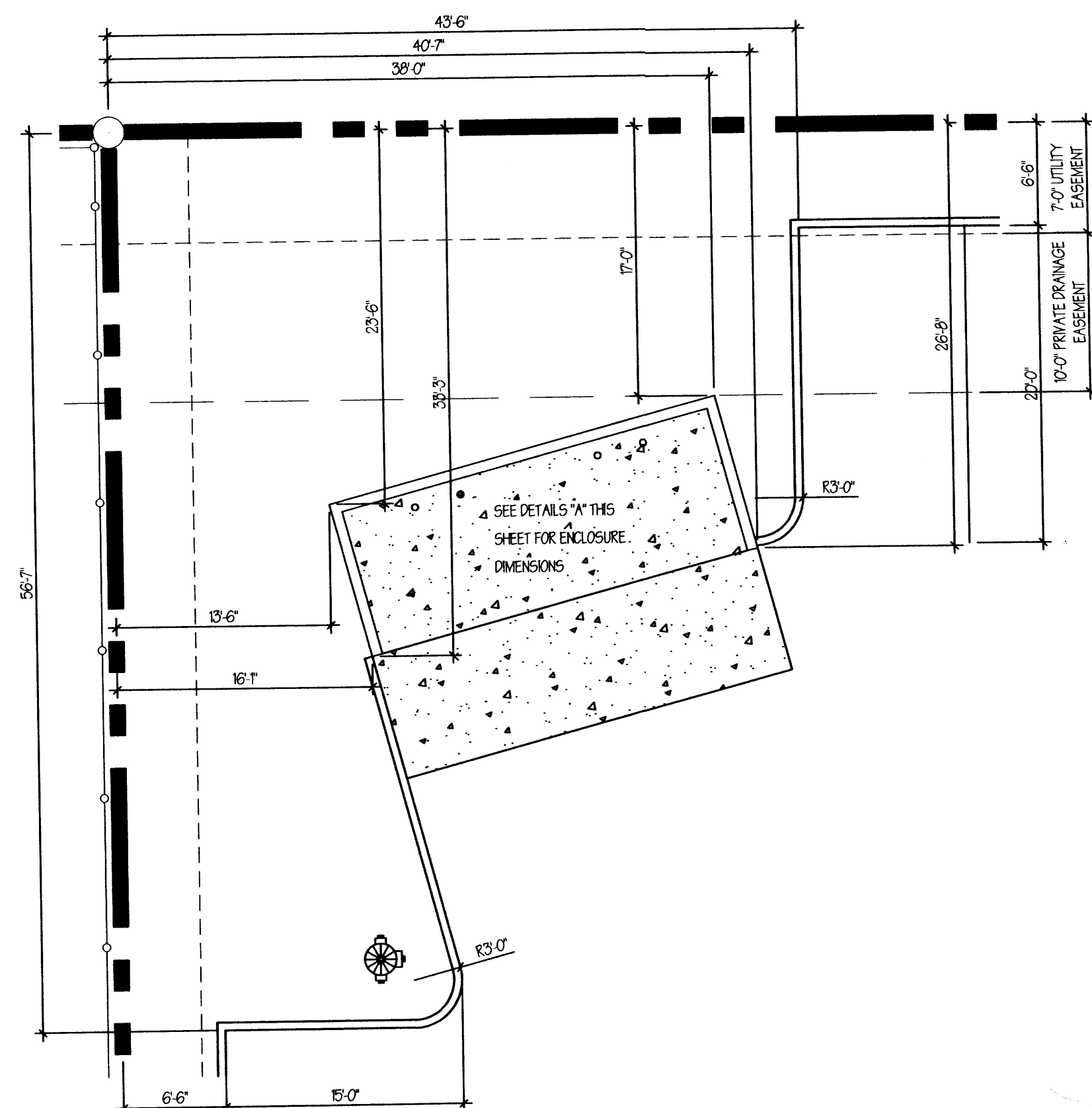
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REVISIONS:
FILE: A0.dwg



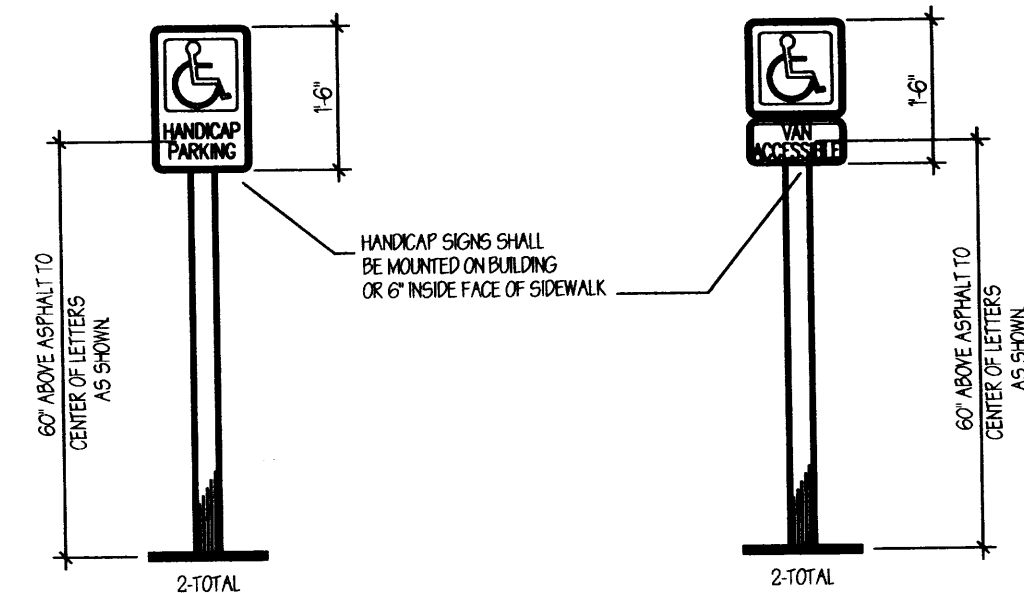
A REFUSE BIN PLAN VIEW
1/4" = 1'-0"



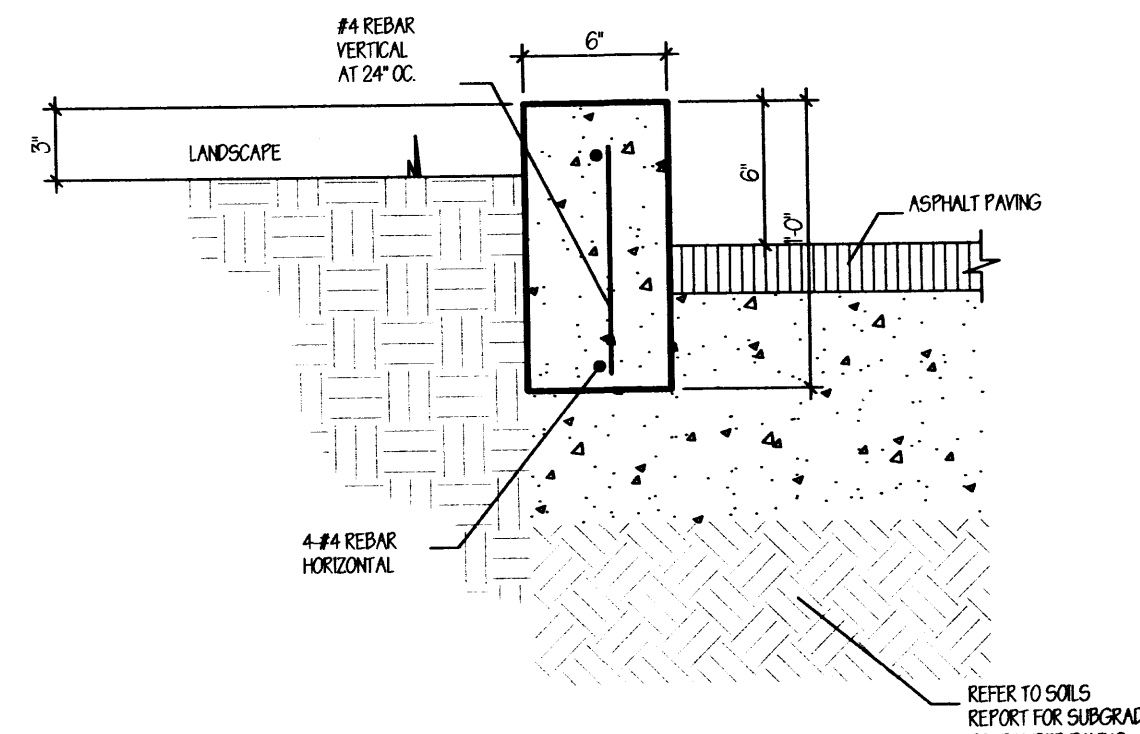
SECTION A REFUSE BIN ENCLOSURE DETAIL
1/4" = 1'-0"



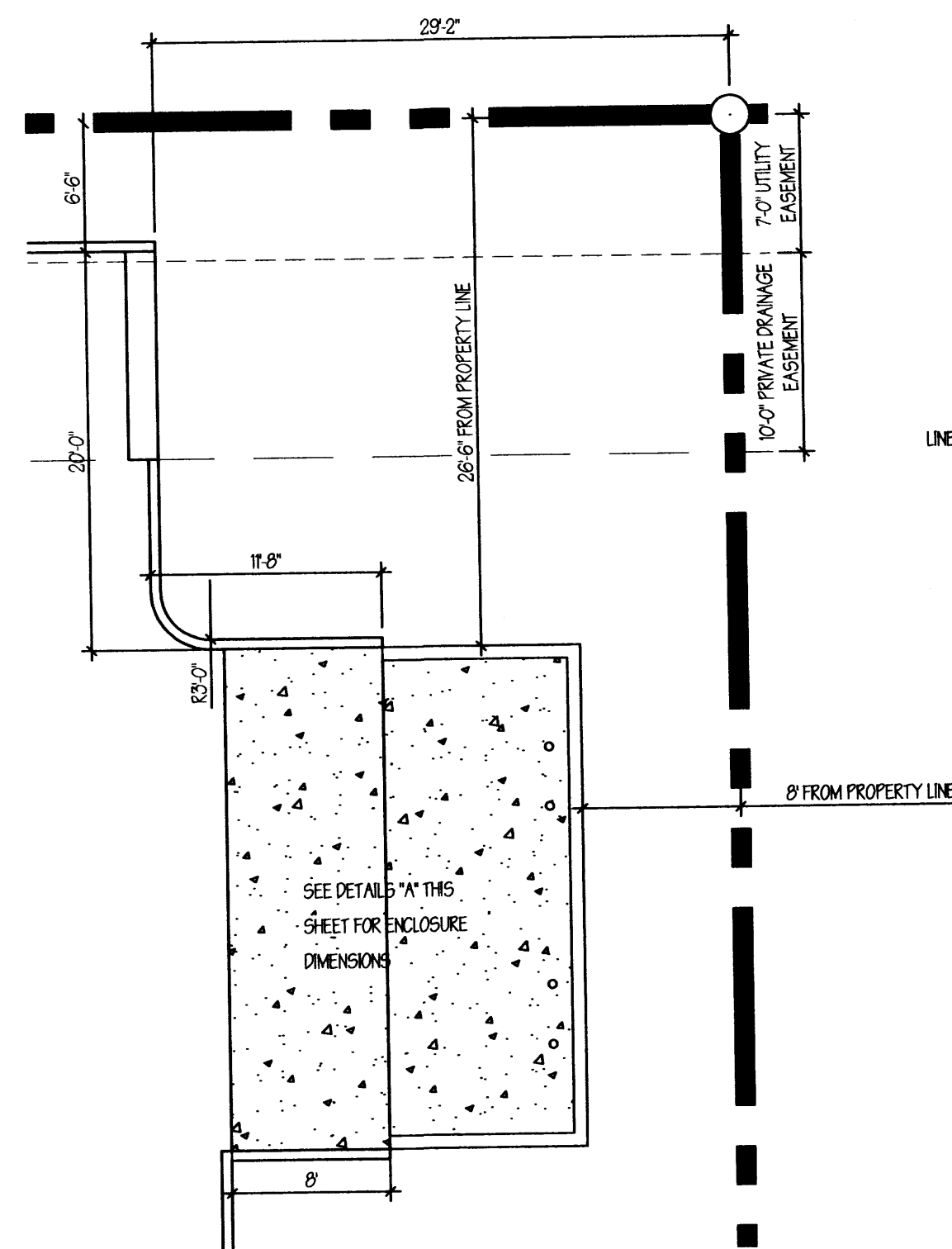
B REFUSE BIN LOCATION
1/8" = 1'-0"



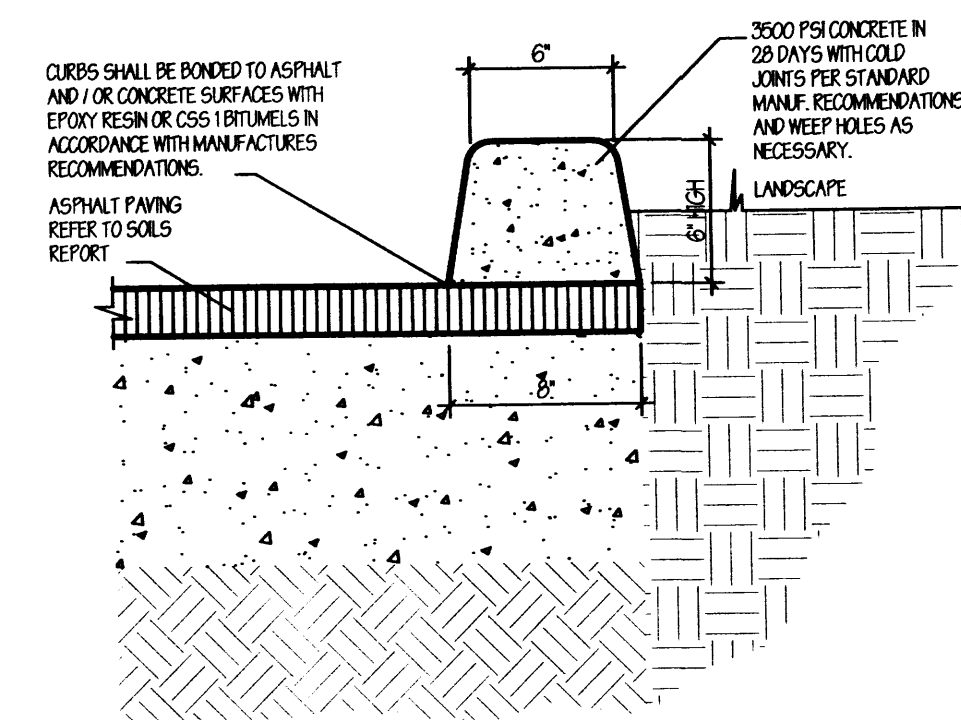
D CAR/VAN HANDICAP SIGN DETAILS
1/2" = 1'-0"



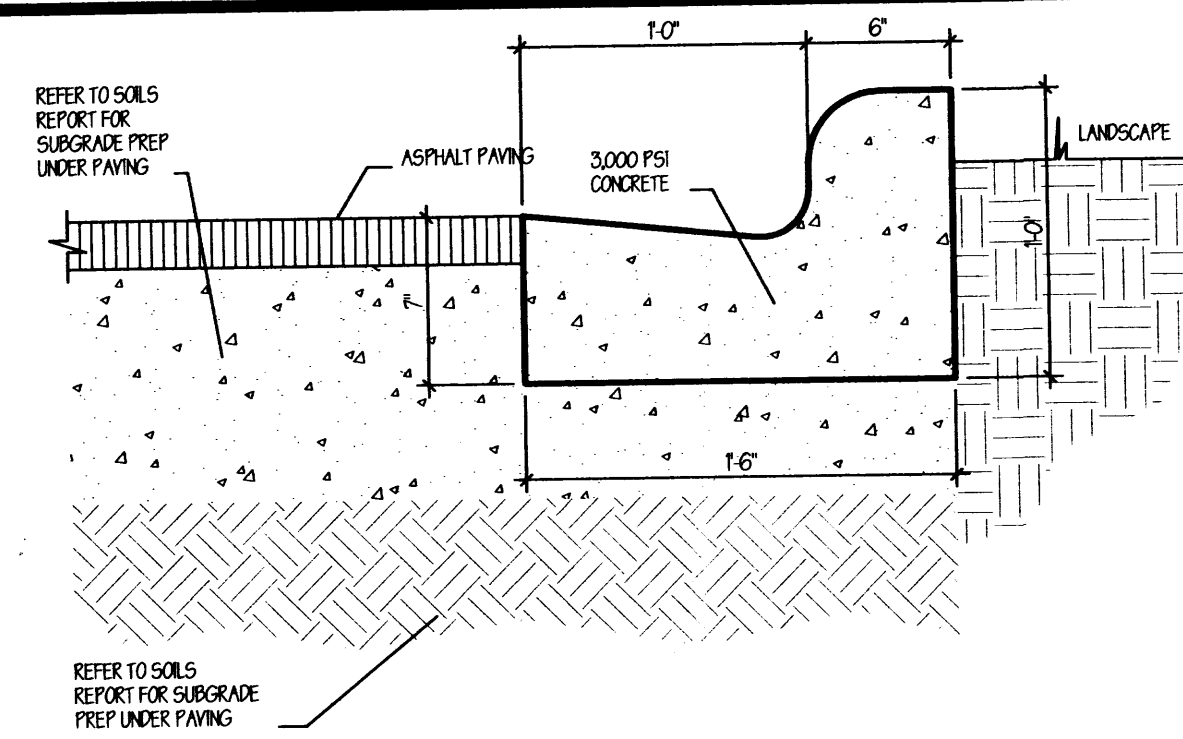
E CURB DETAIL
1 1/2" = 1'-0" CONTRACTOR OPTION



