



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 14, 2001

J. Arthur Blessen, P.E.
Claudio Vigil Architects
1305 Tijeras NW
Albuquerque, New Mexico 87102

RE: ALBUQUERQUE PRINTING ADDITION (F-17/D71)
(Bogan Ave NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 3/1/2001
ENGINEERS CERTIFICATION DATED 9/11/2001

Dear Mr. Blessen:

Based upon the information provided in your Engineers Certification submittal dated 9/11/2001, and the Agreement and Covenant which was executed and recorded 11/9/2001, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department
SLB

C: Vickie Chavez, COA
approval file
✓ drainage file

AGREEMENT AND COVENANT

This Agreement and Covenant, between the City of Albuquerque, New Mexico ("City") and Albuquerque Printing, Inc. ("User") is made in Albuquerque, New Mexico and is entered into as of the date of recording this Agreement with the Bernalillo County Clerk.

1. Recital. The User is the owner of certain real property ("User's Property") located at 3838 Bogan Ave NE, in Albuquerque, New Mexico, and more particularly described as: (give legal description and filing information)

Lot 2-A Reindeer Addition Filed on 09/07/84, Doc # 8469020 in Volume C25, Folio 1, Bernalillo County Clerk

The City is the owner of certain real property, easement or public right-of-way ("City's Property") in the vicinity of, contiguous to, abutting or within User's Property, and more particularly described as:

The concrete drainage channel along the south property line.

The User wishes to construct upon, improve or repair and to maintain the following "Improvement" on the City's Property (or already has done so):

A sketch of the proposed or existing Improvement is attached as Exhibit A and made a part of this Agreement.

The City agrees to permit the Improvement to exist on the City's Property provided the User complies with the terms of this Agreement.

2. City Use of City's Property and City Liability. The City has the right to enter upon the City's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the User. If the Work affects the Improvement the City will not be financially or otherwise responsible for rebuilding or repairing the Improvement. The User promptly will repair the Improvement to the City's satisfaction. The cost of repairing the Improvement will be paid by User.

3. User's Responsibility for Improvement. The User will be solely responsible for constructing, maintaining, repairing and, if required, removing the Improvement, all in



accordance with standards required by the City as per the approved Grading and Drainage Plan F.17 / D71 on file at the City Engineer's office. The User will be solely responsible for paying all related costs. The User will be solely responsible for paying all related costs. The User will not permit the Improvement to constitute a hazard to the health or safety of the general public or to interfere with the City's use of the City's Property. The User will conform with all applicable laws, ordinances and regulations.

4. Use of the Improvement. If the City's Property is a public right-of-way, it shall be open to the use of the general public at all times, subject to reasonable curtailment during periods of construction, maintenance or repair.

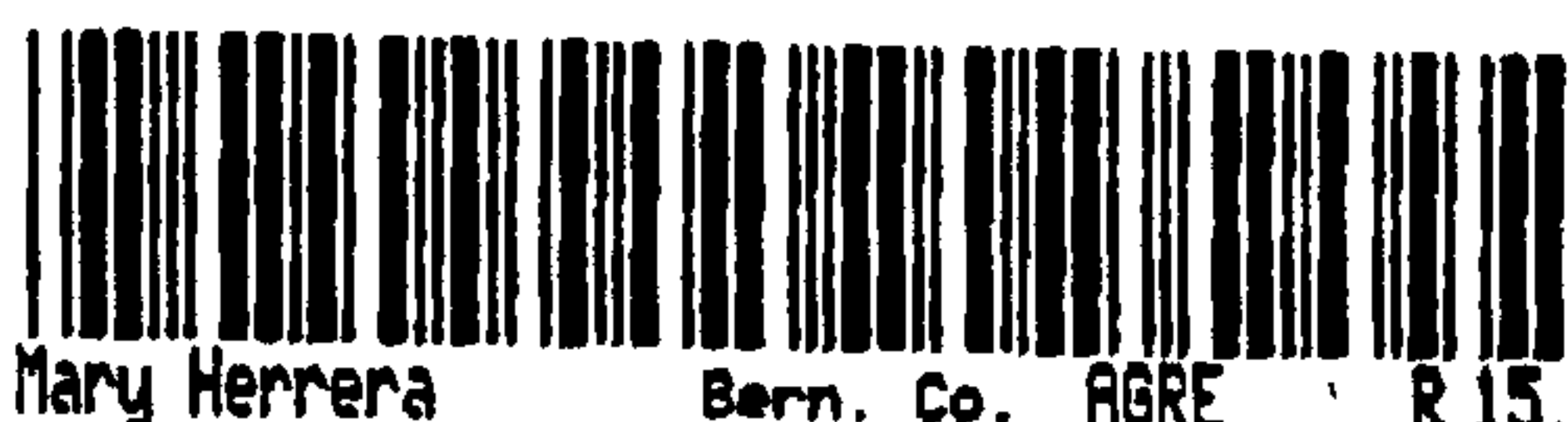
5. Demand for Repair, Modification or Removal. The City may send written notice ("Notice") to the User requiring the User to repair, modify or remove the Improvement within 30 days ("Deadline") and the User will comply promptly with the requirements of the Notice. If removal is demanded, the City also may require the User to return the City's Property to its original condition by the Deadline. The User will perform all required work by the Deadline, at User's sole expense.

6. Failure to Perform by User and Emergency Work by City. If the User fails to comply with the terms of the Notice by the Deadline stated, or, if the City determines that an emergency condition exists, the City may perform the work itself. The City then may assess the User for the cost of the work and for any other expenses or damages which result from User's failure to perform. The User agrees promptly to pay the City the amount assessed. If the User fails to pay the City within thirty (30) days after the City gives the User written notice of the amount due, the City may impose a lien against User's Property for the total resulting amount.

7. Cancellation of Agreement and Release of Covenant. This Agreement may be canceled and User's covenants released by the City at will by the City's mailing to the User notice of the City's intention to record a Cancellation and Release with the Bernalillo County Clerk. The Cancellation and Release will be effective thirty (30) days after the date of mailing the notice to the User unless a later date is stated in the notice or the Cancellation and Release. After the effective date, the City will record the Cancellation and Release with the Bernalillo County Clerk.

8. Condemnation. If any part of the User's Property is ever condemned by the City, the User will forego all claims to compensation for any portion of User's structure which encroaches on City Property and for severance damage to the remaining portion of User's structure on User's Property.

9. Assessment. Nothing in this Agreement shall be construed to relieve the User, his heirs, assigns and successors from an assessment against User's Property for improvements to the City Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Improvement will not reduce the amount assessed by the City.



10. Notice. For purposes of giving formal written notice to the User, User's address is:

3838 Bogan Ave. N.E.
Albuquerque, New Mexico

Notice may be given to the User either in person or by mailing the notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the User within 3 days after the notice is mailed if there is no actual evidence of receipt. The User may change User's address by giving written notice of the change by certified mail, return receipt requested, to the City Engineer at P.O. Box 1293, Albuquerque, New Mexico 87103.

11. Indemnification. The User agrees to defend, indemnify and hold harmless the City, its officials, agents and employees from and against any and all claims, actions, suits or proceedings of any kind brought against said parties as a result of User's use of the City's Property. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give direction or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

12. Term. This Agreement shall continue until revoked by the City pursuant to Section 7 above.

13. Binding on User's Property. The covenants and obligations of the User set forth herein shall be binding on User, his heirs assigns and successors and on User's Property and constitute covenants running with User's Property until released by the City.

14. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

15. Changes of Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

16. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.



17. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

CITY OF ALBUQUERQUE:

USER:

By: Fred J. AguirreTitle: City EngineerDated: 11-9-01By: [Signature]Title: OwnerDated: 11-01-01

CITY'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)

) ss

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on November 9, 2001 by Fred J. Aguirre, City Engineer, Public Works Department, for the City of Albuquerque, a New Mexico municipal corporation, on behalf of the corporation.

[Signature]
Notary Public

My Commission Expires:

11-15-2003

USER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)

) ss.

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on November 1, 2001 by Pedro A. Hernandez, on behalf of Albuquerque Printing

[Signature]
Notary Public

My Commission Expires:

October 2, 2005



RECEIVED
OCT 10 2001
HYDROLOGY SECTION

Mary Herrera
Bern. Co. AGRE R 15.00
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5584848
Page: 5 of 5
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BX-A27 Pg-1937



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 13, 2001

J. Arthur Blessen, P.E.
Claudio Vigil Architects
1305 Tijeras NW
Albuquerque, New Mexico 87102

RE: ALBUQUERQUE PRINTING ADDITION (F-17/D71)
(Bogan Ave NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 3/1/2001
ENGINEERS CERTIFICATION DATED 9/11/2001

Dear Mr. Blessen:

We are in receipt of your Engineers Certification dated 9/11/2001 for the above referenced site; However, a permanent Certificate of Occupancy from City Hydrology **can not** be issued at this time.

As noted in the City Hydrology comment letter dated 2/14/2001 [enclosed], "The drainage easement is public and you have a private facility in this easement, therefore you will need a covenant for the maintenance of this facility by the owner."

When the above issue has been completed, a Permanent Certificate of Occupancy can be issued.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department
BUB

c: File
Attachment

DRAINAGE INFORMATION SHEET

F-17/D71

PROJECT TITLE: Albuquerque Printing Addition ZONE MAP/DRG. FILE #: ~~F-17/D71~~
DRB # _____ EPC# _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT - 2-A REINEER ADDITION
CITY ADDRESS: _____

ENGINEERING FIRM: Claudio Vigil Architects CONTACT: Arthur Blesser
ADDRESS: 1801 Rio Grande Blvd. PHONE: 842-1113
CITY, STATE: Albuquerque New Mexico ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

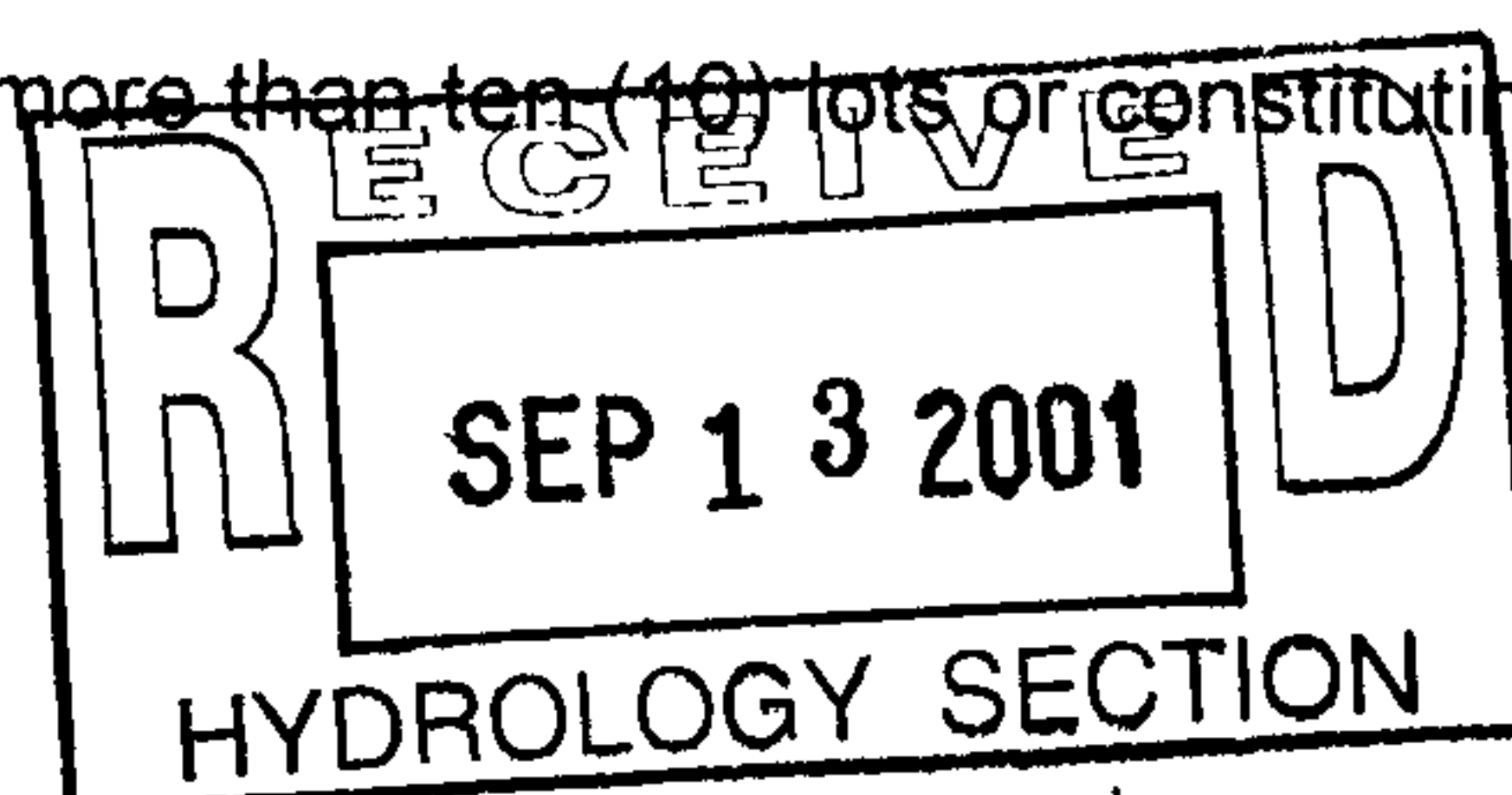
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED ~~8-2-01~~ 9/11/01 BY: J Arthur Blesser