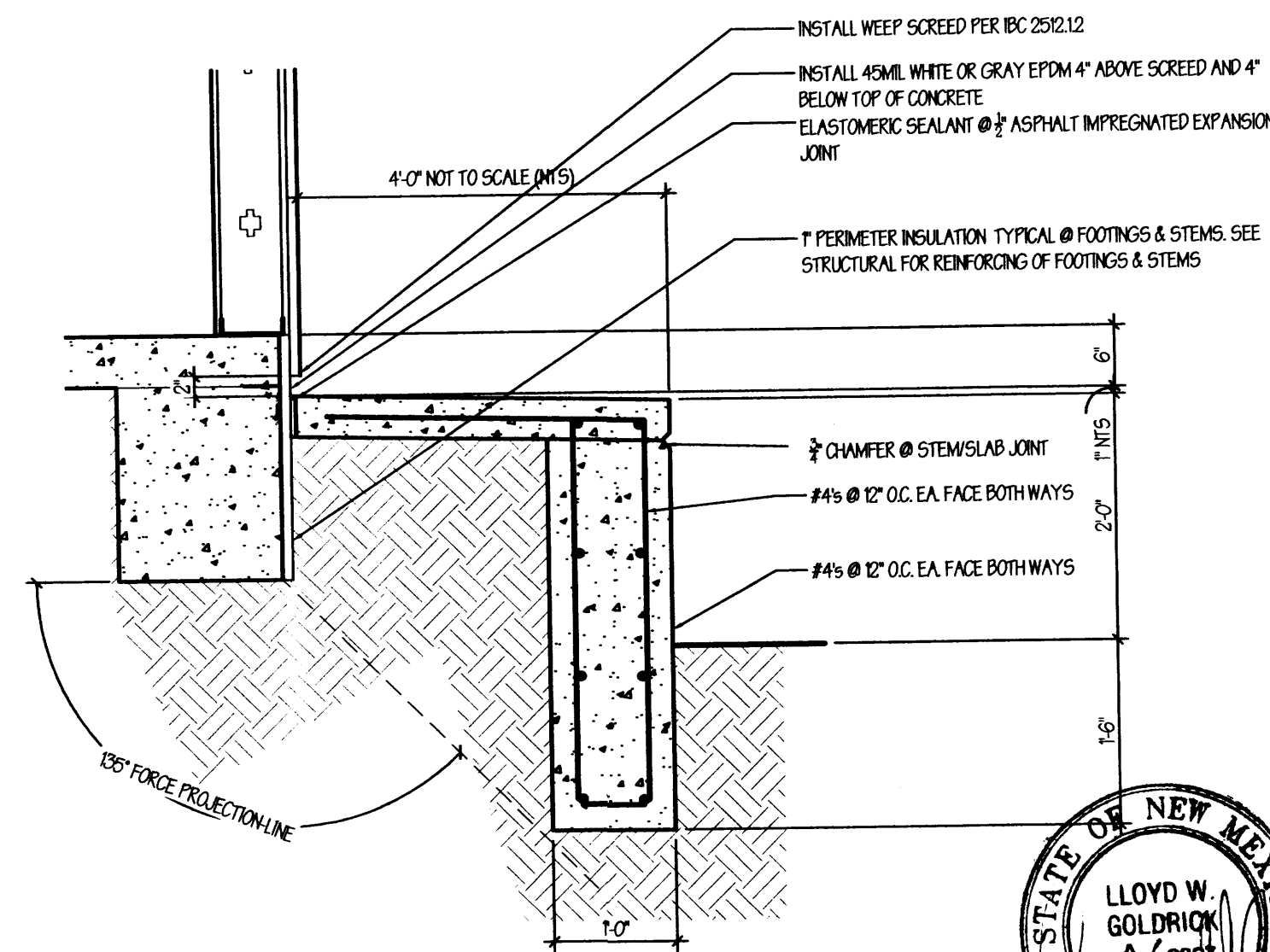
C REFUSE BIN LOCATION
1/8" = 1'-0"



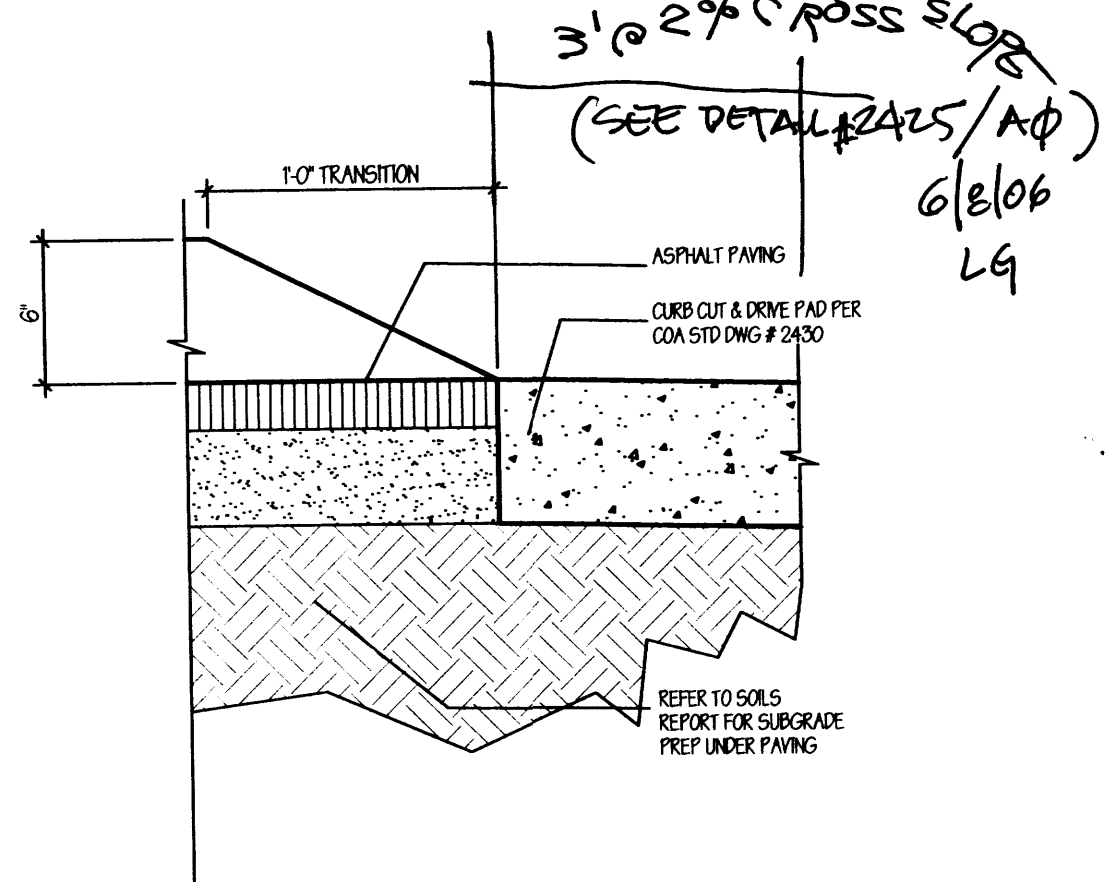
G PERMA CURB DETAIL
1 1/2" = 1'-0" CONTRACTOR OPTION



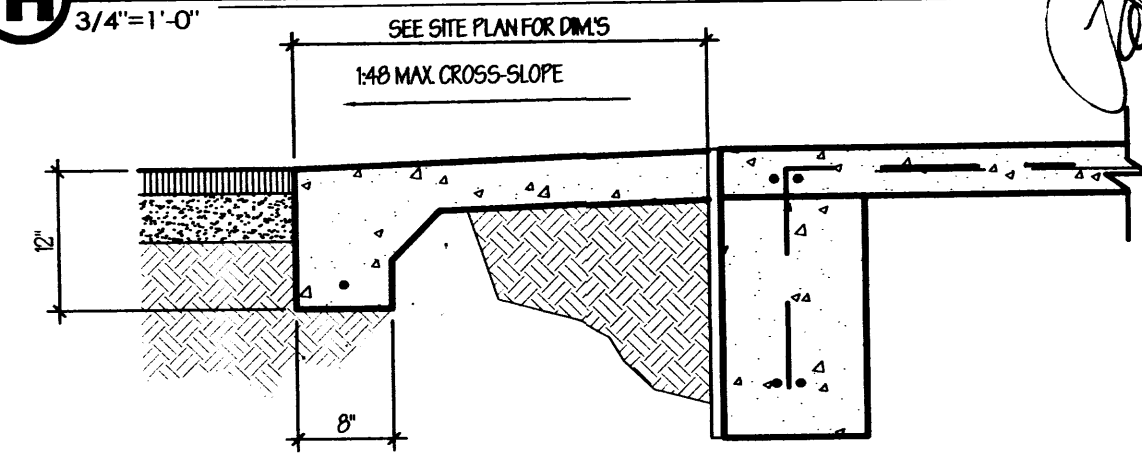
F CURB DETAIL
1 1/2" = 1'-0"



H FOOTING @ WEST SIDEWALK
3/4" = 1'-0"

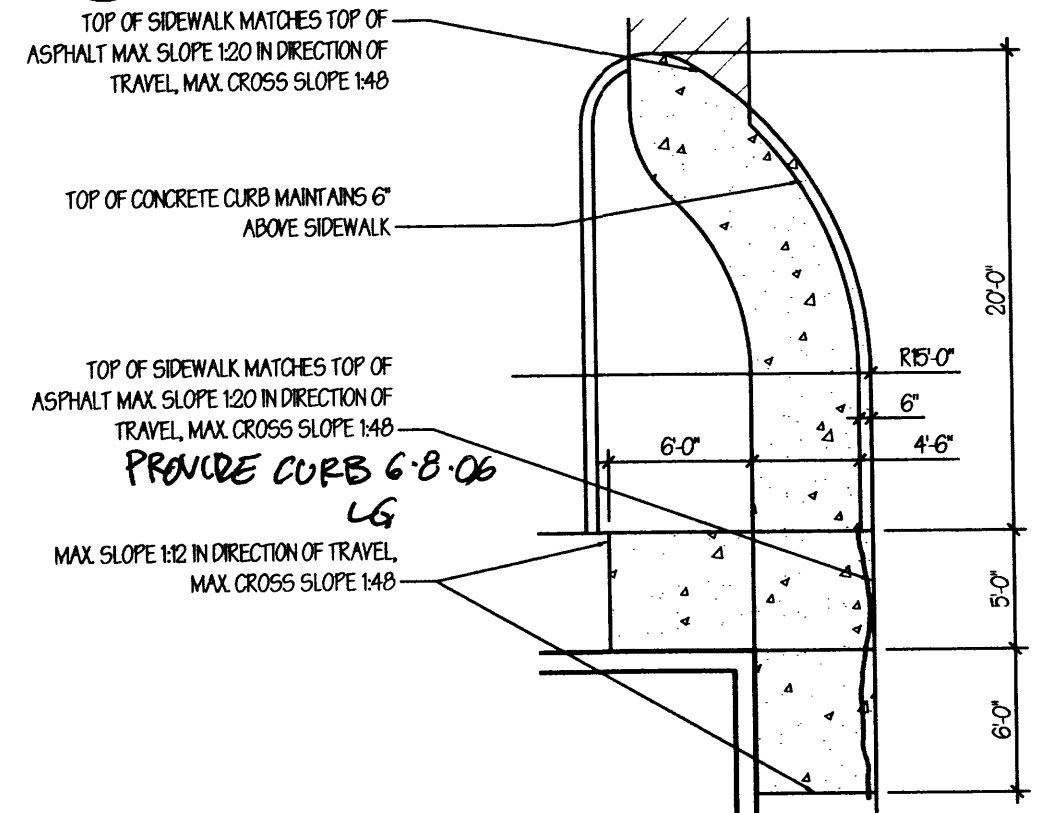


I CURB DETAIL
1 1/2" = 1'-0"



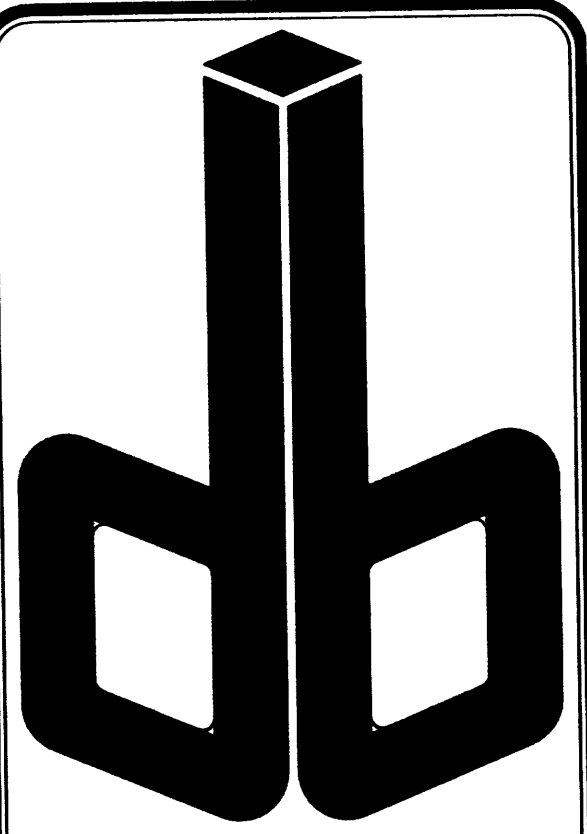
J SIDEWALK @ PAVING - FLUSH
3/4" = 1'-0"

K SIDEWALK @ PAVING - STEP
3/4" = 1'-0"



L SIDEWALK RAMP @ PAVING - FLUSH
3/4" = 1'-0"

M SIDEWALK RAMP @ PAVING - FLUSH
1/8" = 1'-0"



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DATE: 12/06/05
PLOT DATE: APRIL 14, 2006
REVISIONS:
FILE: A1 SITE DETAILS.dwg

PROPOSED BUILDING
FOR
**HARDWARE
BUSINESS PARK**
4811A, 4811B, 4811C, 4811D, 4811E
HARDWARE DRIVE NE
ALBUQUERQUE, NEW MEXICO 87109

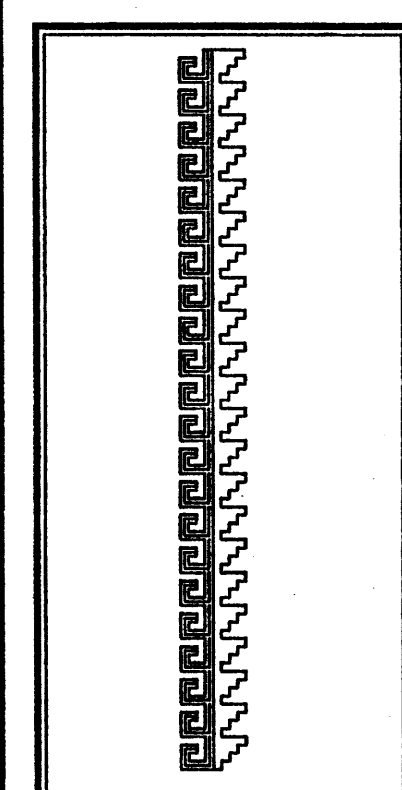
STATE OF NEW MEXICO
LLOYD W. GOLDRICK
NO. 2327
6.1.06
Professional Engineer

SITE DETAILS, PERMIT DATE
SHEET NO.
A1
JOB NO. 05-112 2 OF 57



JOB NO: XXXXXX
DATE: APRIL 2006
REVISIONS

Sheet Title
GRADING & DRAINAGE PLAN
Drawn By: HTH & BLM Checked By: ES



Job Title
**PROPOSED BUILDINGS FOR
SECO LIMITED PARTNERSHIP
4811 HARDWARE DRIVE N.E.
ALBUQUERQUE, NEW MEXICO**

SHEET NO. 1 OF 2
AD
RECEIVED
MAY 09 2006
HYDROLOGY SECTION

GRADING/ DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING 4811 HARDWARE DRIVE N.E. LOT 2 AND 3, BLOCK G, CASHWAY BUILDING MATERIALS INC. ALLWOODS, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 3.052 ACRES, MORE OR LESS AND IS LOCATED SOUTH OF THE INTERSECTION OF MCLEOD BLVD. N.E. AND HARDWARE DRIVE N.E. ON THE WEST SIDE OF HARDWARE DRIVE N.E. THE SITE IN ITS PRESENT CONDITION IS VACANT WITH THE TERRAIN SLOPING FROM EAST TO WEST. RUN-OFF ENTERS THE SITE FROM THE NORTH PROPERTY AND IS ACCEPTED INTO THE 10' FOOT PRIVATE UTILITY AND DRAINAGE EASEMENT. NO OTHER FLOWS ENTER FROM ANY OTHER DIRECTION. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0139 E, REVISED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF FIVE BUILDINGS TOTALING 36,830 SQ. FT. ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. ALL THE DEVELOPED FLOWS WILL BE ROUTED WEST AND ONTO TO A 10' FOOT DRAINAGE AND UTILITY EASEMENT. A CONCEPTUAL GRADING AND DRAINAGE PLAN WAS PREPARED AND APPROVED BY THE C.D.A. HYDROLOGY DEPARTMENT (FILE F17-D70). THE APPROVED PLAN PROVIDED FOR A 10' FOOT DRAINAGE EASEMENT ALONG THE WEST PROPERTY LINE TO CONVEY THE DEVELOPED RUN-OFF TOWARDS AND INTO LUMBER AVENUE N.E. THROUGH THREE 24" SIDEWALK CULVERTS LOCATED ON THE NORTH SIDE OF LUMBER AVE. N.E. THERE IS AMPLE CAPACITY IN THE DRAINAGE SWALE, LUMBER AVE. N.E. AND DOWNSTREAM DRAINAGE FACILITIES FOR THE RUN-OFF. THE CALCULATIONS WHICH APPEAR HEREON ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

HYDROLIC CALCULATIONS

PROJECT AREA = 3.052001 ac.
SEGO BUILDINGS OFF OF HARDWARE DRIVE N.E.
ZONE 2
PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.

	EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.53 in.	1.56 cfs/ac.
TREATMENT B	0.78 in.	2.28 cfs/ac.
TREATMENT C	1.13 in.	3.14 cfs/ac.
TREATMENT D	2.12 in.	4.70 cfs/ac.

	EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A	0 ac.	0 ac.
TREATMENT B	0 ac.	0.34001 ac.
TREATMENT C	3.052001 ac.	0 ac.
TREATMENT D	0 ac.	2.71199 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53 x 0.00) + (0.78 x 0.00) + (1.13 x 3.05) + (2.12 x 0.00) / 3.05 ac.
= 1.13 in.
V100-360 = (1.13 x 3.05) / 12 = 0.287397 ac-ft = 12519 CF

EXISTING PEAK DISCHARGE:

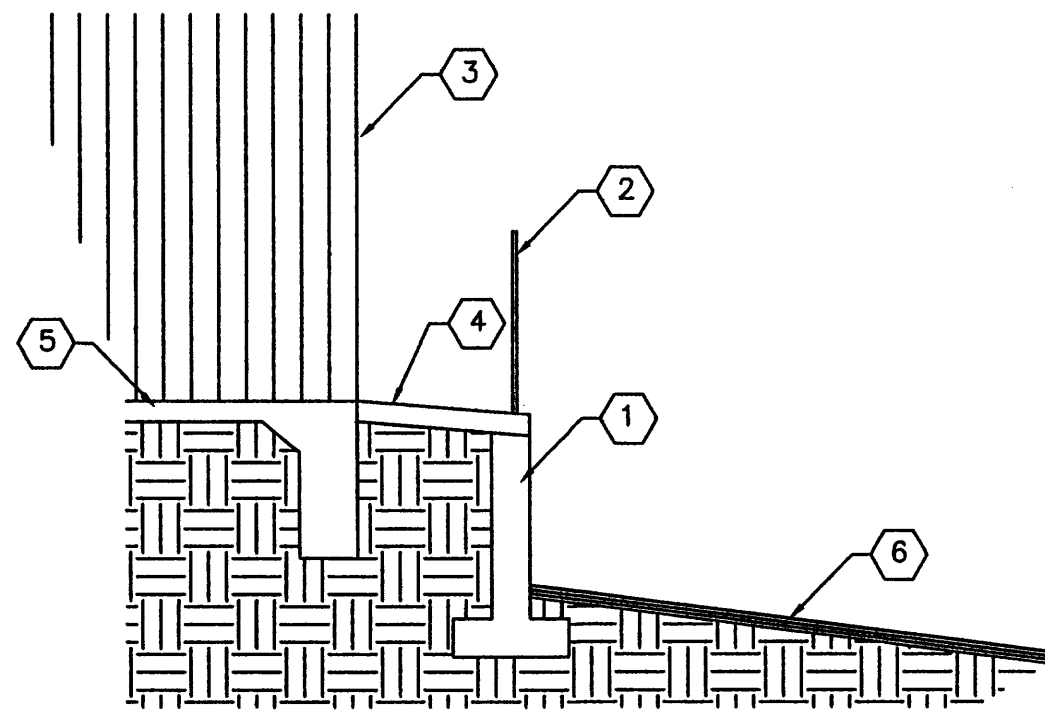
Q100 = (1.56 x 0.00) + (2.28 x 0.00) + (3.14 x 3.05) + (4.70 x 0.00) = 9.58 CFS ✓

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53 x 0.00) + (0.78 x 0.34) + (1.13 x 0.00) + (2.12 x 2.71) / 3.05 ac.
= 1.97 in.
V100-360 = (1.97 x 3.05) / 12.0 = 0.501219 ac-ft = 21833 CF
V100-1440 = (0.50 x 2.71) + (2.75 - 2.35) / 12 = 0.591619 ac-ft = 25771 CF
V100-10day = (0.50 x 2.71) + (3.95 - 2.35) / 12 = 0.862818 ac-ft = 37584 CF

PROPOSED PEAK DISCHARGE:

Q100 = (1.56 x 0.00) + (2.28 x 0.34) + (3.14 x 0.00) + (4.70 x 2.71) = 13.51 CFS ✓
INCREASE 12.75 CFS - 9.58 CFS = 3.17 CFS ✓

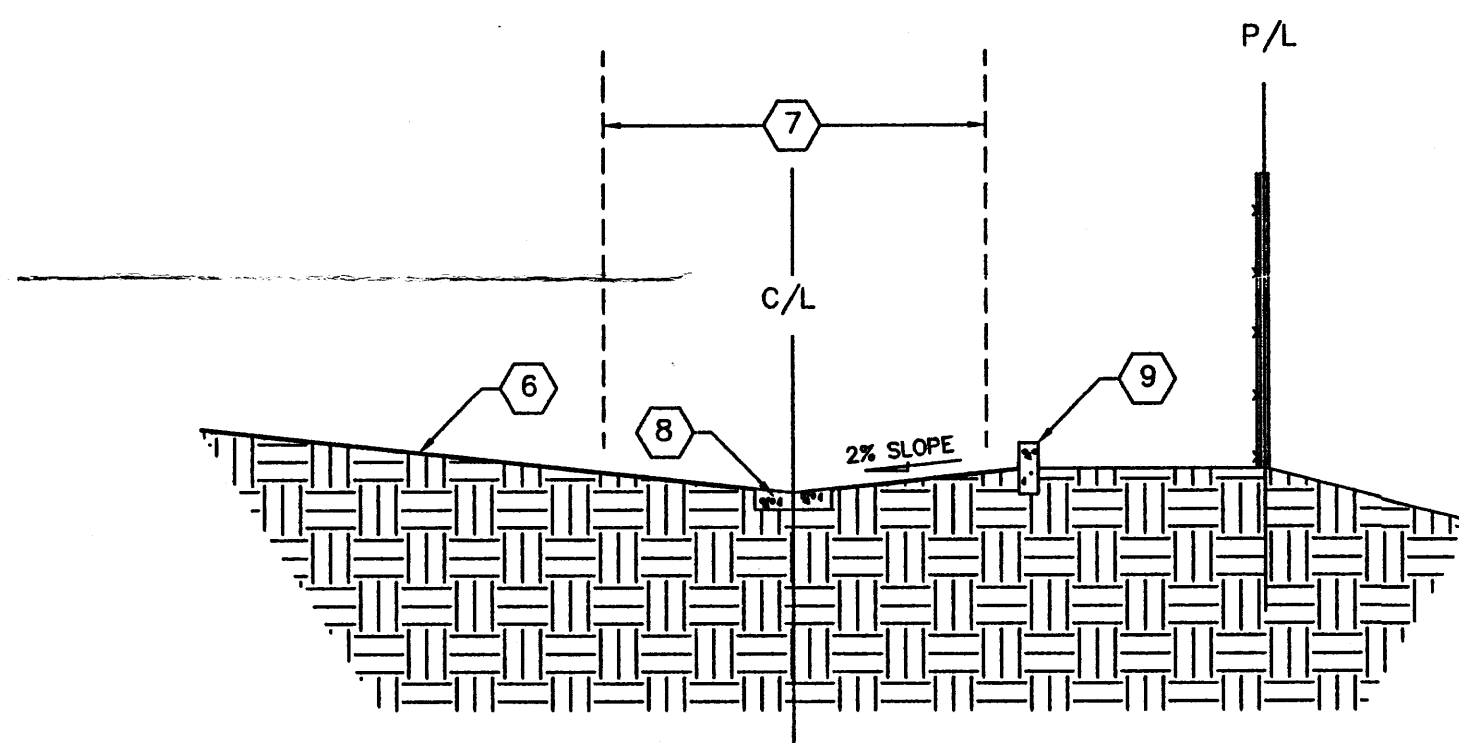


SECTION A-A

NOT TO SCALE

KEYED NOTES

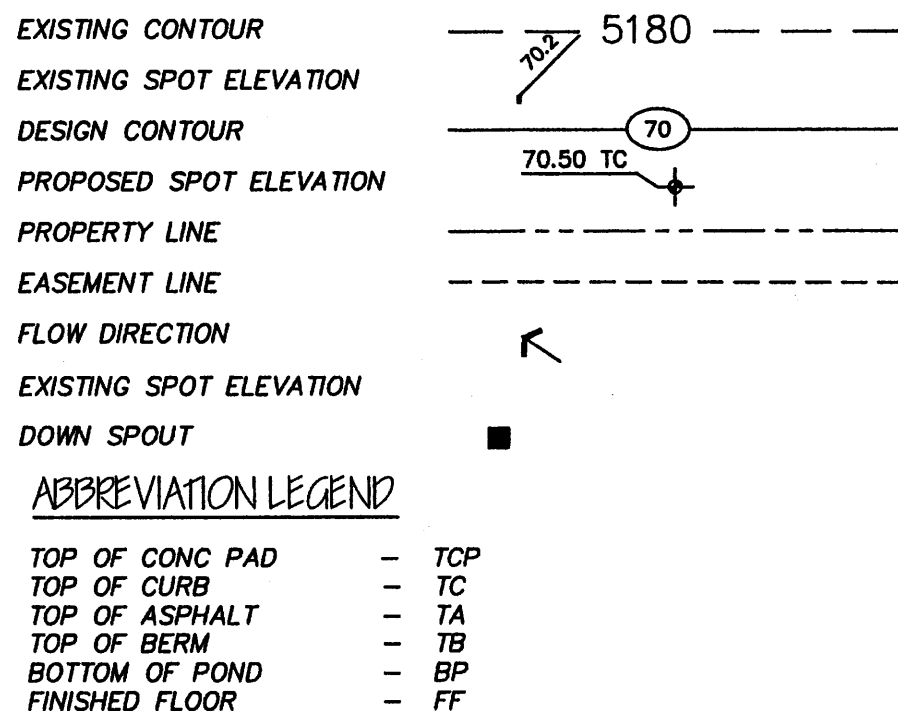
- 1) RETAINING WALL-DESIGNED BY OTHERS
- 2) HANDRAIL PER ADA
- 3) PROPOSED BUILDING LINE
- 4) PROPOSED SIDEWALK-SEE BUILDING PLANS FOR DIMENSIONS PROVIDE 2% SLOPE AWAY FROM BUILDING
- 5) PROPOSED FOUNDATION AND SLAB-SEE BUILDING PLANS
- 6) NEW ASPHALT PAVING
- 7) DRAINAGE EASEMENT
- 8) 2' WIDE ALLEY VALLEY GUTTER PER COA STD. 2415A
- 9) 6" HEADER CURB PER COA STD. 2415 B



SECTION B-B

NOT TO SCALE

SYMBOL LEGEND



ABBREVIATION LEGEND

TOP OF CONC PAD	-	TOP
TOP OF CURB	-	TC
TOP OF ASPHALT	-	TA
TOP OF BERM	-	TB
BOTTOM OF POND	-	BP
FINISHED FLOOR	-	FF

BDC	=	BACK OF CURB
DC	=	DRIVECUT
DI	=	DRAINAGE INLET
EA	=	EDGE OF ASPHALT
EC	=	EDGE OF CONCRETE
FL	=	FLOOD LINE
FP	=	FENCE POST
G	=	GROUND
HP	=	HIGH POINT

TRAPEZOIDAL CHANNEL ANALYSIS

NORMAL DEPTH COMPUTATION	
Flow Rate (cubic feet per second)	15.34
Channel Bottom Slope (feet per foot)	0.0056
Manning's Roughness Coefficient (n-value)	0.015
Channel Side Slope - Left Side (horizontal/vertical)	5
Channel Side Slope - Right Side (horizontal/vertical)	5
Channel Bottom Width (feet)	1
*** RESULTS ***	
NORMAL DEPTH (FEET)	0.85
Flow Velocity (feet per second)	4.16
Froude Number	1.118
Velocity Head (feet)	0.27
Energy Head (feet)	1.12
Cross-Sectional Area of Flow (square feet)	3.69
Top Width of Flow (feet)	8.59

LEGAL DESCRIPTION

LOT NUMBERED 3A, BLOCK G
CASHWAY BUILDING MATERIALS INC. ALLWOODS SUBDIVISION
BERNALILLO COUNTY, ALBUQUERQUE
NEW MEXICO.

BENCHMARK:

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "9-F18",
HAVING AN ELEVATION OF 5209.56
LOCATED IN THE MEDIAN ON SAN MATEO BLVD. NORTH OF MONTGOMERY RD.

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
 - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

NOTE TO CONTRACTOR:

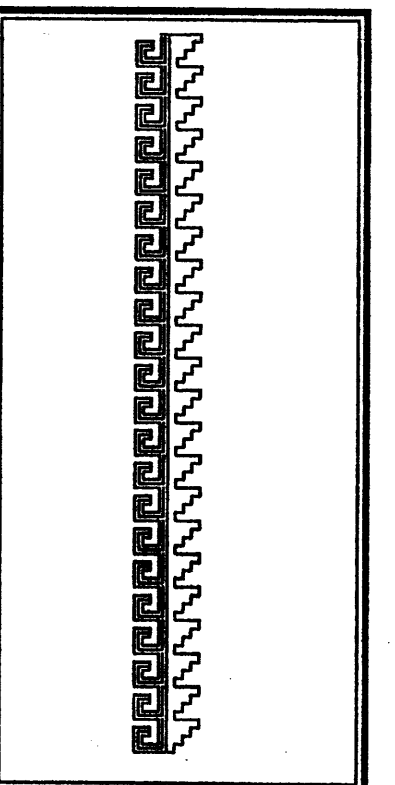
1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact line locating Services (760-1990) for locating existing sub-surface utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions; Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
5. Backfill compaction shall be according to commercial use or soils report(s) recommendations.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
7. Maintenance of this facilities shall be the responsibility of the owner of the property it serves

This is the proposed legal description
Must also include the existing legal description



JOB NO.	XXXXXX
DATE	APRIL 2006
REVISIONS	

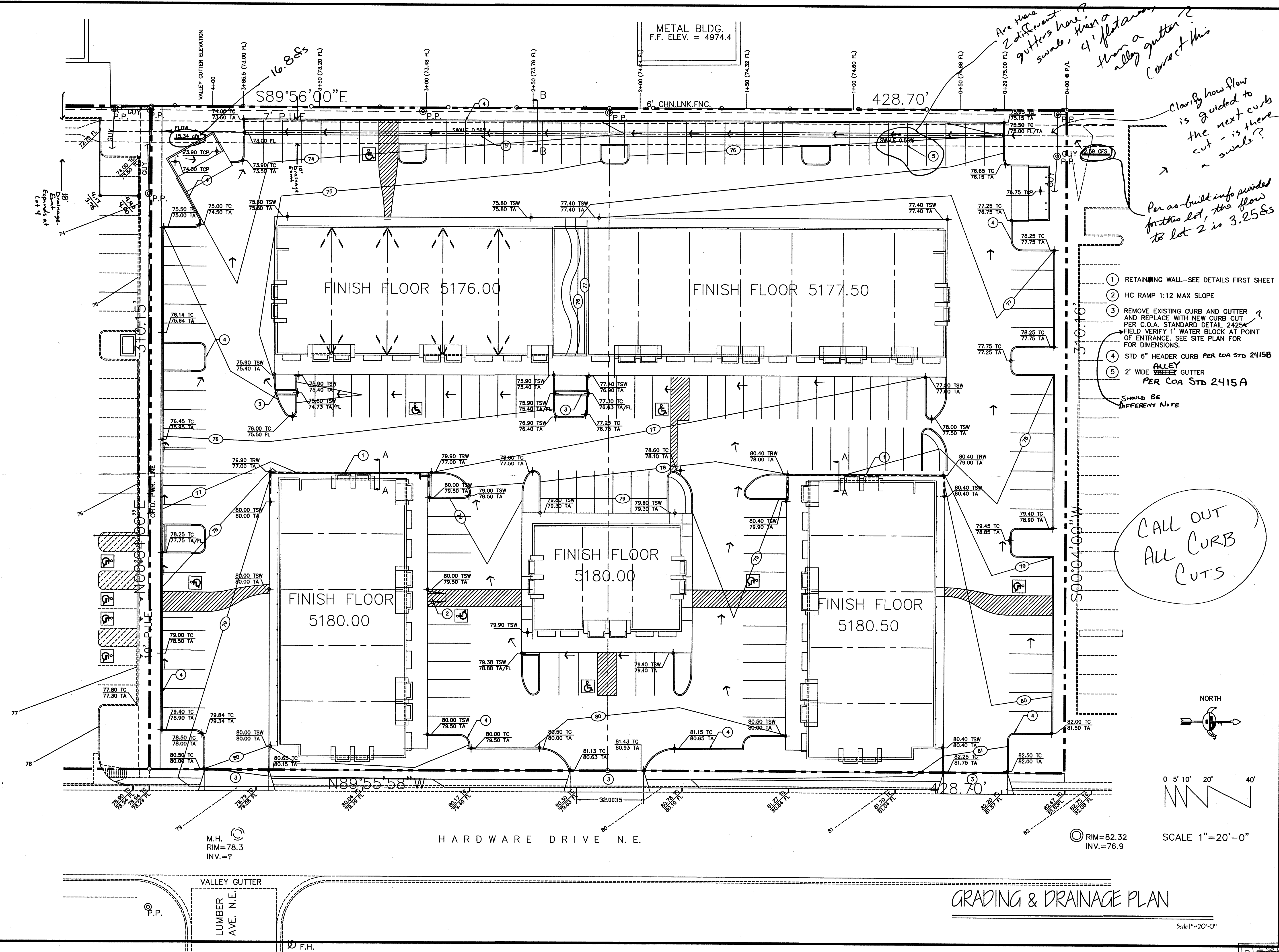
Sheet Title
GRADING & DRAINAGE PLAN
Drawn By: HTH & BLM Checked By: ES



Job Title
PROPOSED BUILDINGS FOR
SEGO LIMITED PARTNERSHIP
4811 HARDWARE DRIVE N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO. 2 OF 2
GD

REG. 14501
MAY 09 2006
HYDROLOGY SECTION



- 1 RETAINING WALL-SEE DETAILS FIRST SHEET
 - 2 HC RAMP 1:12 MAX SLOPE
 - 3 REMOVE EXISTING CURB AND GUTTER AND REPLACE WITH NEW CURB CUT PER C.O.A. STANDARD DETAIL 2425A. FIELD VERIFY 1' WATER BLOCK AT POINT OF ENTRANCE. SEE SITE PLAN FOR DIMENSIONS.
 - 4 STD 6" HEADER CURB PER COA STD 2415B
 - 5 2' WIDE ALLEY GUTTER PER COA STD 2415A
- SHOULD BE DIFFERENT NOTE

CALL OUT ALL CURB CUTS

Are there 2 different gutters here? swale, then a 4' flat area, then a valley gutter? Course of this

Clarify how flow is guided to the next curb cut - is there a swale?

Per as-built info provided for this lot, the flow to lot 2 is 3.25Ss

GRADING & DRAINAGE PLAN

Scale 1"=20'-0"

GENERAL LEGEND

EXISTING CONTOUR	
PROPOSED CONTOUR	24
EXISTING SPOT ELEVATION	
PROPOSED SPOT ELEVATION	56.4
FLOWLINE	
FLOW DIRECTION ARROW	
PROPOSED CONCRETE	
TOP OF CURB ELEVATION	TC
TOP OF WALL ELEVATION	TW
FLOWLINE ELEVATION	FL
TOP OF ASPHALT	TA
POWER POLE	PP
ROOF DRAIN/DOWN SPOUT	D.S.
RECORD DRAWING ELEV	x 77.49

BENCH MARK

A.C.S. BENCHMARK REFERENCE:
STATION "9-F18", A BRASS CAP
IN MEDIAN ON SAN MATEO BLVD.
NORTH OF MONTGOMERY ROAD.
ELEVATION = 5209.56

LEGAL DESCRIPTION

LOT 1, BLOCK G OF THE PLAT OF
CASHWAY BUILDING MATERIALS, INC.,
ALLWOODS SUBDIVISION.