Requests for approval of Site Development Plan and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Reports:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 1, 2001

John Arthur Blessen, PE
Claudio Vigil Architects
1305 Tijeras NW
Albuquerque, NM 87102

**Re: Albuquerque Printing Addition Grading & Drainage Plan
Engineer's Stamp dated 3-1-01, (F17/D71)**

Dear Mr. Blessen,

Based upon the information provided in your resubmittal dated 3-1-01, the above referenced plan is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist and the aforementioned Private Drainage covenant will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Hydrology

C: file

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Albuquerque Pkting Addition ZONE MAP/DRG. FILE #: F17/P71
 DRB # _____ EPC# _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 2-A Reindeer Addition
 CITY ADDRESS: 3838 Bogen AVE

ENGINEERING FIRM: CLAUDIO VIGIL ARCHITECTS CONTACT: Arthur Blesser
 ADDRESS: 1801 Rio Grand Suite 2 PHONE: 842-1113
 CITY, STATE: Albuquerque NM ZIP CODE: 87104

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: claudio Vigil Architects CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT **REVISED**
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

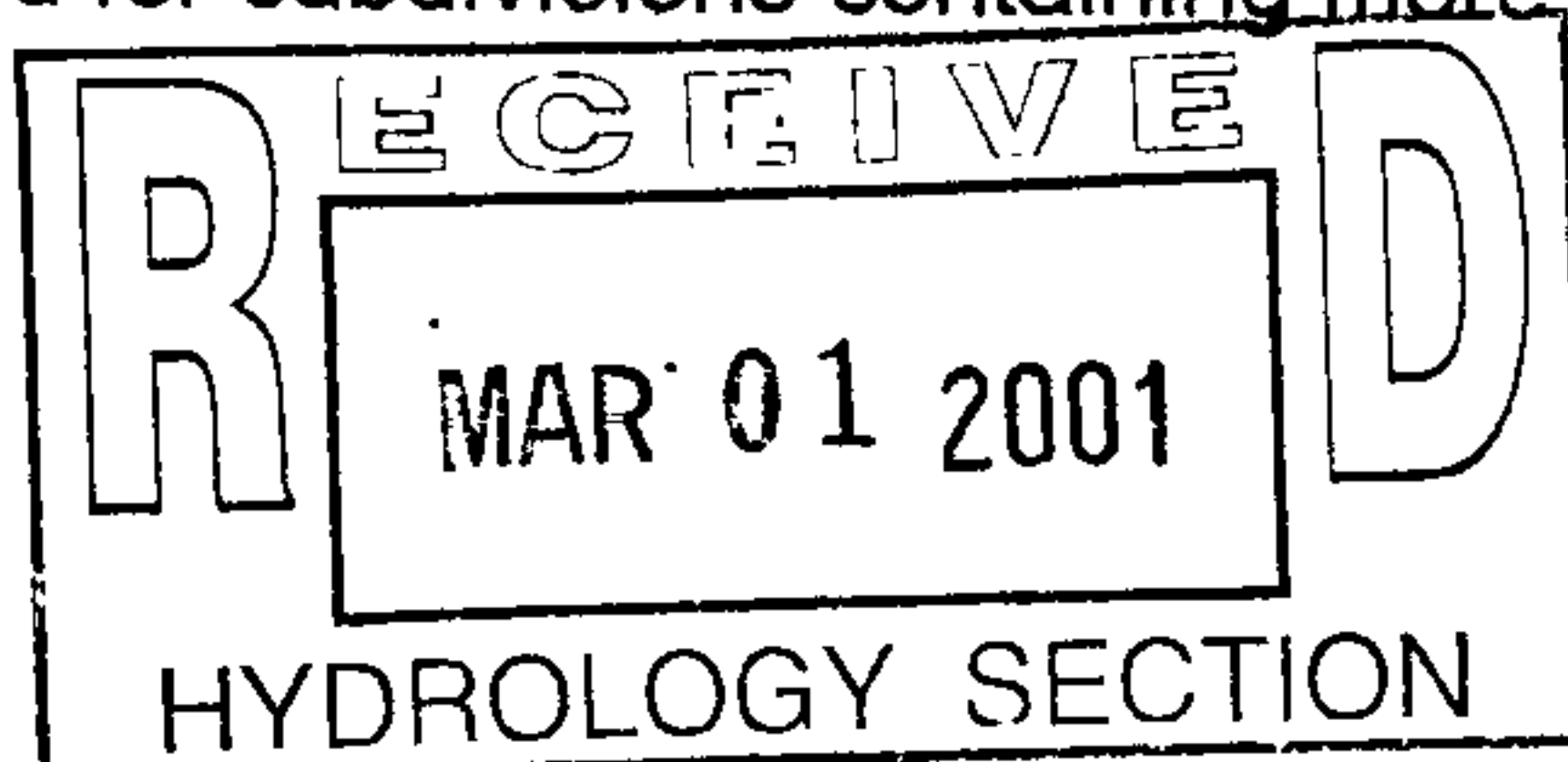
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED 3-1-01 BY: J. Arthur Blesser

Requests for approval of Site Development Plan and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels if submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Reports:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



J Arthur Blessen

Architect / Engineer
Claudio Vigil Architects
1801 Rio Grand Suite 2
Albuquerque, New Mexico 871024
(505) 842-1113



March 1, 2001

Bradley Bingham, PE
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87103

RE: Albuquerque Printing Addition Grading & Drainage Plan (F17/D 17)

Dear Mr Bingham,

Attached is the revised Grading & Drainage Plan for the Albuquerque Printing Addition. The flood hazard zone map has been added, along with the requested calculations.