SINGLE SLOPE ROOF (FIELD CHANGE) DOES NOT
AFFECT OVERALL DRAINAGE PLAN. LIMITATION
ON DISCHARGE WAS TO MCLEOD

CALCULATIONS

THE FOLLOWING CALCULATIONS WERE DEVELOPED
USING THE CITY OF ALBUQUERQUE DPM SECTION 22.2

SITE CHARACTERISTICS:
SITE LOCATION: ZONE 2
PRECIPITATION: P = 2.60 inches

LAND TREATMENT:
UNCOMPACTED SOIL - TREATMENT A
LANDSCAPE - TREATMENT B
COMPACTED SOIL - TREATMENT C
BUILDINGS & PAVING - TREATMENT D

EXCESS PRECIPITATION:
TREATMENT A E = 0.53 inches
TREATMENT B E = 0.78 inches
TREATMENT C E = 1.13 inches
TREATMENT D E = 2.12 inches

PEAK DISCHARGE:
TREATMENT A = 1.56 cfs/acre
TREATMENT B = 2.28 cfs/acre
TREATMENT C = 3.14 cfs/acre
TREATMENT D = 4.70 cfs/acre

AREA DRAINING TO LUMBER

TOTAL AREA	EXISTING	PROPOSED
TREATMENT A = 0.785 AC.		
TREATMENT B = 0.00 AC. = 0.0%	0.00 AC. = 0.0%	0.00 AC. = 0.0%
TREATMENT C = 0.00 AC. = 0.0%	0.083 AC. = 3.9%	0.083 AC. = 3.9%
TREATMENT D = 0.595 AC. = 100.0%	0.00 AC. = 0.0%	0.00 AC. = 0.0%
TREATMENT D = 0.00 AC. = 0.0%	0.512 AC. = 66.1%	0.512 AC. = 66.1%

ONSITE - EXCESS PRECIPITATION & VOLUMETRIC RUNOFF:

EXISTING RUNOFF:
WEIGHTED E = $[(0.53)(0.00) + (0.78)(0.00) + (1.13)(0.595) + (2.12)(0.00)] / 0.595$
= 1.13 inches

V100-6hr = $(1.13)(0.595) / 12 = 0.0575$ acre ft = 2,500 cf
DEVELOPED RUNOFF:

WEIGHTED E = $[(0.53)(0.00) + (0.78)(0.083) + (1.13)(0.00) + (2.12)(0.512)] / 0.695$
= 1.93 inches

V100-6hr = $(1.93)(0.595) / 12 = 0.0957$ acre ft = 4,170 cf

ONSITE - PEAK DISCHARGE:

EXISTING DISCHARGE:
Q100 = $(1.56)(0.00) + (2.28)(0.00) + (3.14)(0.595) + (4.70)(0.00) = 1.86$ cfs

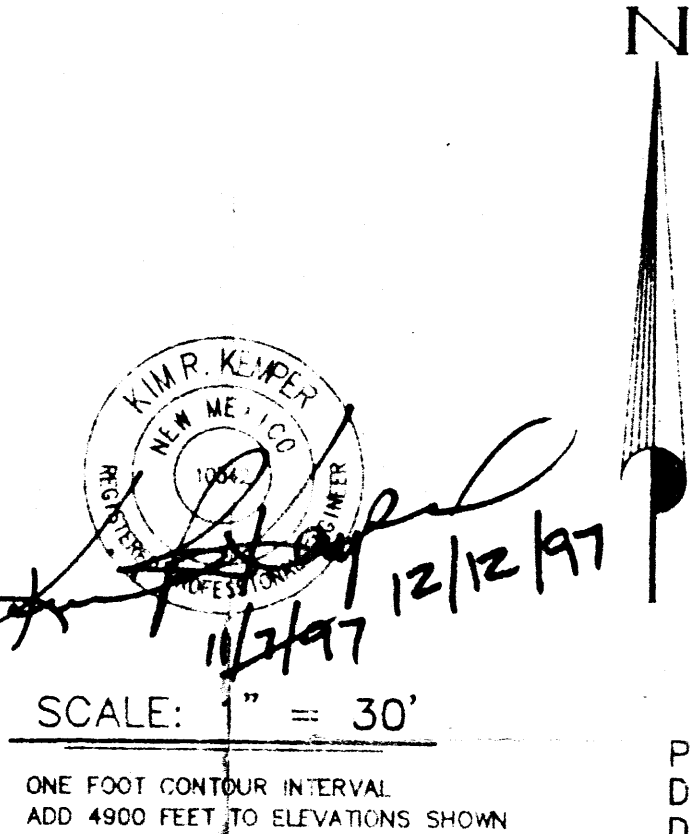
DEVELOPED DISCHARGE:
Q100 = $(1.56)(0.00) + (2.28)(0.083) + (3.14)(0.00) + (4.70)(0.512) = 2.59$ cfs

RESULTS:

TOTAL EXISTING VOLUMETRIC RUNOFF FROM SITE = 6,580 cf
TOTAL PROPOSED VOLUMETRIC RUNOFF FROM SITE = 10,740 cf
TOTAL EXISTING PEAK DISCHARGE FROM SITE = 4.98 cfs
TOTAL PROPOSED PEAK DISCHARGE FROM SITE = 6.73 cfs

REQUIREMENTS OF THE APPROVED SUBDIVISION CONCEPTUAL DRAINAGE PLAN (FILE F17-D70) LIMITS DISCHARGE TO MCLEOD TO 4.60 cfs. THIS REQUIREMENT HAS BEEN MET. THE REMAINING RUNOFF SHALL BE DIRECTED TO LUMBER AVE. AS SUCH THE CONSTRUCTION OF THE PROPOSED DRAINAGE SWALE SHOWN ON THE CONCEPTUAL PLAN SHALL BE CONSTRUCTED WITH THIS PROJECT. THIS IMPROVEMENT IS LIKELY TEMPORARY PENDING THE DEVELOPMENT OF THE REMAINING PARCELS IN THE SUBDIVISION. (SEE SHEET 2 OF THIS PLAN)

THIS SITE IS IN SUBSTANTIAL COMPLIANCE WITH THE
APPROVED GRADING AND DRAINAGE PLAN WITH
ENGINEERS SEAL DATED 12/12/97 (WITH THE REVISIONS
AS REFLECTED IN THE RECORD DRAWING ELEVATIONS
SHOWN HEREON). THE SITE DRAINAGE WILL FUNCTION
AS ORIGINALLY PROPOSED.



PROVIDE 4" PVC
DRAIN THROUGH
DUMPSTER ENCLOSURE

PROVIDE 2' OPENING
IN CURB AT CORNER

SEE SHT. 2 FOR CONTINUATION
OF SWALE GRADING

PROPOSED IMPROVEMENTS SITE PLAN

AREA DRAINING TO MCLEOD

TOTAL AREA	EXISTING	PROPOSED
TREATMENT A = 0.854 AC.		
TREATMENT B = 0.00 AC. = 0.0%	0.00 AC. = 0.0%	0.00 AC. = 0.0%
TREATMENT C = 0.00 AC. = 0.0%	0.220 AC. = 22.1%	0.220 AC. = 22.1%
TREATMENT D = 0.994 AC. = 100.0%	0.00 AC. = 0.0%	0.00 AC. = 0.0%
TREATMENT D = 0.00 AC. = 0.0%	0.774 AC. = 77.9%	0.774 AC. = 77.9%

ONSITE - EXCESS PRECIPITATION & VOLUMETRIC RUNOFF:

EXISTING RUNOFF:
WEIGHTED E = $[(0.53)(0.00) + (0.78)(0.00) + (1.13)(0.994) + (2.12)(0.00)] / 0.994$
= 1.13 inches

V100-6hr = $(1.13)(0.994) / 12 = 0.0936$ acre ft = 4,080 cf

DEVELOPED RUNOFF:

WEIGHTED E = $[(0.53)(0.00) + (0.78)(0.220) + (1.13)(0.00) + (2.12)(0.774)] / 0.994$
= 1.82 inches

V100-6hr = $(1.82)(0.994) / 12 = 0.1507$ acre ft = 6,570 cf

ONSITE - PEAK DISCHARGE:

EXISTING DISCHARGE:
Q100 = $(1.56)(0.00) + (2.28)(0.00) + (3.14)(0.994) + (4.70)(0.00) = 3.12$ cfs

DEVELOPED DISCHARGE:
Q100 = $(1.56)(0.00) + (2.28)(0.220) + (3.14)(0.00) + (4.70)(0.774) = 4.14$ cfs

DRAINAGE PLAN

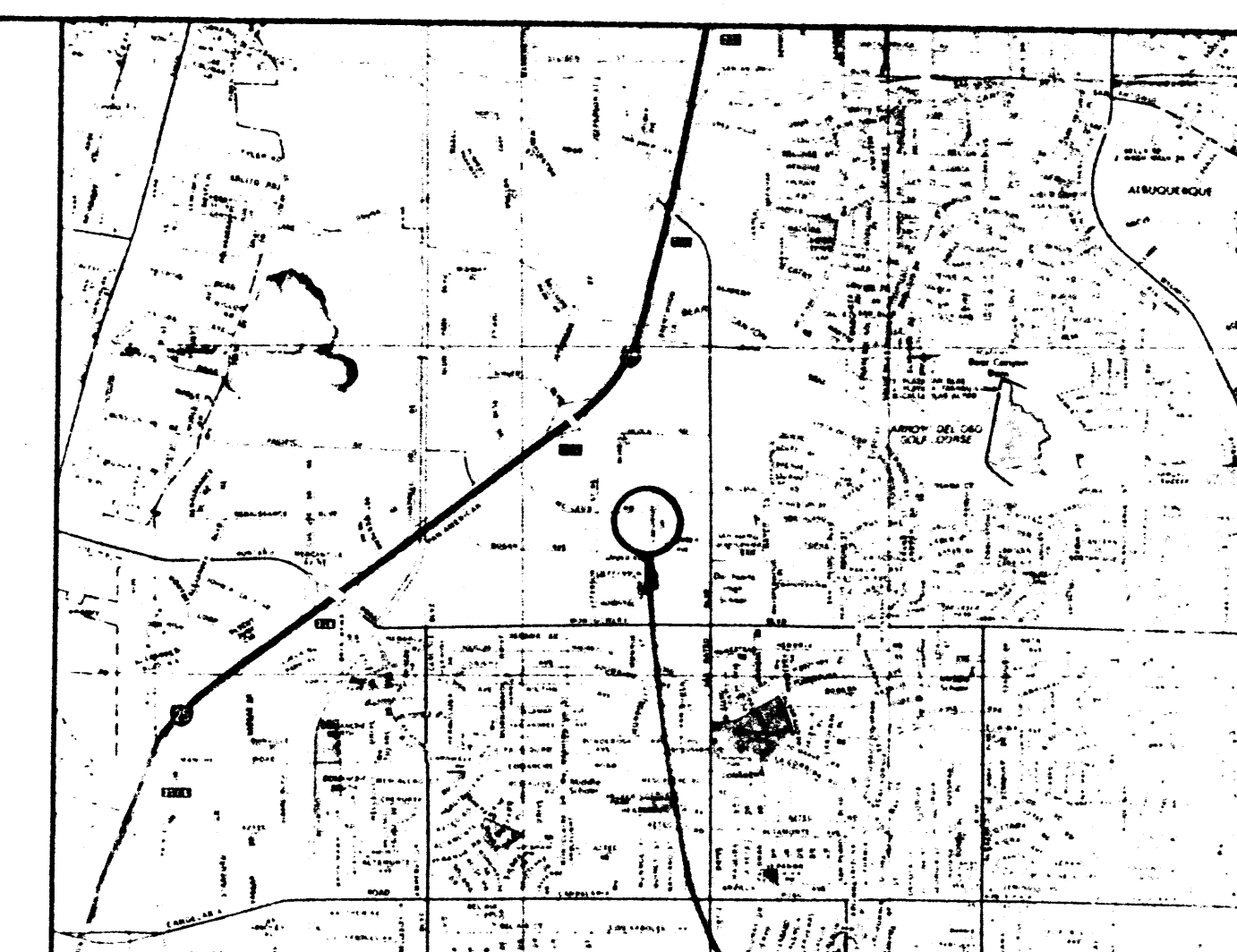
CURRENTLY THE SUBJECT SITE IS UNDEVELOPED. APPROXIMATELY 90 PERCENT OF THE SITE DRAINS TO MCLEOD ROAD AND THE REMAINING 10 PERCENT DRAINS TO LUMBER AVE. (IN THE UNDEVELOPED CONDITION).

A CONCEPTUAL GRADING AND DRAINAGE PLAN WAS PREPARED AND APPROVED FOR THIS SUBDIVISION - COA FILE F17-D70. DUE TO LIMITED DOWNSTREAM CAPACITY ON MCLEOD ROAD, DISCHARGE WAS LIMITED TO THE DESIGN STORM RUNOFF IN AN UNDEVELOPED CONDITION. THIS PEAK DISCHARGE LIMITATION WAS 4.6 cfs. THIS PLAN ACTUALLY REDUCES THE PEAK DISCHARGE IN A DESIGN STORM TO MCLEOD.

THE DESIGN STORM RUNOFF THAT WILL DISCHARGE FROM THIS SITE IS SLIGHTLY HIGHER THAN THAT IDENTIFIED ON THE CONCEPTUAL PLAN. THERE IS AMPLE CAPACITY IN THE DRAINAGE-SWALE, LUMBER AVE. AND THE DOWNSTREAM STORM DRAIN FACILITIES FOR THIS RUNOFF.

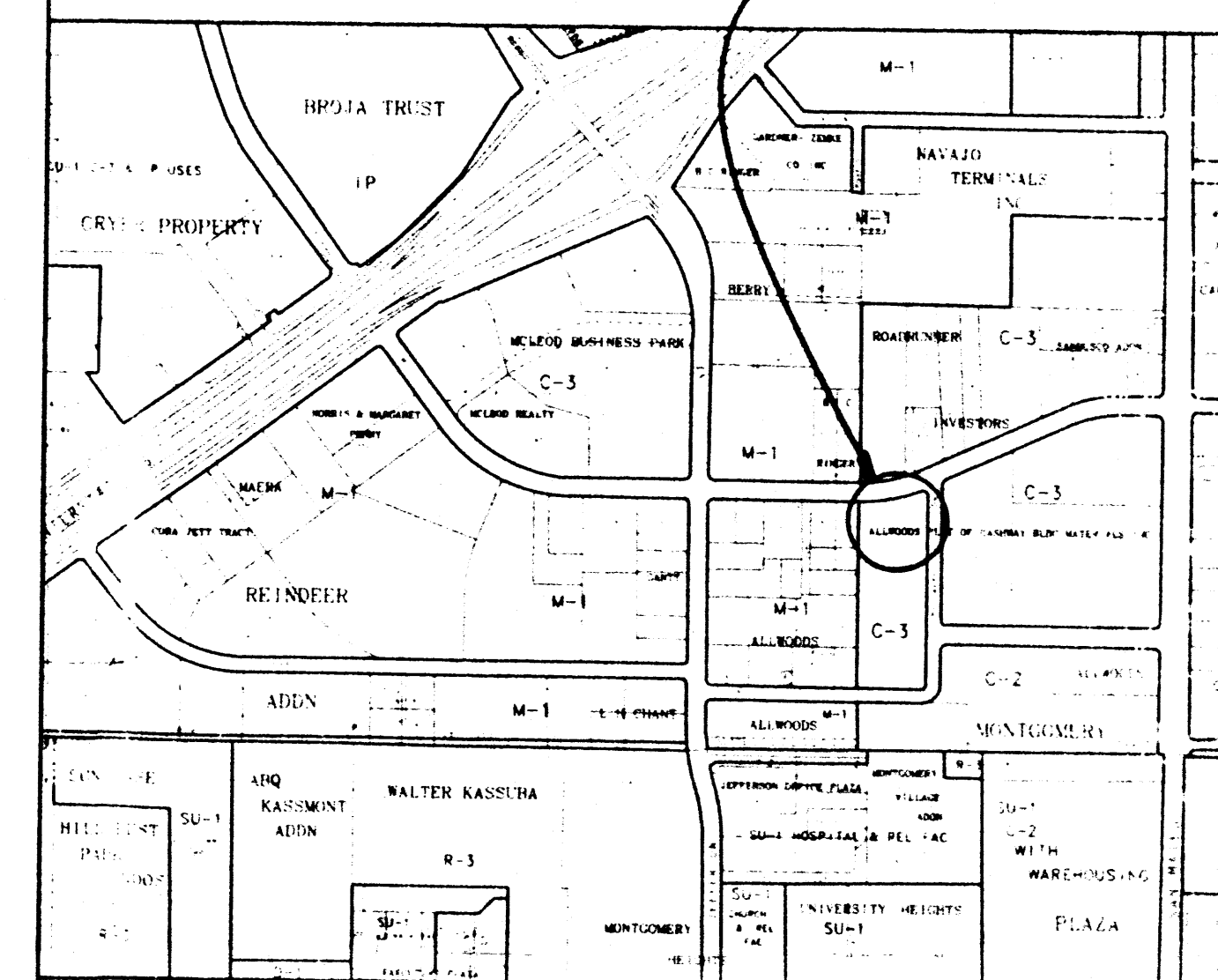
THE CONCEPTUAL PLAN IDENTIFIES THE CONSTRUCTION OF A DRAINAGE SWALE WITHIN A PRIVATE DRAINAGE EASEMENT ALONG THE WESTERN BOUNDARY OF BLOCK G. THE DEVELOPMENT OF THIS PARCEL WILL REQUIRE THAT THIS SWALE BE CONSTRUCTED NOW. SEE SHEET 2 OF THIS PLAN FOR DETAILS OF THIS CONSTRUCTION. ALL FOUR PARCELS ARE IN COMMON OWNERSHIP, SEGO LIMITED PARTNERSHIP.

THE EXISTING SURVEY INFORMATION SHOWN HEREON WAS PREPARED FROM A FIELD SURVEY DONE BY RIO GRANDE SURVEYING CO., INC., IN AUGUST OF 1997. A SUBSEQUENT FIELD REVIEW BY THIS OFFICE REVEALED THAT THE INFORMATION SHOWN HEREON IS CONSISTENT WITH THE ACTUAL CONDITIONS THAT EXIST IN THE FIELD.



LOCATION MAP

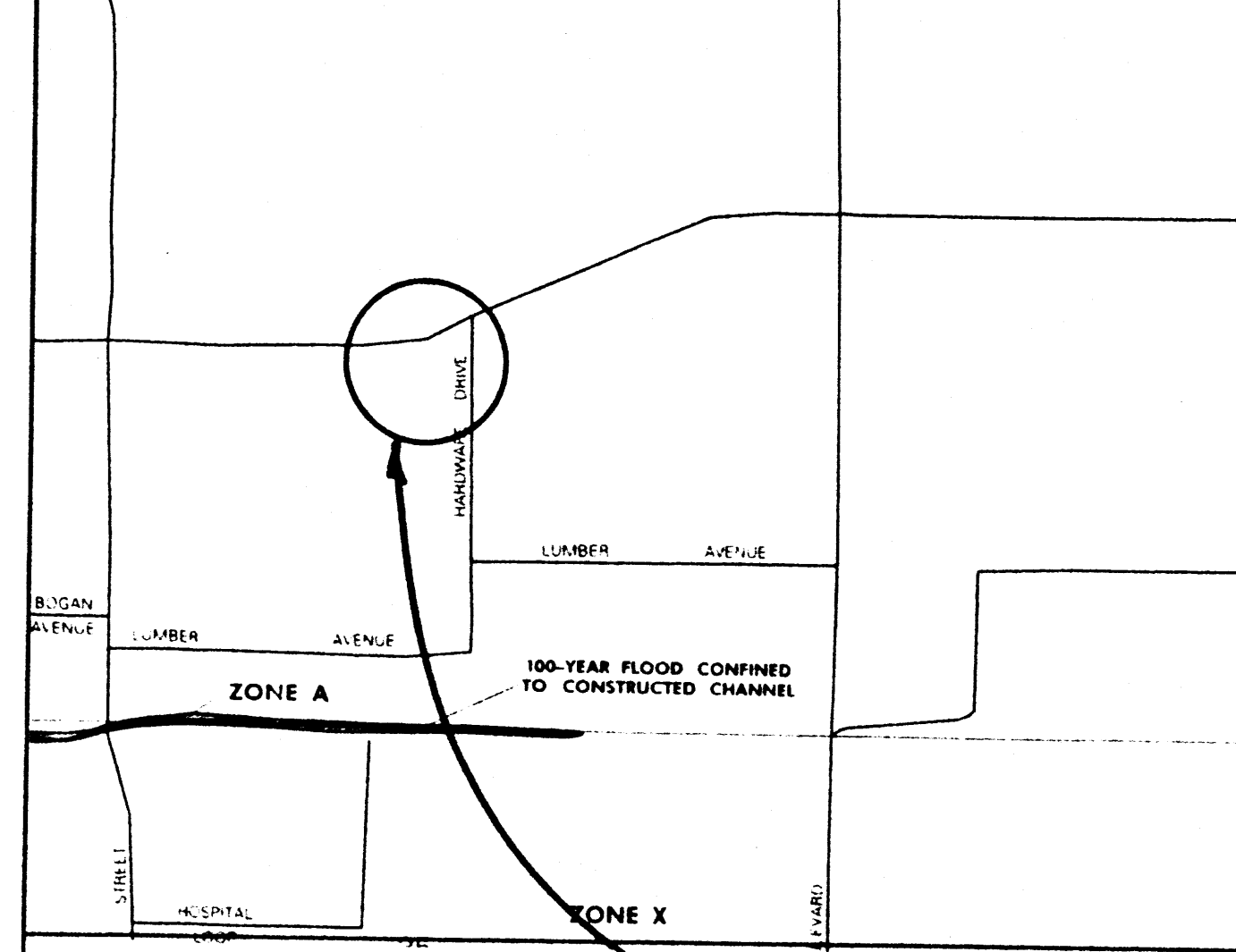
PROJECT LOCATION



ZONE MAP

F-17

ZONE X



FLOOD BOUNDARY MAP

PROJECT LOCATION

FOR INFO ONLY

LOT 1 BLK G CASHWAY SUBDIVISION

GRADING AND DRAINAGE PLAN

KEMPER-VAUGHAN

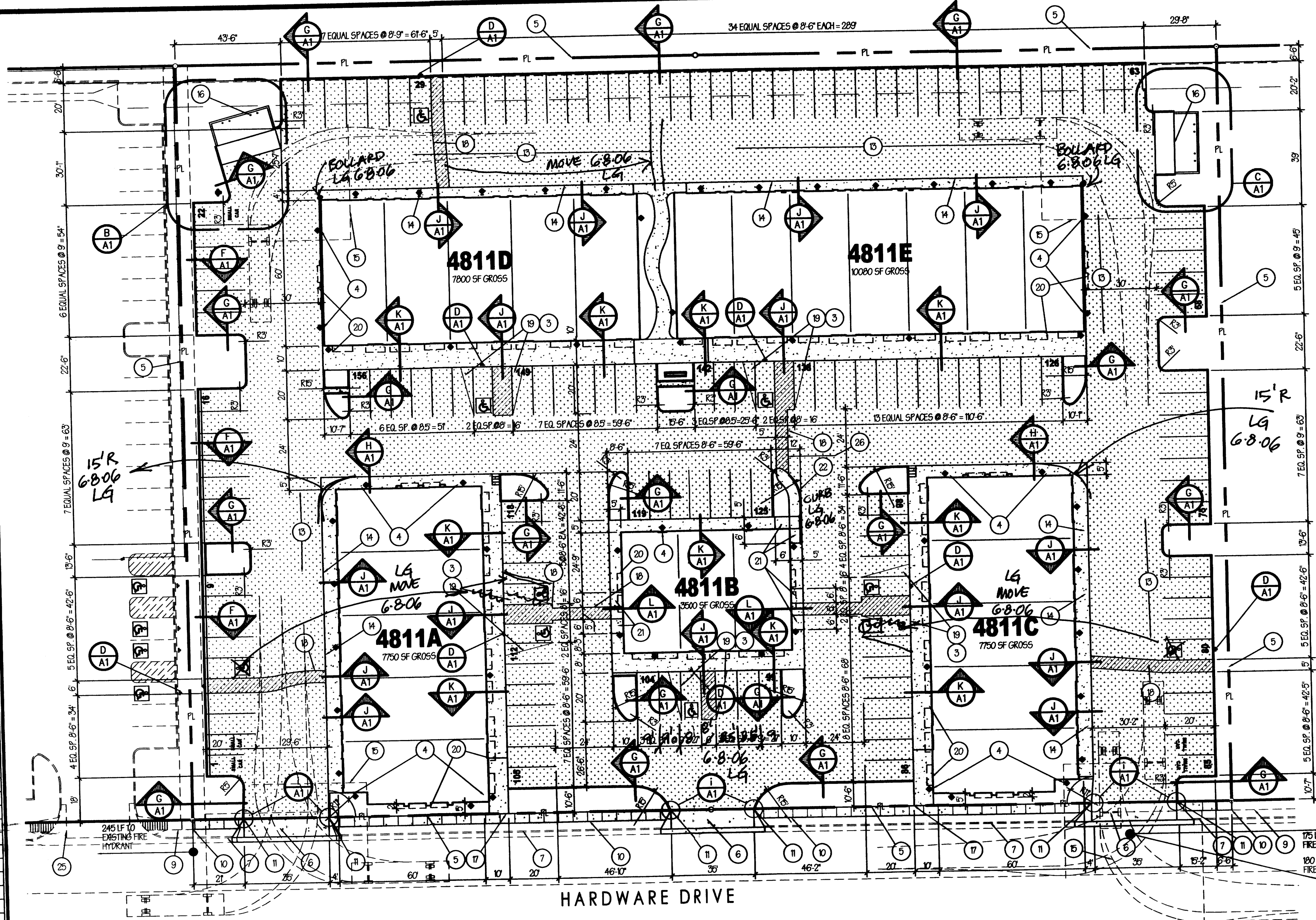
CONSULTING ENGINEERS

3700 COORS RD. N.W. • ALBUQUERQUE, NEW MEXICO 87120 • (505) 831-4520

Designed KRK Drawn SE Checked KRK Sheet 1 of 2

Date NOVEMBER 1997

INDEX TO CONSTRUCTION DRAWINGS		
SHT. NO.	DESCRIPTION	SHT. NO.
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A1	SITE DETAILS	2
A2	PERMIT DATA, CODE ANALYSIS GRAPHICS	3
C1	DRAINAGE PLAN, DETAILS, NOTES	4
L1	LANDSCAPE PLAN, DETAILS, NOTES	5
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A5	CROSS SECTIONS, WALL SECTIONS, NOTES	15
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A51	WALL SECTIONS, NOTES	
A52	WALL SECTIONS, NOTES	
E2	POWER RISER DIAGRAMS, CALCS, NOTES	



TRAFFIC CIRCULATION LAYOUT

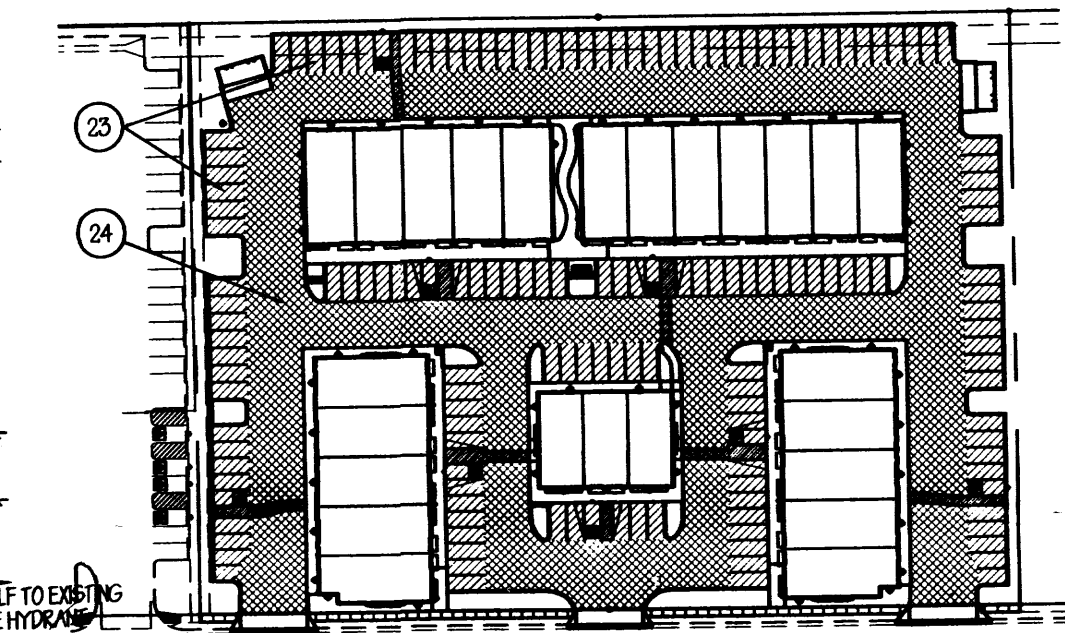
1"=30'-0"



TRAFFIC CIRCULATION LAYOUT
APPROVED
4/5/12/06
Signed _____ Date _____

KEYED NOTES:

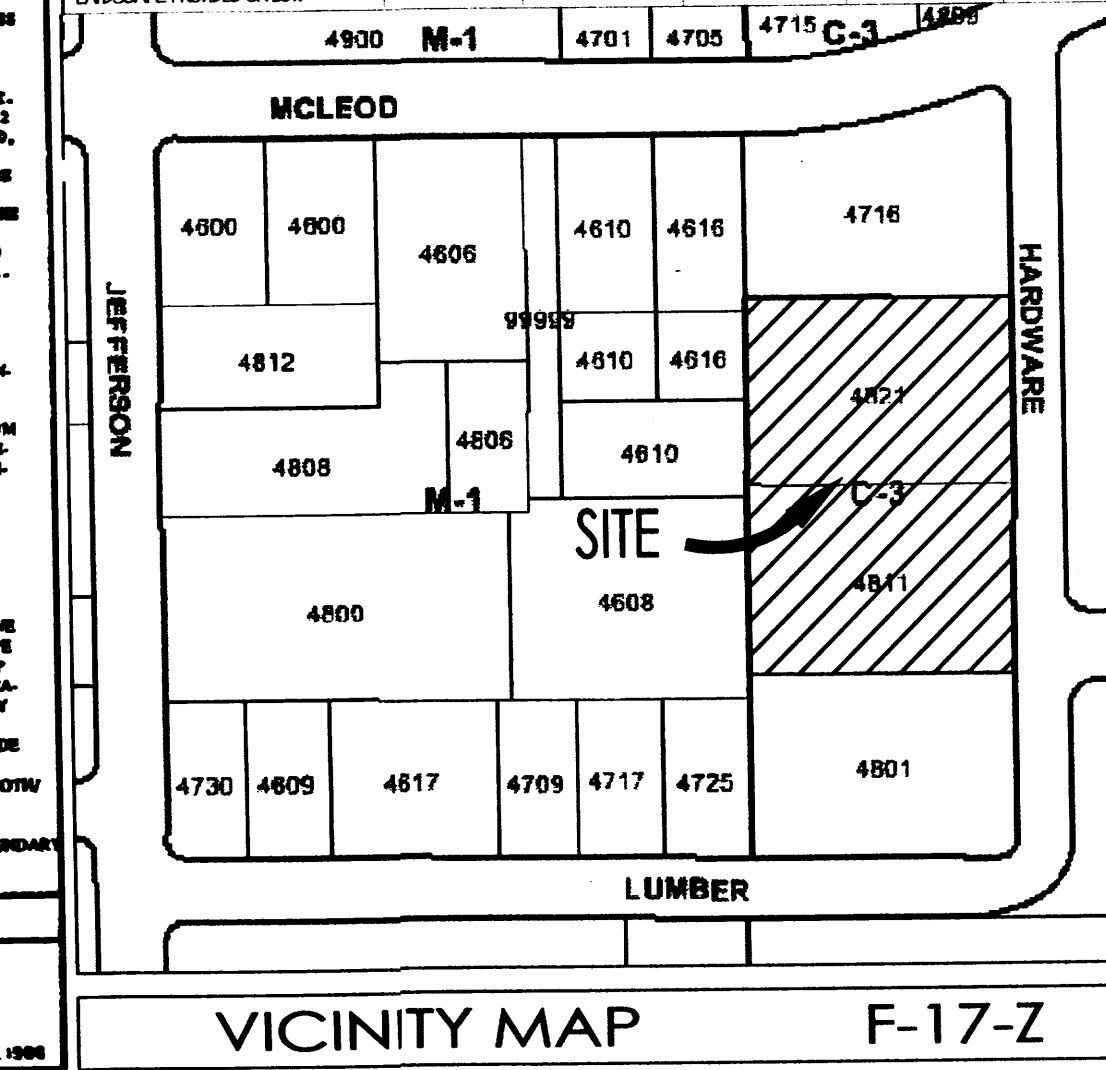
- NOTES 1 THRU 12 CORRESPOND TO THE COMMENTS WITH THE SAME NUMBERED ITEMS IN A LETTER RECEIVED 5/10/06 FROM NLO DELGADO-FERNANDEZ, PE & DATED 5/10/06. THE BALANCE OF THE NOTES RESPOND TO THE WRITTEN COMMENTS AS NOTED ON THE MARKED UP PLAN WHICH ACCOMPANIED THE LETTER.
- THIS SITE WILL NOT BE PHASED. RATHER ALL BUILDINGS WILL BE PERMITTED FOR SHELL CONSTRUCTION AT ONE TIME & RECEIVE A CERTIFICATE OF COMPLETION. TENANT BUILD-OUTS WILL BE SUBMITTED FOR SEPARATE PERMITS.
- THRESHOLD FOR TRIP GENERATION ANALYSIS: 15,000 SF, TOTAL AREA FOR ALL FIVE BUILDINGS IS 36,800 SF.
- AN ACCESSIBLE SPACE (ONE PROVIDED PER BUILDING).
- LIGHTING IS LIMITED TO THAT WHICH IS PROVIDED ON EACH BUILDING - THERE IS NO "SITE LIGHTING" ON EACH BUILDING. LIGHTING SHALL BE INSTALLED SUCH THAT IT WILL NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT-CANDERELS, AND NO LIGHT FIXTURE SHALL BE MOUNTED HIGHER THAN 20 FEET ON BUILDINGS MEASURED FROM FINISH GRADE TO TOP OF FIXTURE.
- THE PROPERTY LINES & RIGHTS-OF-WAY LINES ARE INDICATED BY PHANTOM LINE TYPE IN BOLD BLACK, & "PL" TEXT HAS BEEN ADDED FOR CLARITY. THE EASTERLY PROPERTY LINE ALONG HARDWARE IS THE WESTERLY ROW OF HARDWARE, OR.
- CURB CUTS WILL BE CONSTRUCTED PER CITY STANDARD DWG # 2425.
- CURB & GUTTER EXISTS ALONG HARDWARE DRIVE AS INDICATED BY DASHED LINES & NOTES.
- SHEET A1 SHOWING DETAILS IS INCLUDED IN THIS SUBMISSION.
- LOCATION OF EXISTING 4" WIDE SIDEWALK AS INDICATED BY DASHED LINES & NOTES. SINCE THE PROPOSED WALK & THE EXISTING WALK ARE OF THE SAME WIDTH & ORIENTATION, NO TRANSITIONS ARE REQUIRED.
- NEW SIDEWALK IS SHOWN HATCHED WITHIN THE CITY RIGHT-OF-WAY PER CITY OF ALBUQUERQUE STANDARD DRAWING #2425. SECTION B MATCH ELEVATION OF EXISTING 4" WIDE SIDEWALK AT JUNCTION.
- CURB TO DRIVE PAD TRANSITION DETAIL SHEET A1.
- SEE PLAN FOR RESPONSES TO ADDITIONAL COMMENTS SHOWN ON THE TOL SUBMITTAL.
- CONDOMINIUM AGREEMENT PROVIDES FOR SHARED ACCESS & PARKING RECORDS AT THE OFFICE OF THE COUNTY CLERK, 51002006, BOOK A16, PAGE 809.
- 4" WIDE APRON AT DELIVERY AREA IN FRONT OF OVERHEAD DOOR LOCATIONS.
- DELIVERY ROUTE - SHOWN AS DASHED LINES, FOR VEHICLES AS LARGE AS P-40, SET TURNING RADIUS ON TO EXCEED 140'. SEE DETAIL W-1.
- SOLID WASTE APPROVAL IS PENDING.
- CONCRETE SIDEWALK INTERSECTS THE PUBLIC SIDEWALK. SLOPE SHALL NOT EXCEED 120.
- 5" WIDE PERMANENT PAINTED STOPPED WALKS.
- HANDICAP SPACE FLUSH WITH SIDEWALK MAX CROSS SLOPE 1:40. SLOPE GRADES @ ADJACENT PARKING SPACES AS REQUIRED.
- DASHED LINE INDICATES OVER HEAD PLUG FEATURE.
- RAMP DOWN 12% SLOPE MAX.
- 4'-6" WIDE CONCRETE SIDEWALK WITH 6" CURB ADJACENT, SLOPE NOT TO EXCEED 120, CROSS SLOPE NOT TO EXCEED 1/4". SEE DETAIL W-1.
- 2" ASPHALTIC CONCRETE OVER 4" BASE COURSE TYPICAL IN SINGLE HATCHED AREAS.
- 3" ASPHALTIC CONCRETE OVER 4" BASE COURSE TYPICAL IN DOUBLE HATCHED AREAS.
- PRIVATE DRIVE ON ADJACENT PROPERTY.
- SITE GRADING IS SUCH THAT NO ACCESS FROM 4811D & 4811E THAT DOES NOT EXCEED 120 SLOPE EXCEPT THAT WHICH OCCURS AT THIS LOCATION.