The flood hazard map indicates that the drainage channel is included within Hazard Zone A however the remainder of the site is not within the flood hazard zone. The land treatment references have been corrected. The calculations for the 12" and 8" diameter pipes have been added along with the hydro-graph for the pond.

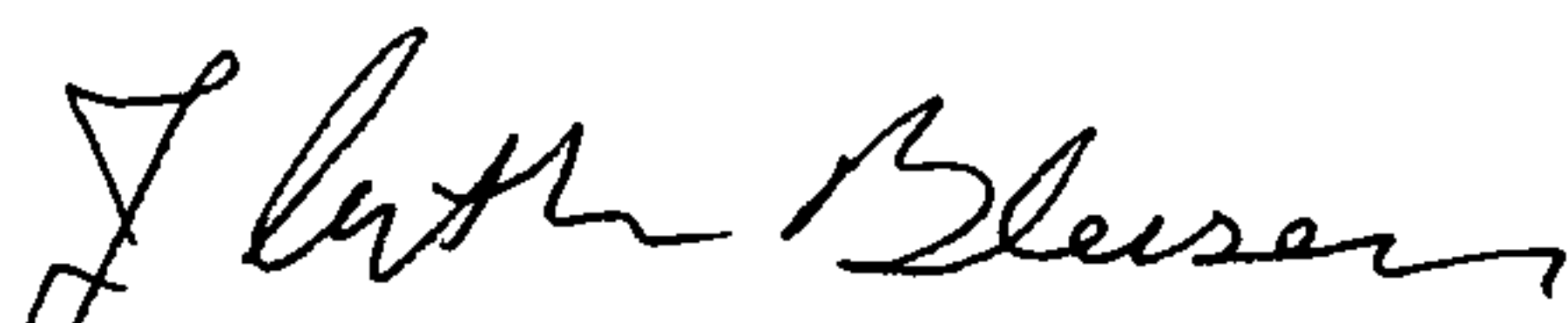
The plan has been modified to eliminate the retaining wall along the east property line. The building foundation has been designed to act as a retaining wall.

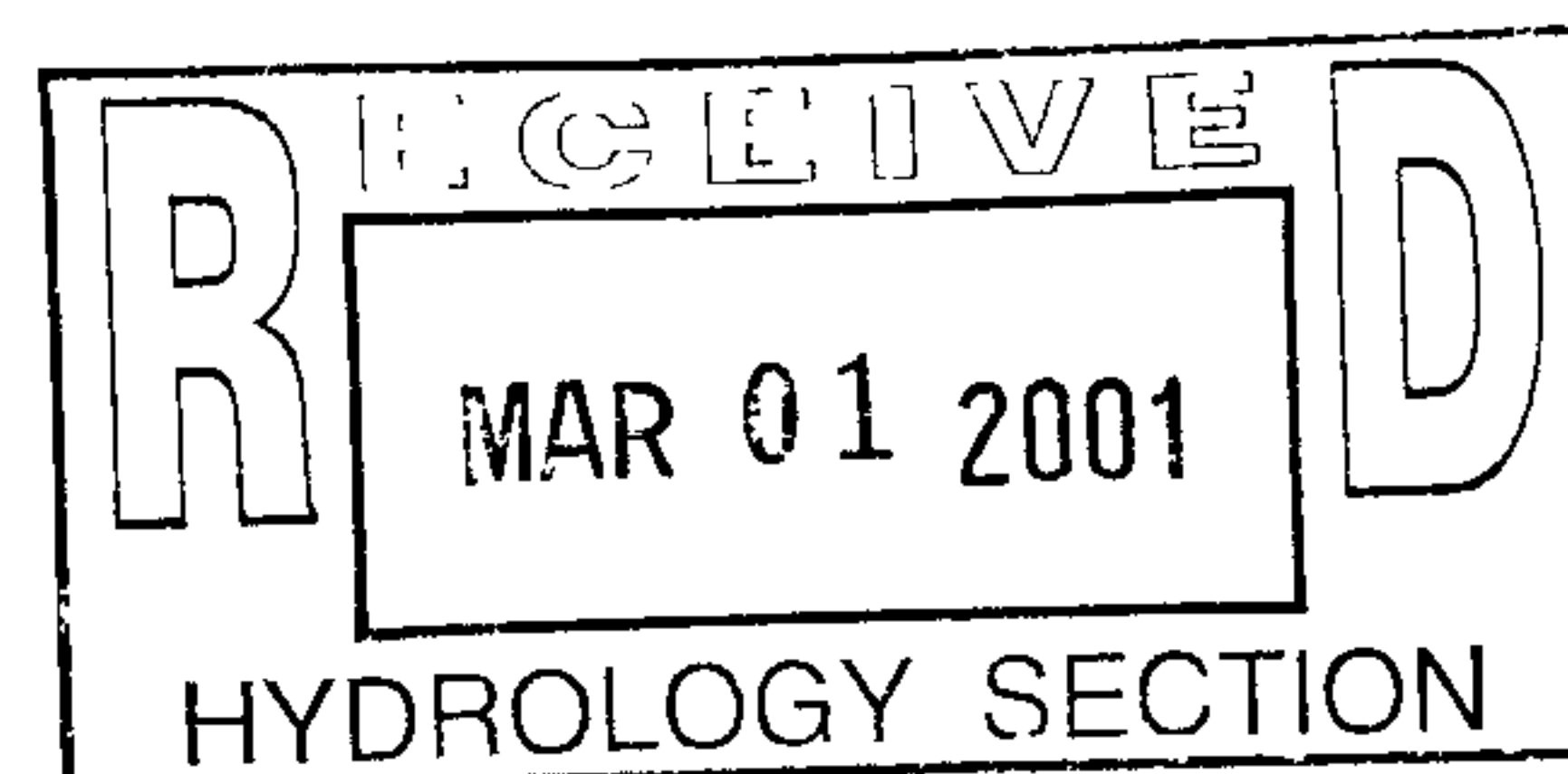
The existing 5116 contour has been added.

The owner will be informed of the covenant requirements.

Should you have any questions or require additional information please call.