PAVING KEY

PARKING ANALYSIS:				
AREA	NET AVAILABLE	DM FACTOR	% ASSUMED	TOTAL REQUIRED
OFFICE 481A	7604	2000	0.25	28
WAREHOUSE 481A	7604	2000	0.25	1
OFFICE 481B	7604	2000	0.25	28
WAREHOUSE 481B	7604	2000	0.25	1
OFFICE 481C	7604	2000	0.25	28
WAREHOUSE 481C	7604	2000	0.25	1
OFFICE 481D	7604	2000	0.25	28
WAREHOUSE 481D	7604	2000	0.25	1
OFFICE 481E	7604	2000	0.25	28
WAREHOUSE 481E	7604	2000	0.25	1
TOTAL REQUIRED				141
TOTAL PROVIDED				141
REQUIRED HANDICAP PARKING SPACES (VEHICLE PARKING REQUIRED SPACE FOR 141 PARKING SPACES)				
				8

LANDSCAPE REQUIREMENTS:				
LANDSCAPE	125000			500 ACRES
LANDSCAPE PROVIDED ON SITE	125000			500 ACRES
LANDSCAPE REQUIRED	125000			500 ACRES
LANDSCAPE PROVIDED ON SITE	125000			500 ACRES



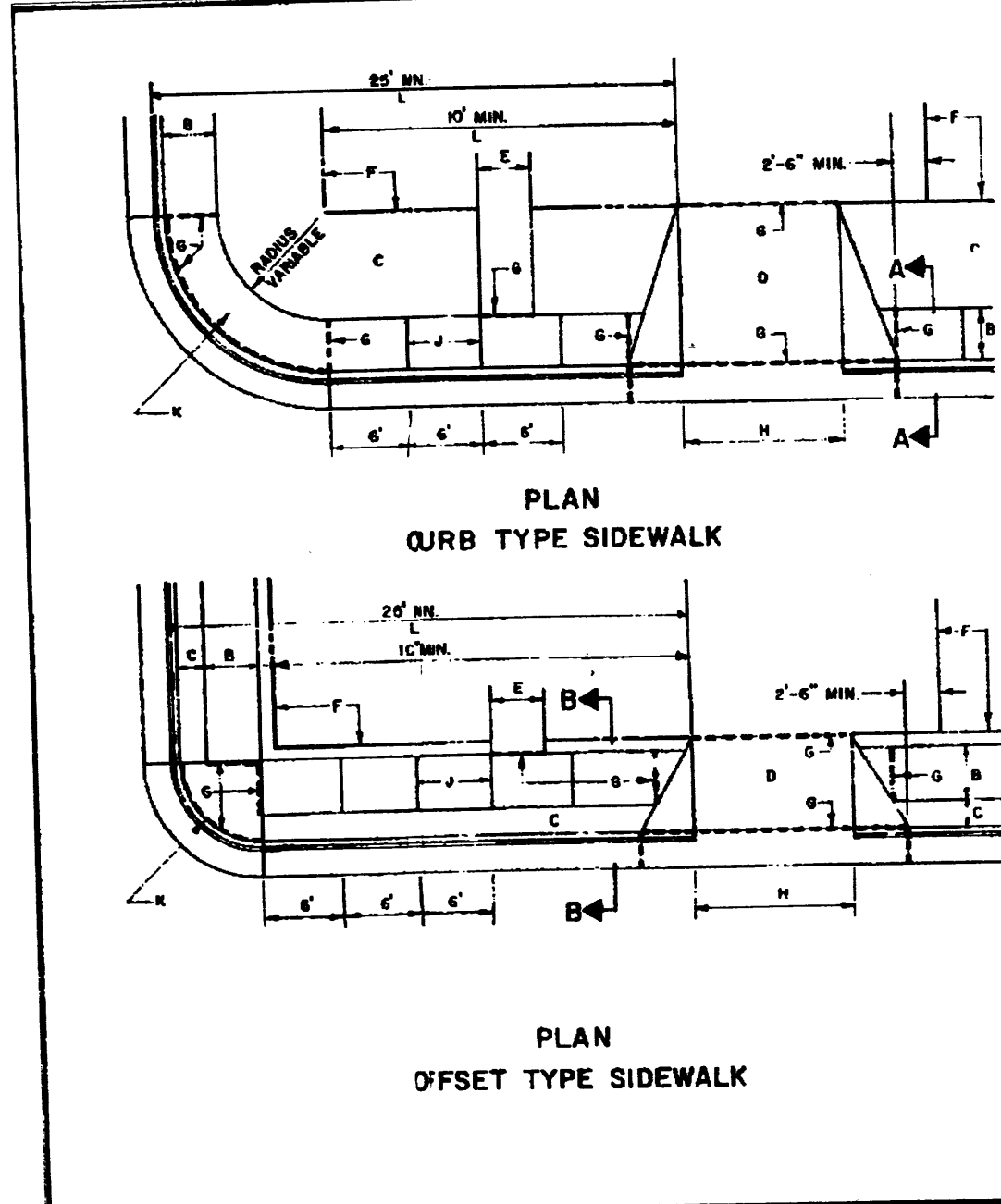
VICINITY MAP

F-17-Z



4808 Jefferson NE
Albuquerque, New Mexico 87109
voice (505) 883-9100 fax (505) 883-9198
lgoldrick@durabilt.com

Design / Builder
Lloyd W. Goldrick, A.I.A.
Architect



PLAN CURB TYPE SIDEWALK

SECTION A-A

PLAN OFFSET TYPE SIDEWALK

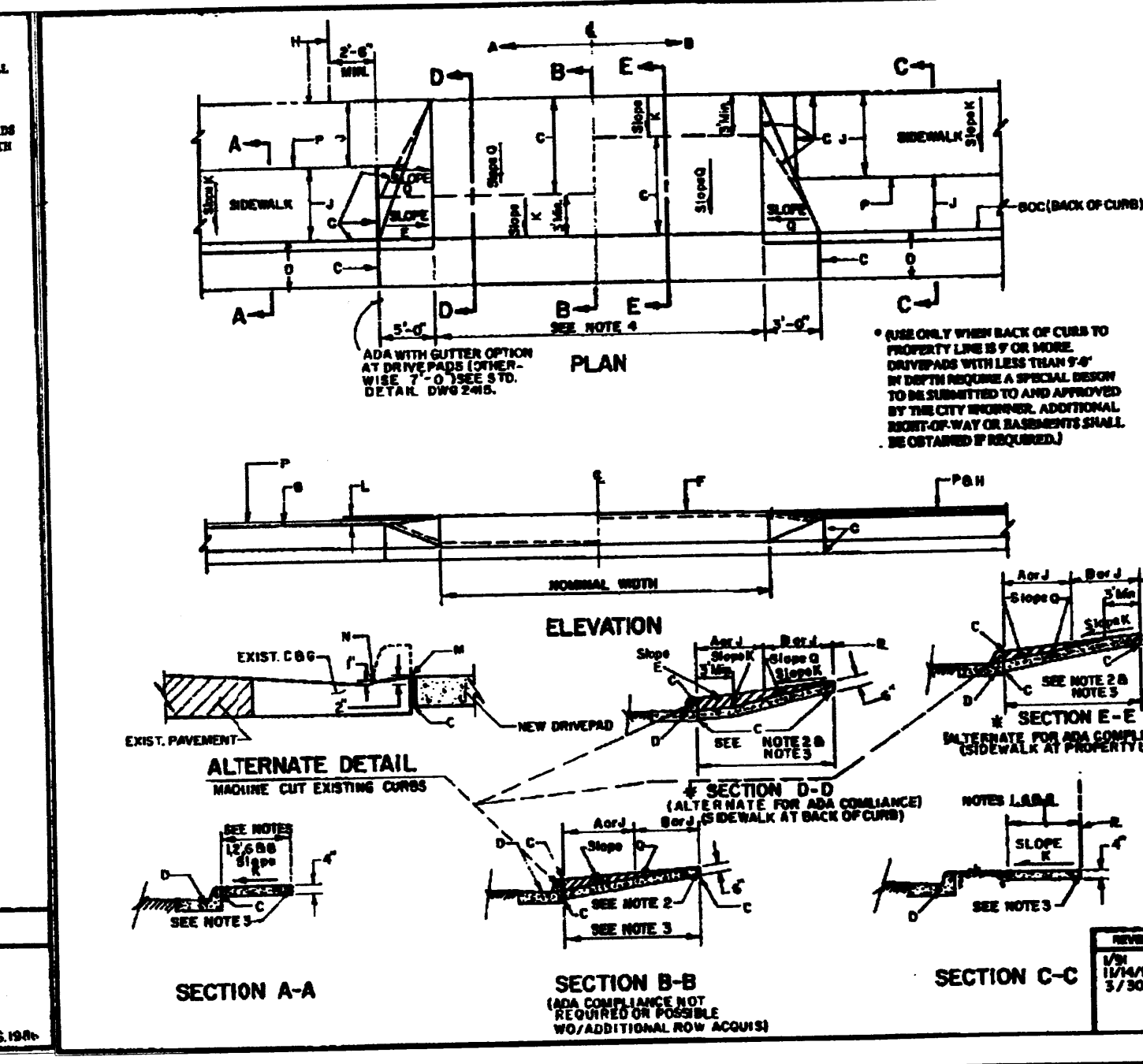
SECTION B-B

GENERAL NOTES

- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- CONSTRUCTION UNDER SIGNATURES AND DEVIATIONS SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 301.

CONSTRUCTION NOTES

- 6" MIN. THICKNESS TO SUBGRADE.
- SIDEWALKS SHALL BE 18" MIN. WIDE WITH 2" MIN. SLOPE TO DRAINAGE.
- CONCRETE SHALL BE 3000 PSI, 4" MIN. THICKNESS.
- CONCRETE SHALL BE 3000 PSI, 4" MIN. THICKNESS.
- CONCRETE SHALL BE 3000 PSI, 4" MIN. THICKNESS.
- CONCRETE SHALL BE 3000 PSI, 4" MIN. THICKNESS.
- CONCRETE SHALL BE 3000 PSI, 4" MIN. THICKNESS.
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GENERAL NOTES

- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- CONSTRUCTION UNDER SIGNATURES AND DEVIATIONS SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 301.

CONSTRUCTION NOTES

- 6" MIN. THICKNESS TO SUBGRADE.
- SIDEWALKS SHALL BE 18" MIN. WIDE WITH 2" MIN. SLOPE TO DRAINAGE.
- CONCRETE SHALL BE 3000 PSI, 4" MIN. THICKNESS.
- CONCRETE SHALL BE 3000 PSI, 4" MIN. THICKNESS.
- CONCRETE SHALL BE 3000 PSI, 4" MIN. THICKNESS.
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DURA BILT Products, Inc.

DESIGN / BUILDER
Since 1950
LICENSE NO. 3044

4808 JEFFERSON N.E.
ALBUQUERQUE, N.M. 87109
Telephone: (505) 883-9100
Fax: (505) 883-9198
www.durabiltproducts.com

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DATE: 12/06/05
PLOT DATE: MAY 3, 2006
REVISIONS:
FILE: A0.dwg

PROPOSED BUILDING FOR

HARDWARE BUSINESS PARK

4811A, 4811B, 4811C, 4811D, 4811E
HARDWARE DRIVE NE
ALBUQUERQUE, NEW MEXICO 87109

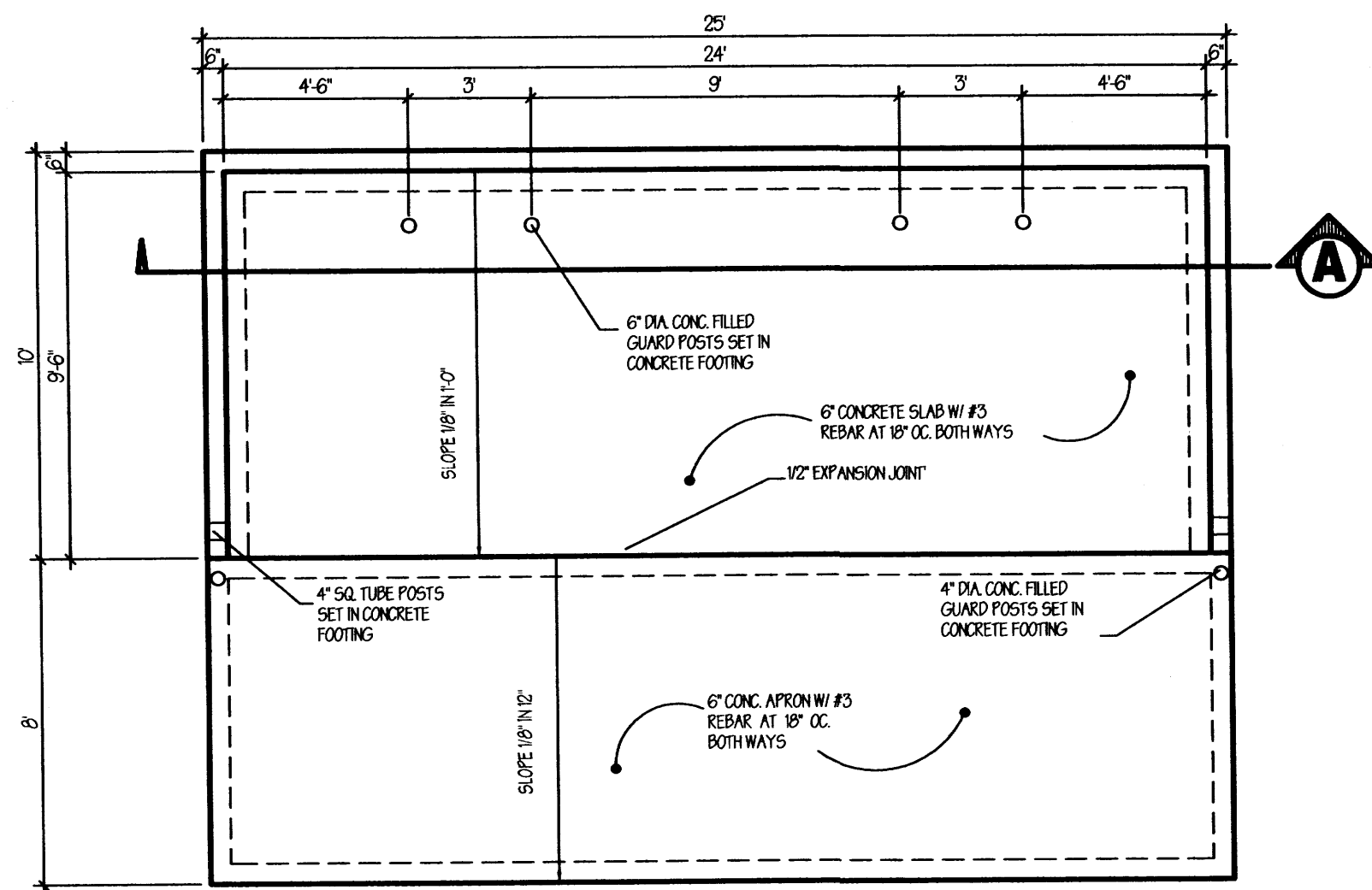
STATE OF NEW MEXICO

LYNN W. GOLDRICK
No. 2327
12/16/96

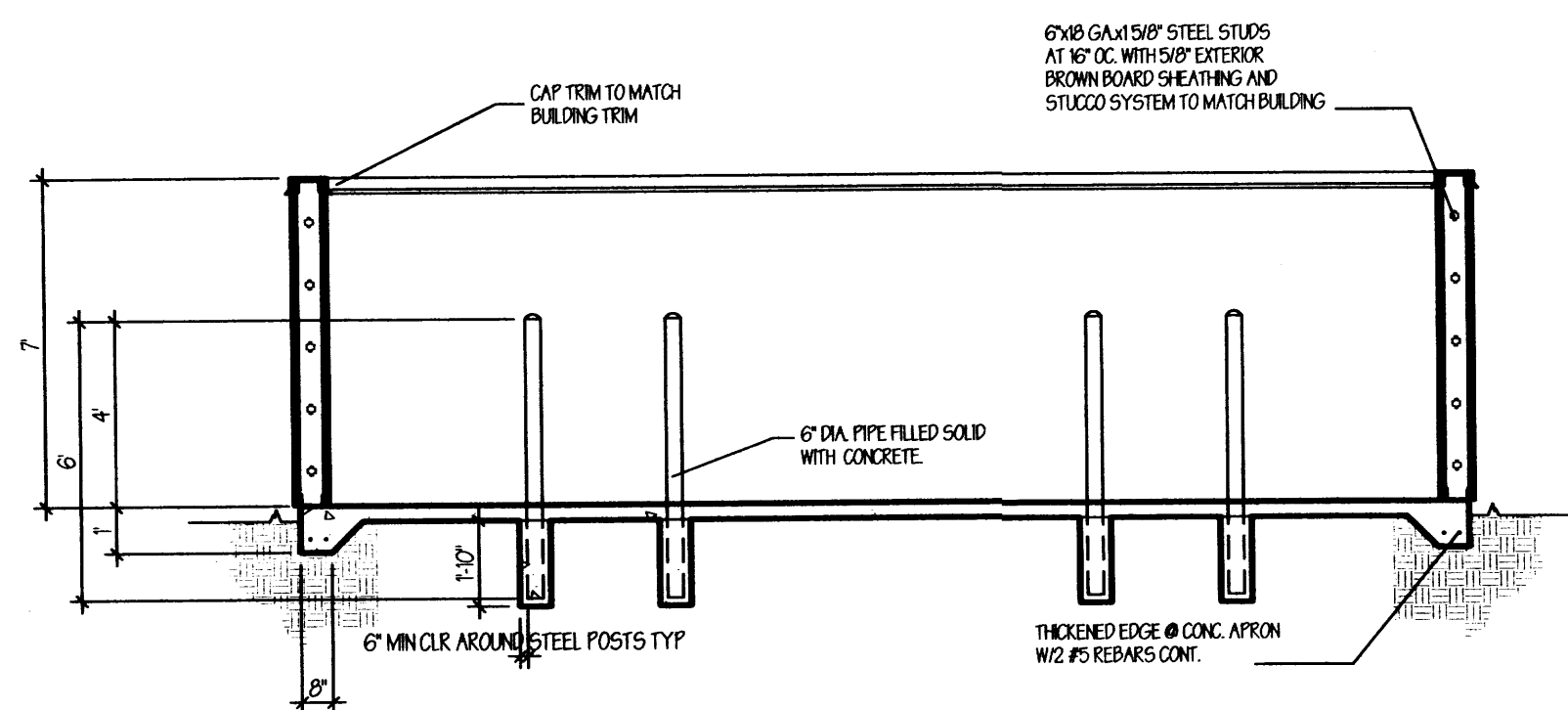
TRAFFIC CIRCULATION LAYOUT & VICINITY MAP