Sincerely,


J Arthur Blessen, PE





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

October 18, 2001

Claudio Vigil, Registered Architect
Claudio Vigil Architects
1801 Rio Grande Blvd., NW
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for
Albuquerque Printing Co., [F177'D071]
3838 Bogan NE
Certification Letter Dated 10/01/01

Dear Mr. Vigil:

The TCL / Letter of Certification submitted is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Terri Martin
Office File

MZ:gds



CLAUDIO VIGIL ARCHITECTS

October 1, 2001

Mr. Mike Zamora/Richard Dourte, P.E.
600 2nd. St. N.W.
Transportation Department
Building and Inspection
Albuquerque, New Mexico

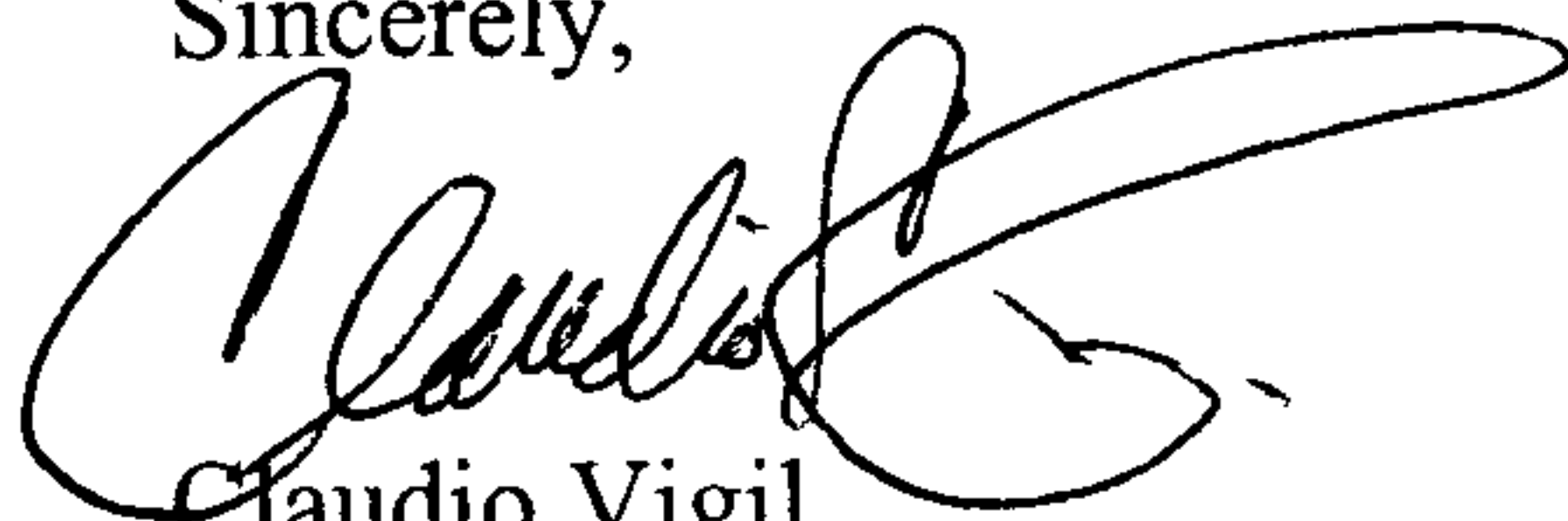
RE: Albuquerque Printing
3838 Bogan N.E.

Dear Mike Zamora/Richard Dourte,:

F-17/D71

On September 21, 2001 this office made an inspection of the completed improvements to the Albuquerque Printing site located at 3838 Bogan Avenue N.E. All work has been completed and is in compliance with the approved plan check set. The work is complete and ready for occupancy.

Sincerely,


Claudio Vigil
President

10/3/01 - Called in (GT) Final C.O. - ^{Approved} T.C.L.-in.
10/1/01 - Sent letter



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 14, 2001

John Arthur Blessen, PE
Claudio Vigil Architects
1305 Tijeras NW
Albuquerque, NM 87102

**Re: Albuquerque Printing Addition Grading & Drainage Plan
Engineer's Stamp dated 12-15-00, (F17/D71)**

Dear Mr. Blessen,

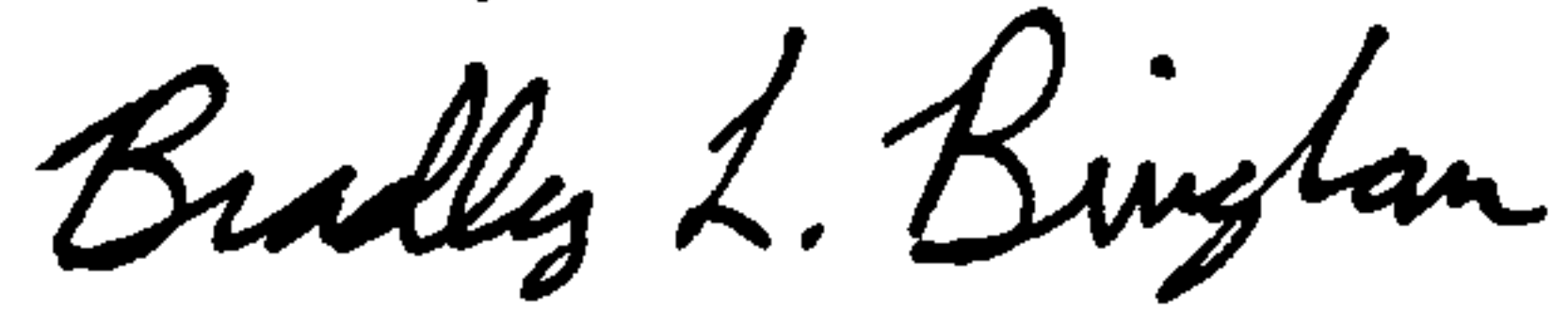
Based upon the information provided in your submittal dated 12-15-00, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- Please indicate what floodplain panel you are referencing to determine that this site is not in a floodplain.
- I think there is a typo in your land treatments – you have 'C' where you meant 'D.'
- Please verify capacity of the existing 12" using the orifice equation or Manning's equation, whichever is smaller. When ponding occurs, the pipe will not behave per Manning's.
- Please include calculations for the roof-drain pipe (8" @ 1%).
- Please provide calculations to verify 9601 c.f. is adequate for ponding the new work. Is all the roof drainage from the addition draining south?
- You are building a valley gutter above the new retaining wall on the east side. Does this gutter connect to an existing one? Is it supposed to drain to the existing channel? How does the construction get done without impacting the existing building next door? Or the fence?

- The drainage easement is public and you have a private facility in this easement, therefore you will need a covenant for the maintenance of this facility by the owner.
- Please add the existing 5116 contour at your basin divide.

If you have any questions, you can contact me at 924-3986.

Sincerely,

A handwritten signature in black ink that reads "Bradley L. Bingham". The script is cursive and fluid, with the first letters of the first and last names being capitalized and prominent.

Bradley L. Bingham, PE
Sr. Engineer, Hydrology

C: file

DRAINAGE INFORMATION SHEET

Applicant Name: Claudio Vigil Architects Zone Atlas / Drng File # F17 / D71
DRB# _____ EPC# _____ Work Order # _____

Legal Description Lot 2-A Reindeer Addition (Albuquerque Printing)
City Address 3900 Bogan Ave

Engineering Firm Claudio Vigil Architects Contact Arthur Blessen
Address: 1305 Tijeras NW Phone (505) 842-1113

Owner: Albuquerque Printing Contact _____
Address: 3900 Bogan Ave Phone _____

Architect Claudio Vigil Architects Contact Arthur Blessen
Address: 1305 Tijeras NW Phone (505) 842-1113

Surveyor: _____ Contact _____
Address: _____ Phone _____

Contractor: _____ Contact _____
Address: _____ Phone _____

Type of Submittal

Check Type of Approval Sought

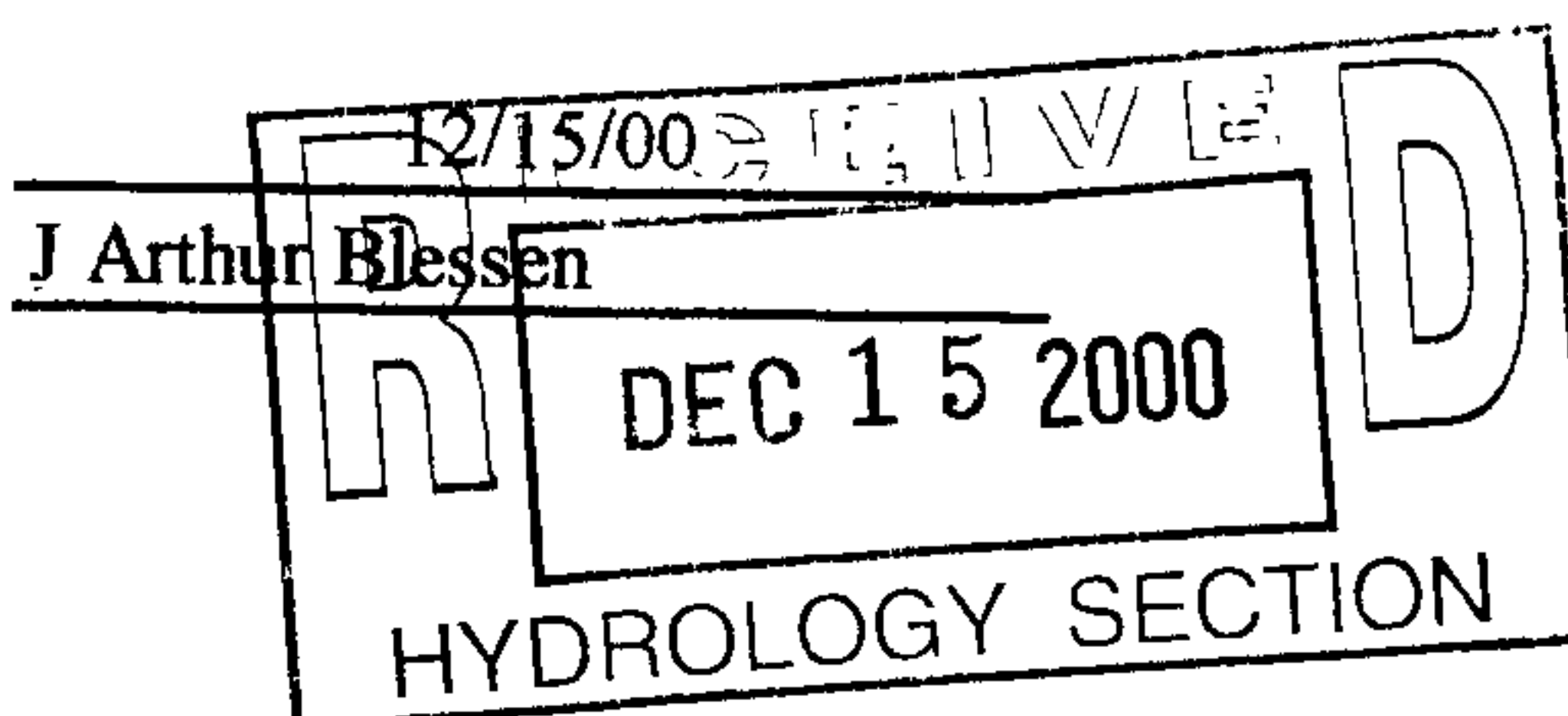
- ☒ Drainage Report
☒ Drainage Plan
☐ Conceptual Grading & Drainage Plan
☒ Grading Plan
☐ Erosion Control Plan
☐ Engineer's Certification
☐ Other