SHEET NO. **A0**

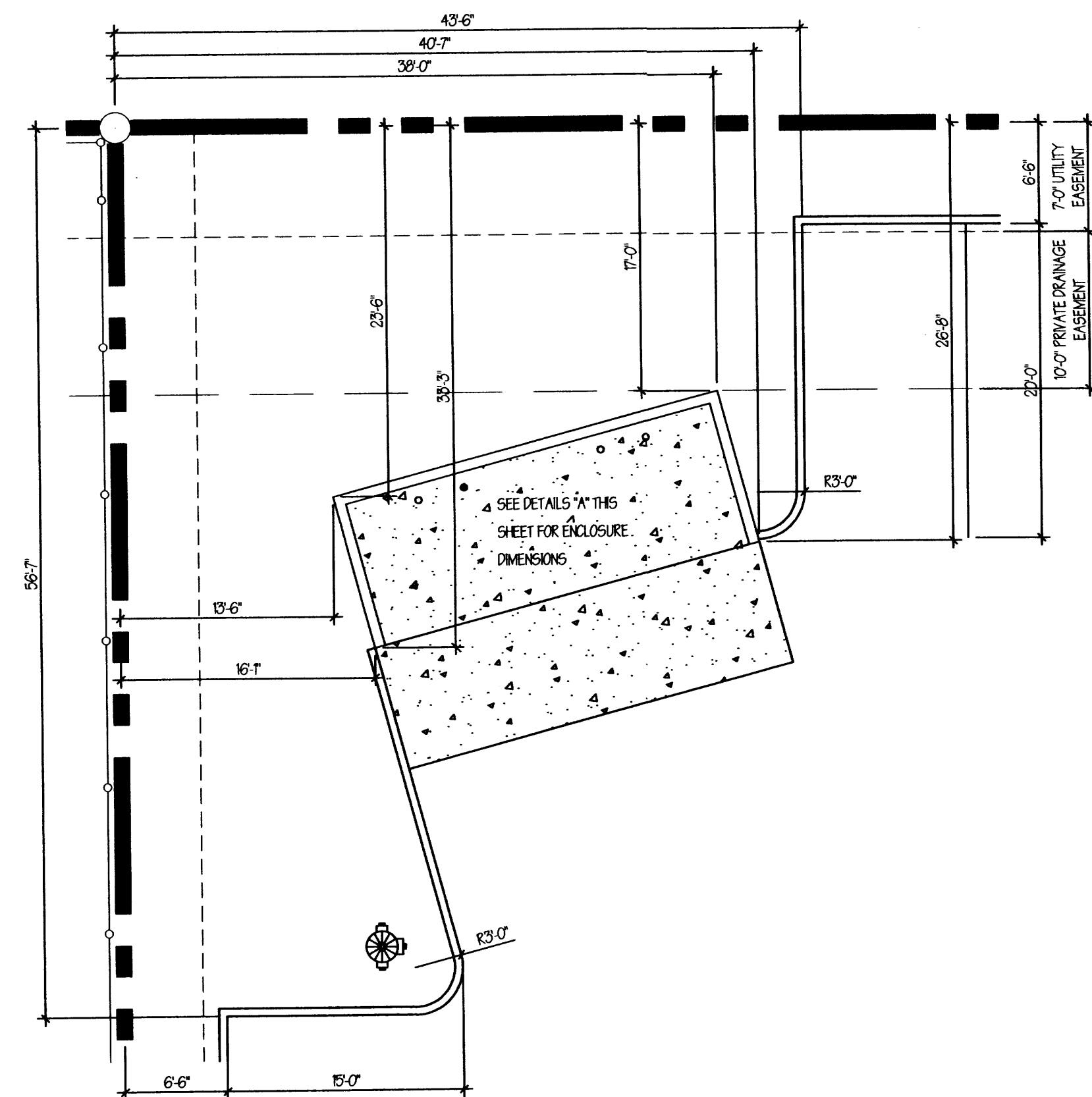
JOB NO. 05-112 | OF 57



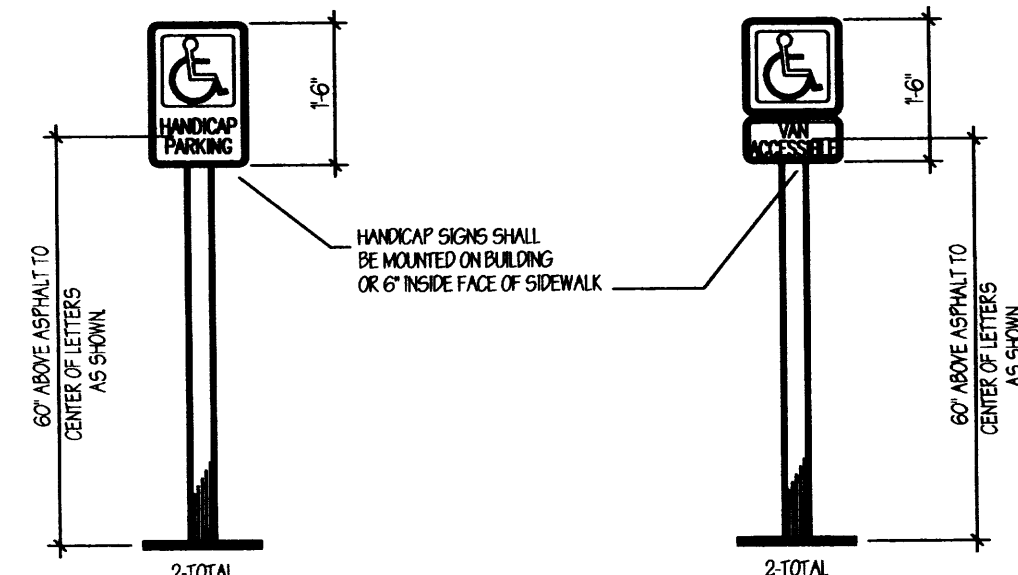
A REFUSE BIN PLAN VIEW
1/4" = 1'-0"



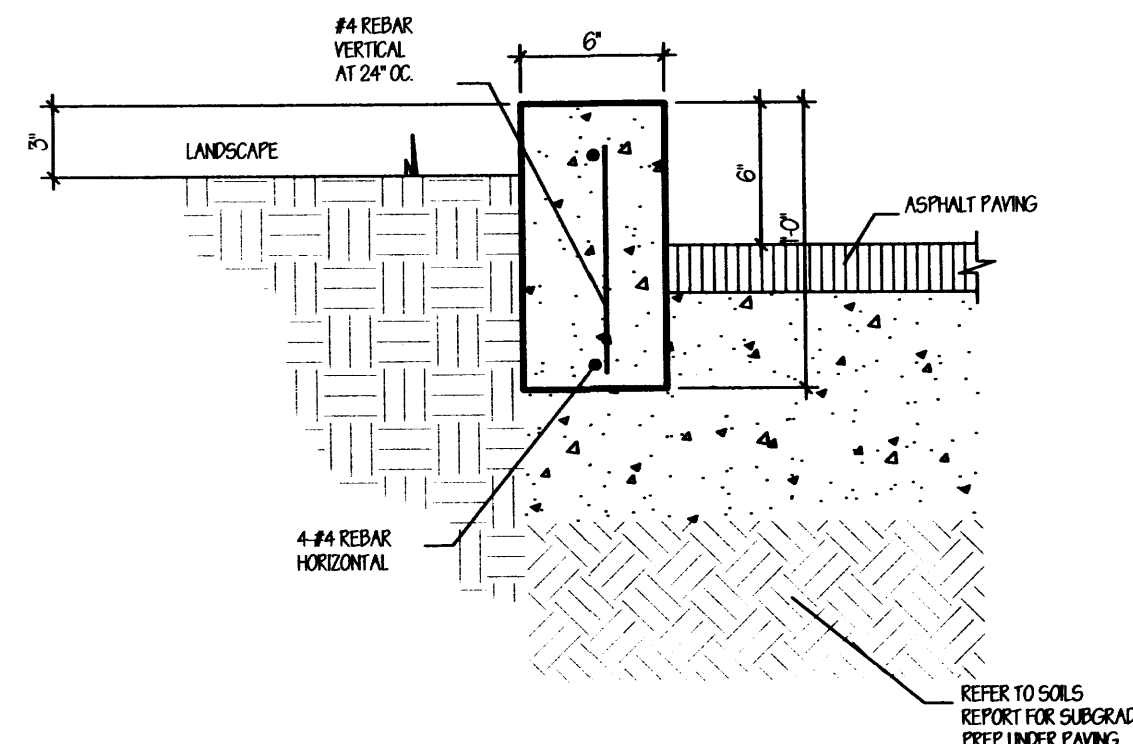
A REFUSE BIN ENCLOSURE DETAIL
1/4" = 1'-0"



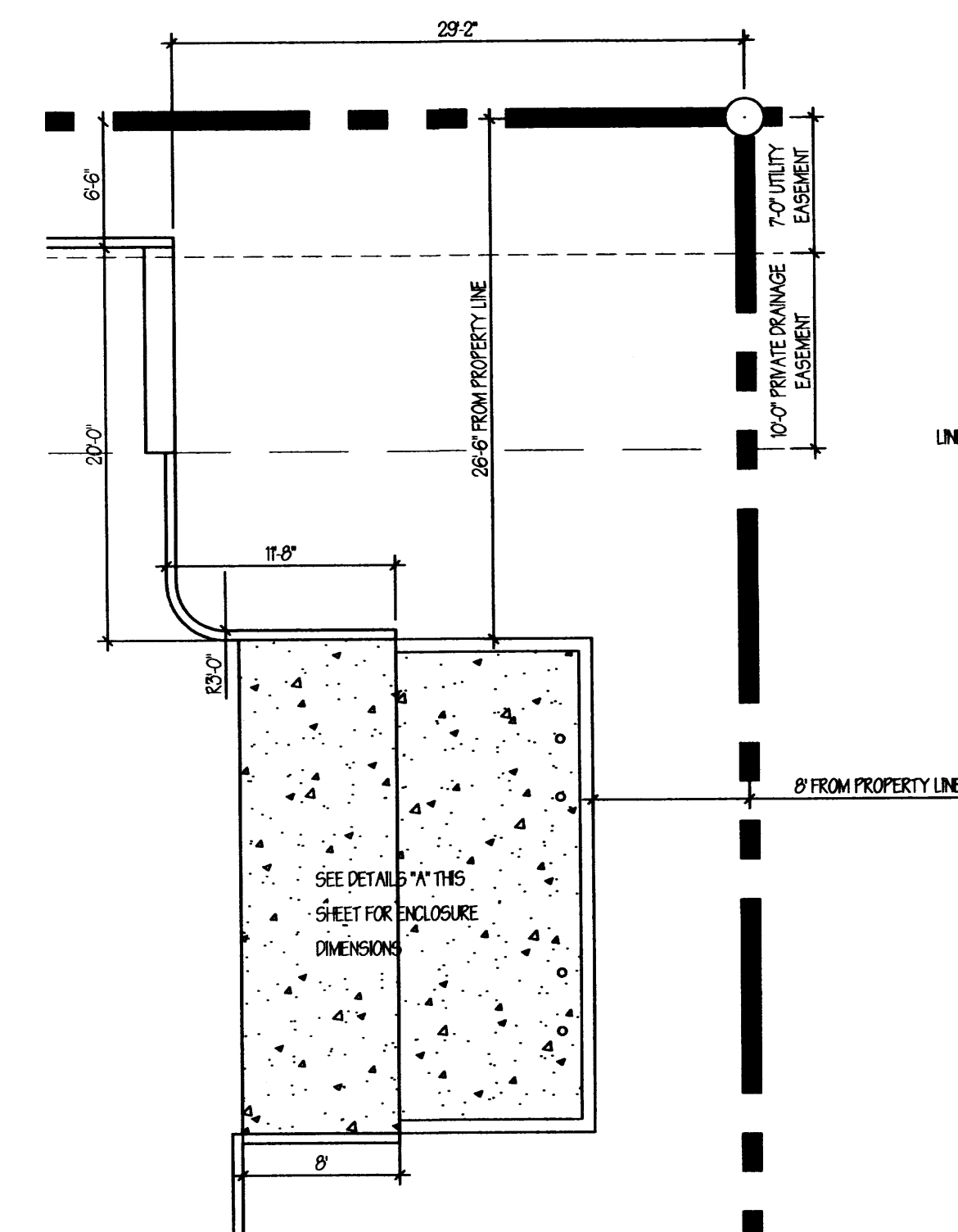
B REFUSE BIN LOCATION
1/8" = 1'-0"



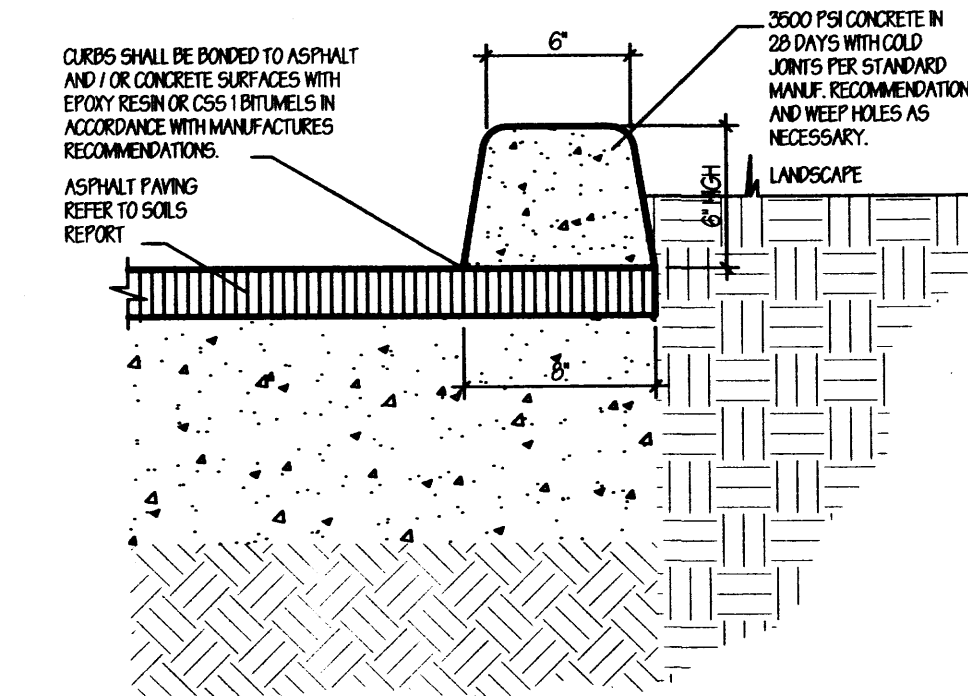
D CAR/VAN HANDICAP SIGN DETAILS
1 1/2" = 1'-0"



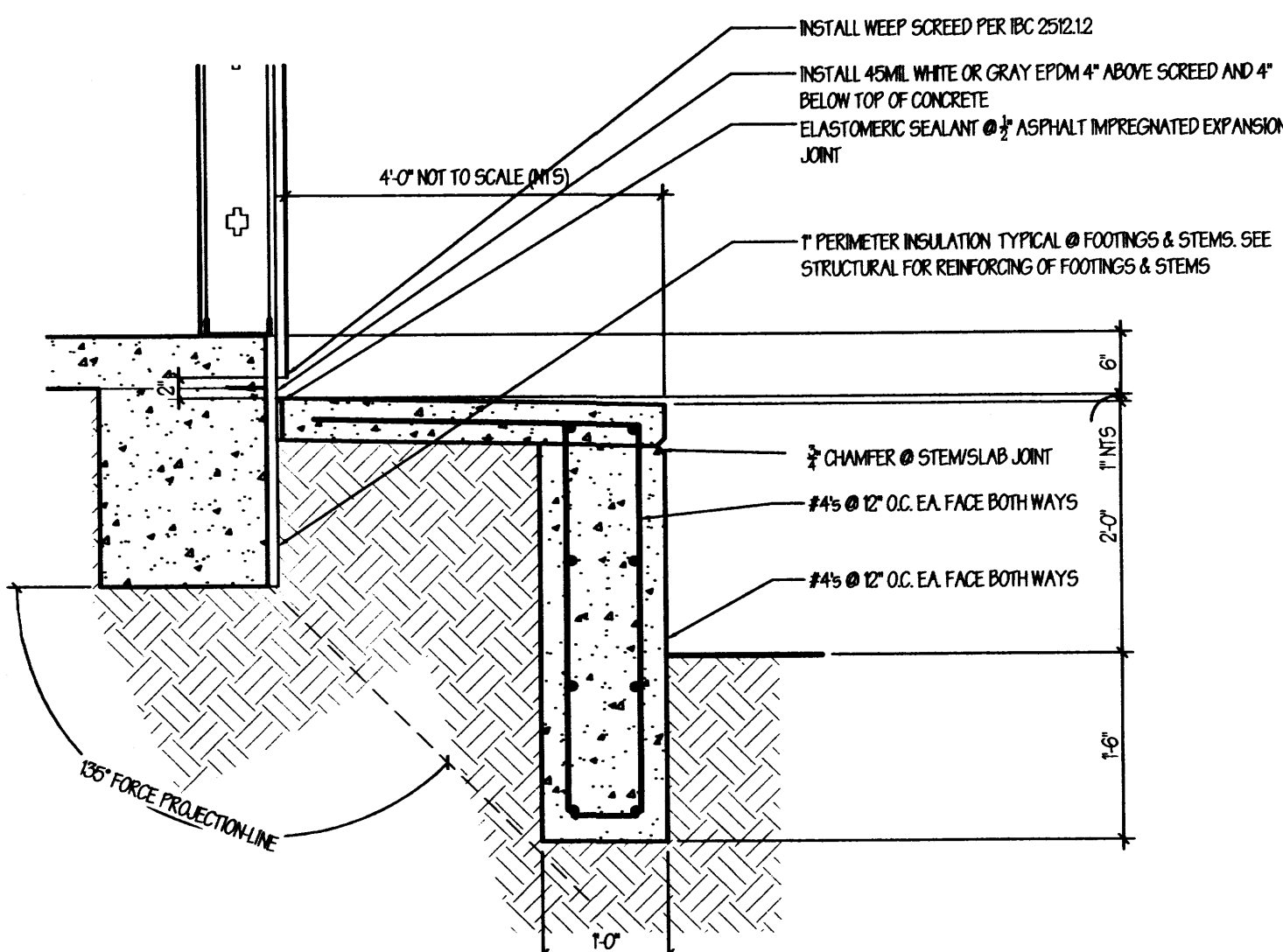
E CURB DETAIL
1 1/2" = 1'-0" CONTRACTOR OPTION