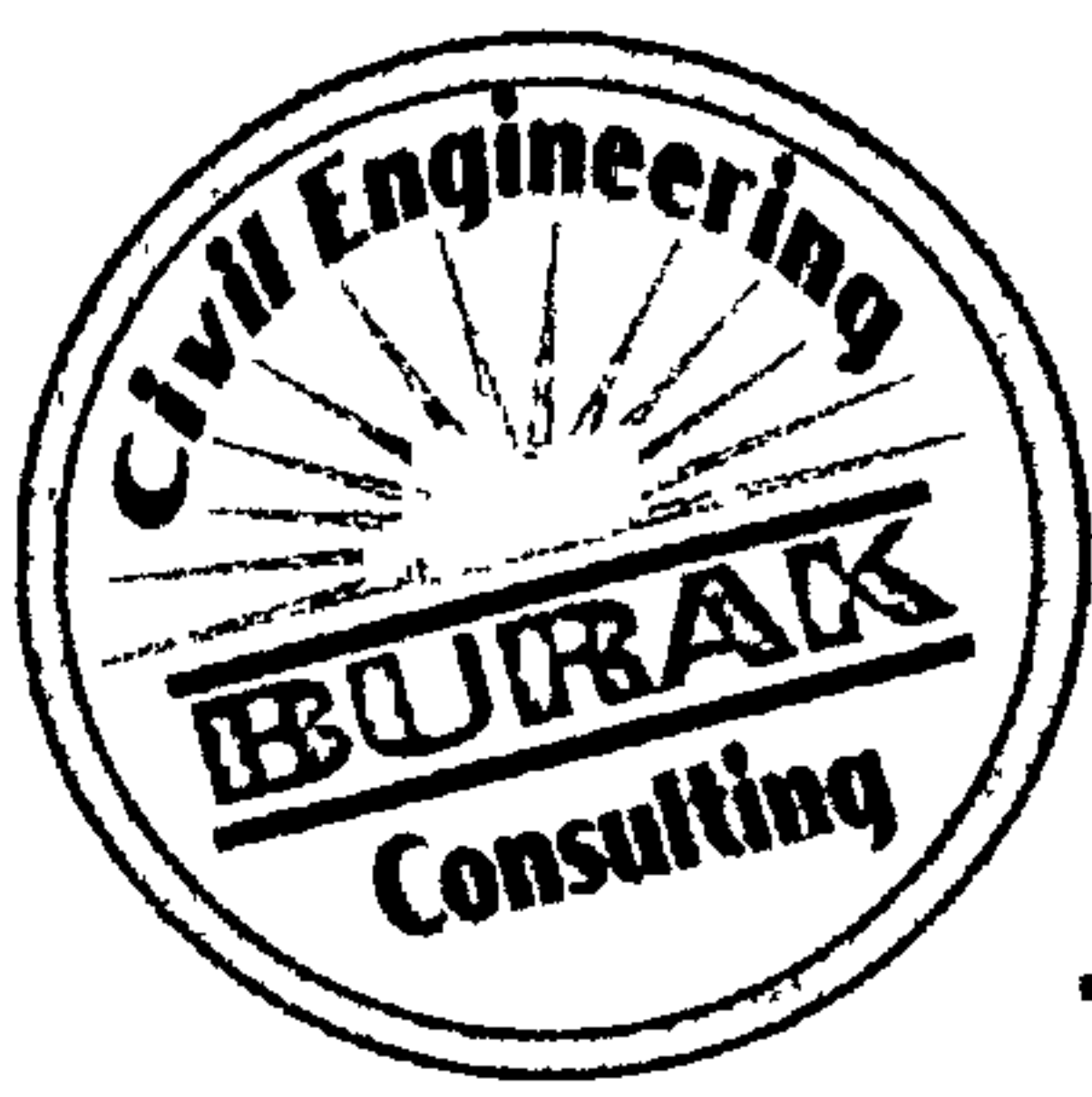
- ☐ Sketch Plat Approval
☐ Preliminary Plat Approval
☐ S. Dev. Plan for Sub'd Approval
☐ S Dev Plan for Bldg Permit Approval
☐ Sector Plan Approval
☐ Final Plat Approval
☐ Foundation Permit Approval
☒ Building Permit
☐ Certificate of Occupancy Approval
☐ Grading Permit Approval
☐ Paving Permit Approval
☐ S.A.D Drainage Report
☐ Drainage Requirements
☐ Subdivision Certification
☐ Other (specify)

Pre-Design Meeting
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUMMITTED

BY





Mark H. Burak, P.E.

1512 Sagebrush Trail SE Albuquerque, NM 87123

(505) 296-0461

235-2256 cell

296-0467 fax

January 4, 2001

Loren Meinz, P.E.,
Head Hydrology Division
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

- **Case No:** F17-D071
- **Submittal dated:** November 15, 2000 by Claudio Vigil Architects
- **Project Title:** Albuquerque Printing Expansion
- **Location:** 3900 Bogan Ave - between I-25 and Jefferson
- **Approval Type:** Building Permit

- **Note:** *This submittal concerns the construction of a new commercial warehouse building, storm drain, and retaining walls with additional paved parking area. The site is intended to drain to an existing concrete channel adjacent to the southern property boundary.*

Dear Mr. Meinz:

Based on the submittal stamped November 15, 2000, the proposed grading and drainage plan concept does not appear to be sufficient and should not be approved at this time. Addressing the following concerns would be helpful in understanding the overall analysis of the system as it relates to the subject property:

- ☒ Flood Map showing site in reference to regional flood plain should be shown on Plan.
- ☒ A cross-section of the existing concrete channel and channel capacity calculations should be addressed and shown on the Plan.
- ☒ According to the calculations, no "D" Treatment is shown for Basins 1 or 2. Since there are two large buildings and a paved parking area some "D" Treatment should show up in the calculations.
- ☒ The drainage basin boundaries do not seem to be located correctly. It appears that some of the southwest portion of Basin 1 will drain south into Basin 2 whereas the remainder of Basin 1 will drain north to Bogan Ave. Please clarify.
- ☒ No contours are shown on Basin 3. What keeps offsite runoff from impacting any portion of Basin 3.
- A note on the Plan shows a pond with a volume of 9,601 cubic feet. No discussion of this pond could be found on the Plan. Is the shaded area intended to represent a maximum ponding elevation? If it is a pond and the outfall is the existing drop inlet as shown, some sort of inlet calculations and pond rating curves would be necessary.
- ☒ Near the proposed trash enclosure, the 5,115 contour is shown traversing the 5,114 contour. Please clarify.
- Is a retaining wall proposed for the trash enclosure?
- No calculations for the proposed storm drainage system or inlet capacity calculations were found on the Plan.