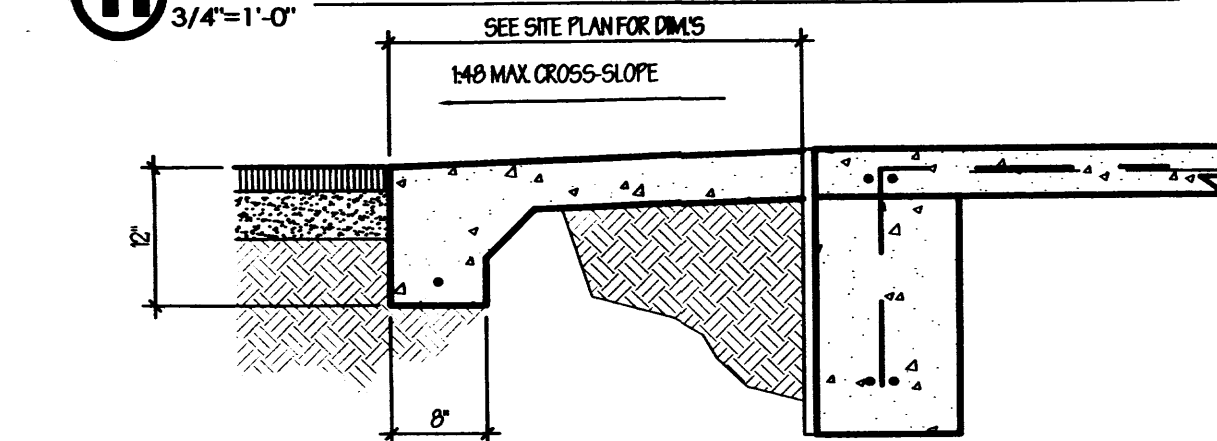
C REFUSE BIN LOCATION
1/8" = 1'-0"



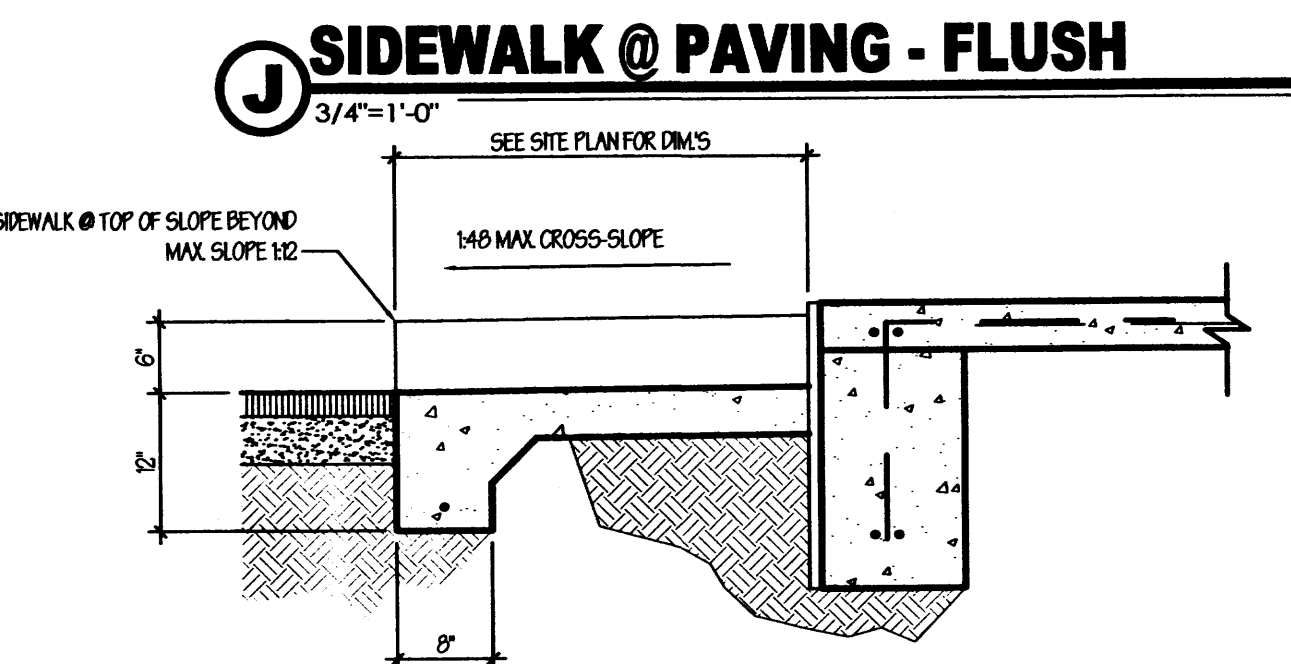
G PERMA CURB DETAIL
1 1/2" = 1'-0" CONTRACTOR OPTION



H FOOTING @ WEST SIDEWALK
3/4" = 1'-0"

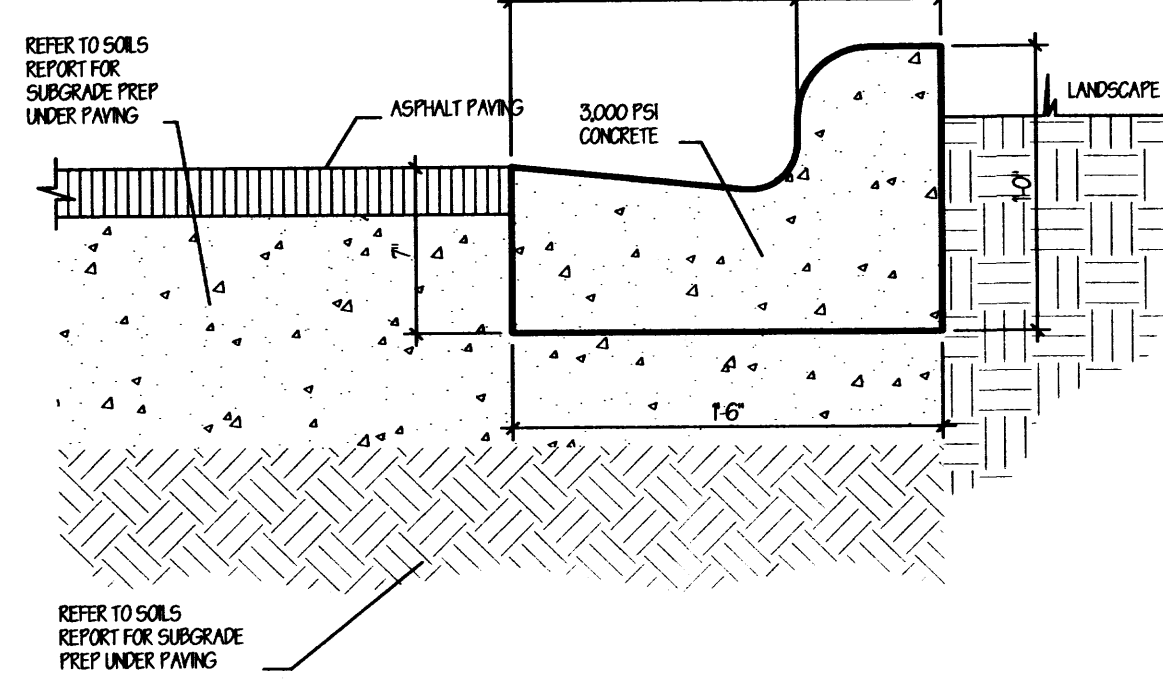


I CURB DETAIL
1 1/2" = 1'-0"

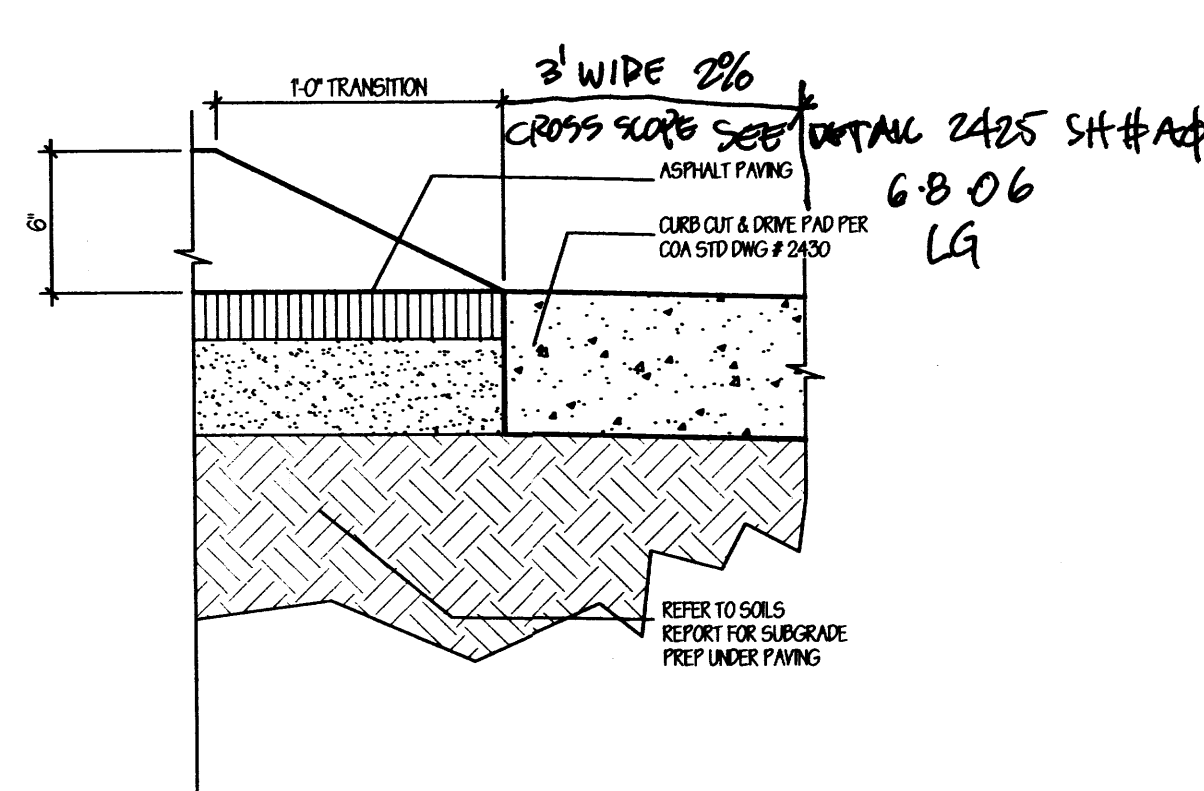


J SIDEWALK @ PAVING - FLUSH
3/4" = 1'-0"

L SIDEWALK RAMP @ PAVING - FLUSH
3/4" = 1'-0"

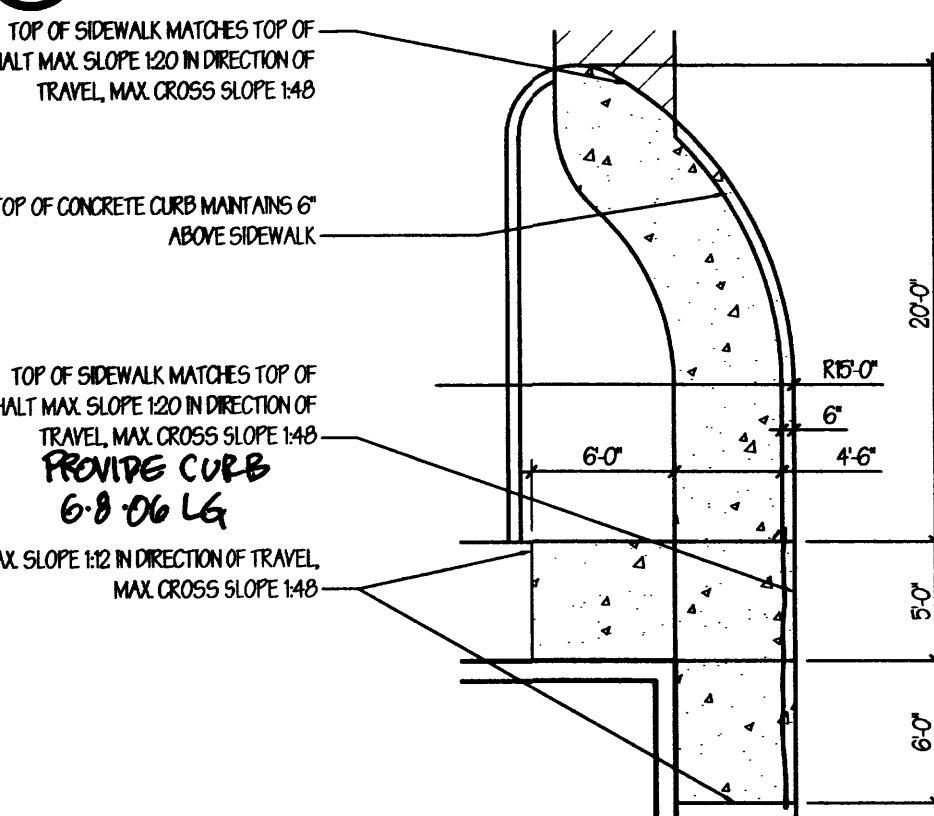


F CURB DETAIL
1 1/2" = 1'-0"

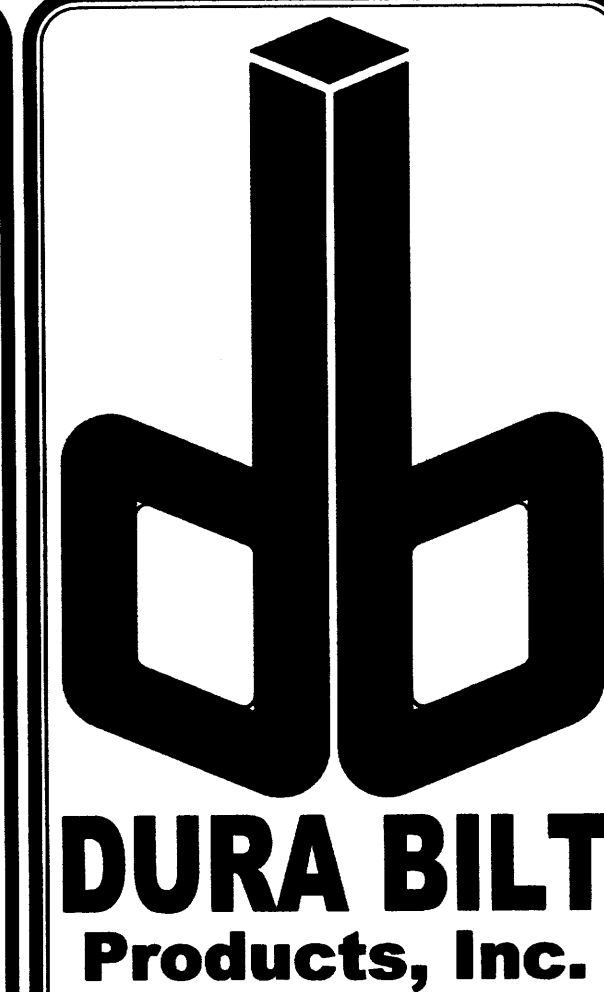


K SIDEWALK @ PAVING - STEP
3/4" = 1'-0"

M SIDEWALK RAMP @ PAVING - FLUSH
1/8" = 1'-0"



M SIDEWALK RAMP @ PAVING - FLUSH
1/8" = 1'-0"

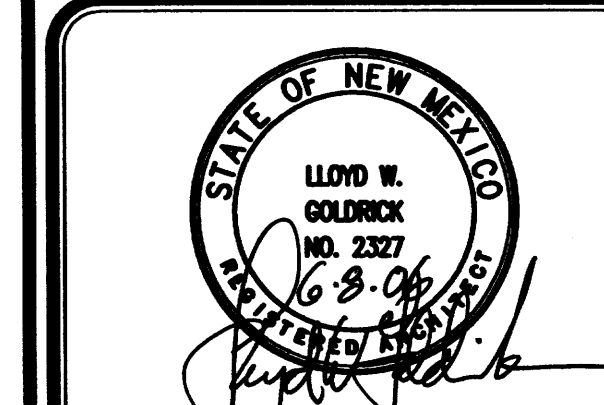


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DATE: 12/06/05
PLOT DATE: APRIL 14, 2006
REVISIONS:
A1 SITE DETAILS.dwg

PROPOSED BUILDING
FOR
**HARDWARE
BUSINESS PARK**
4811 A, 4811 B, 4811 C, 4811 D, 4811 E
HARDWARE DRIVE NE
ALBUQUERQUE, NEW MEXICO 87109



SITE DETAILS, PERMIT DATE
SHEET NO.
A1
JOB NO. 05-112 2 OF 57