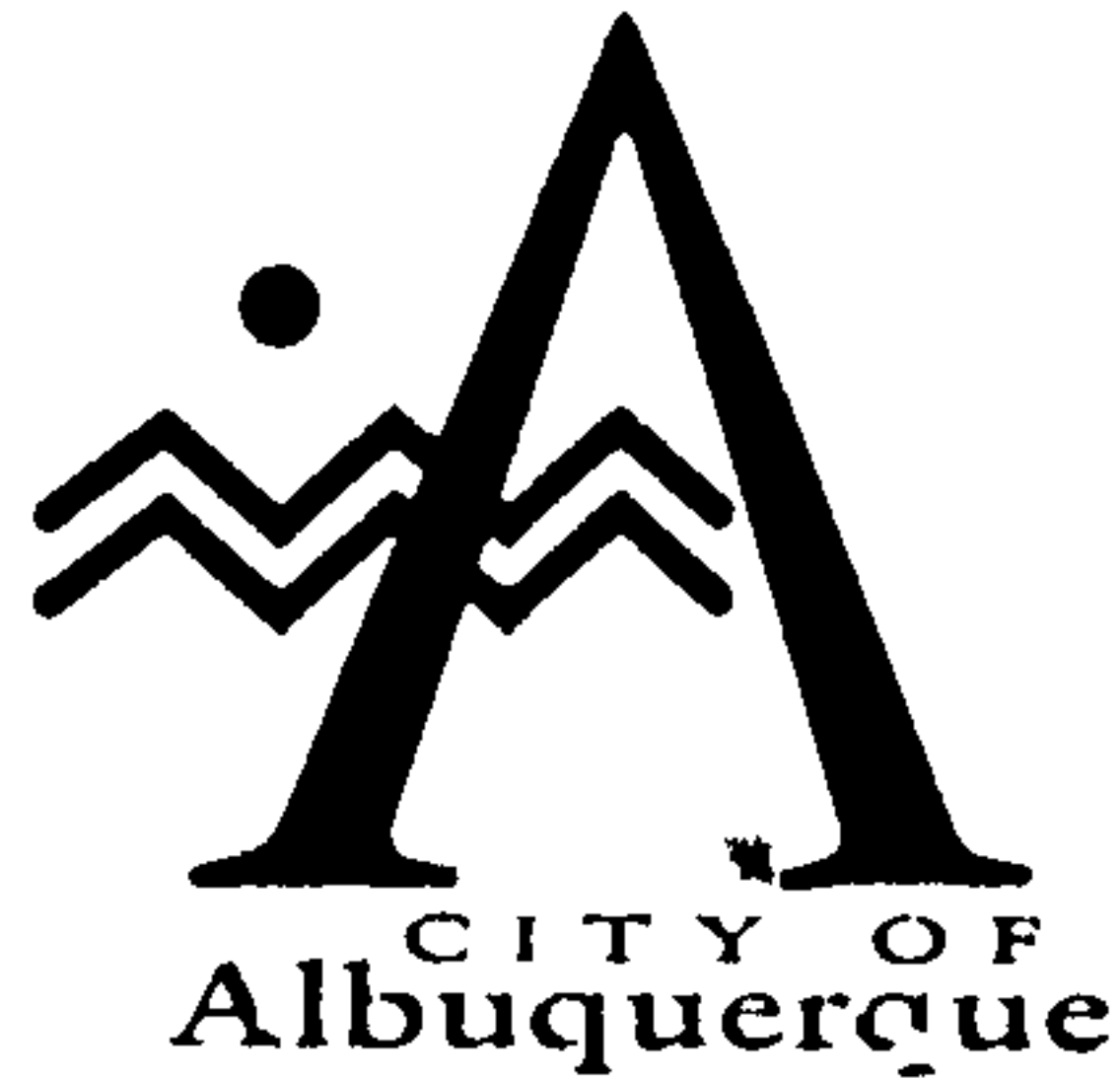
- Some offsite runoff will likely impact the existing concrete channel that is intended for use as the primary outfall for this site. No discussion has been made for addressing the current and fully developed runoff impacting this channel. Please verify adequate capacity for discharging into this facility.

If you have any questions regarding this letter or need any clarification concerning the above project, please feel free to call me at 296-0461. Additional calculations are attached for clarification purposes.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Burak". The signature is fluid and cursive, with the first name "Mark" and last name "Burak" clearly distinguishable.

Mark H. Burak, P.E.
Hydrology Consultant



February 18, 1998

Tom Mann, P.E.
Engineering & Surveying Assoc.
5312 Noreen NE
Albuquerque, NM 87111

D71
**RE: ALBUQUERQUE PRINTING (F17-D21). GRADING AND DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 1-23-98.**

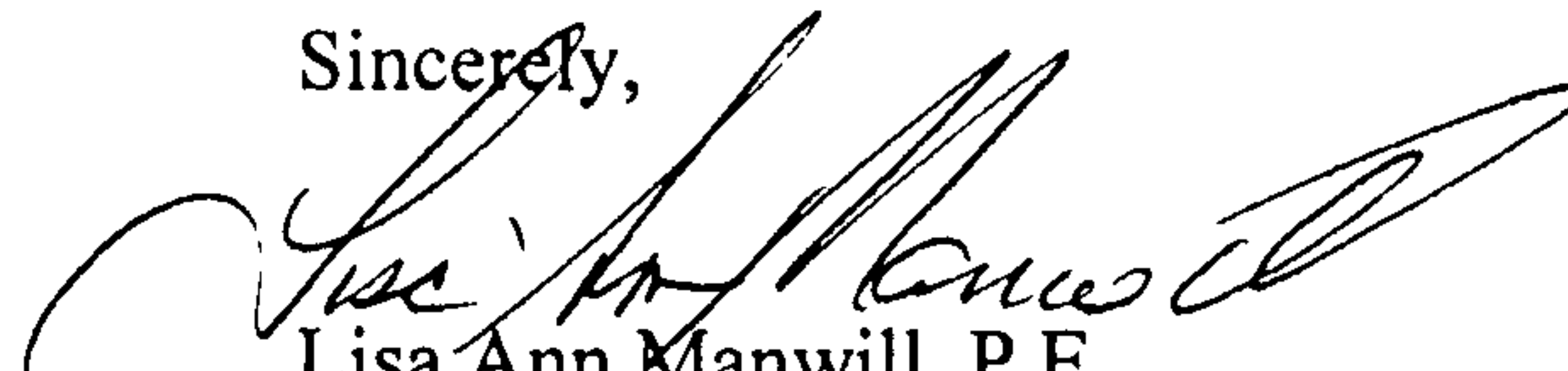
Dear Mr. Mann:

Based on the information provided on your January 22, 1997 submittal, the above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia
File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Albuquerque Printing ZONE ATLAS/DRNG. FILE #: F-17/D 71

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 2-A, Reindeer AdditionCITY ADDRESS: Bogan Ave NEENGINEERING FIRM: Engineering & Surveying Assoc CONTACT: Tom MannADDRESS: 5312 Noreen Dr NE 87111 PHONE: 298 4651OWNER: Unknown CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: Claudio Vigil CONTACT: Claudio VigilADDRESS: 1305 Tijeras NW PHONE: 842 1113SURVEYOR: Engineering & Surveying Assoc CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: Brunacini Construction CONTACT: George BrunaciniADDRESS: P.O. Box 6363 87197 PHONE: 833-2928

TYPE OF SUBMITTAL:

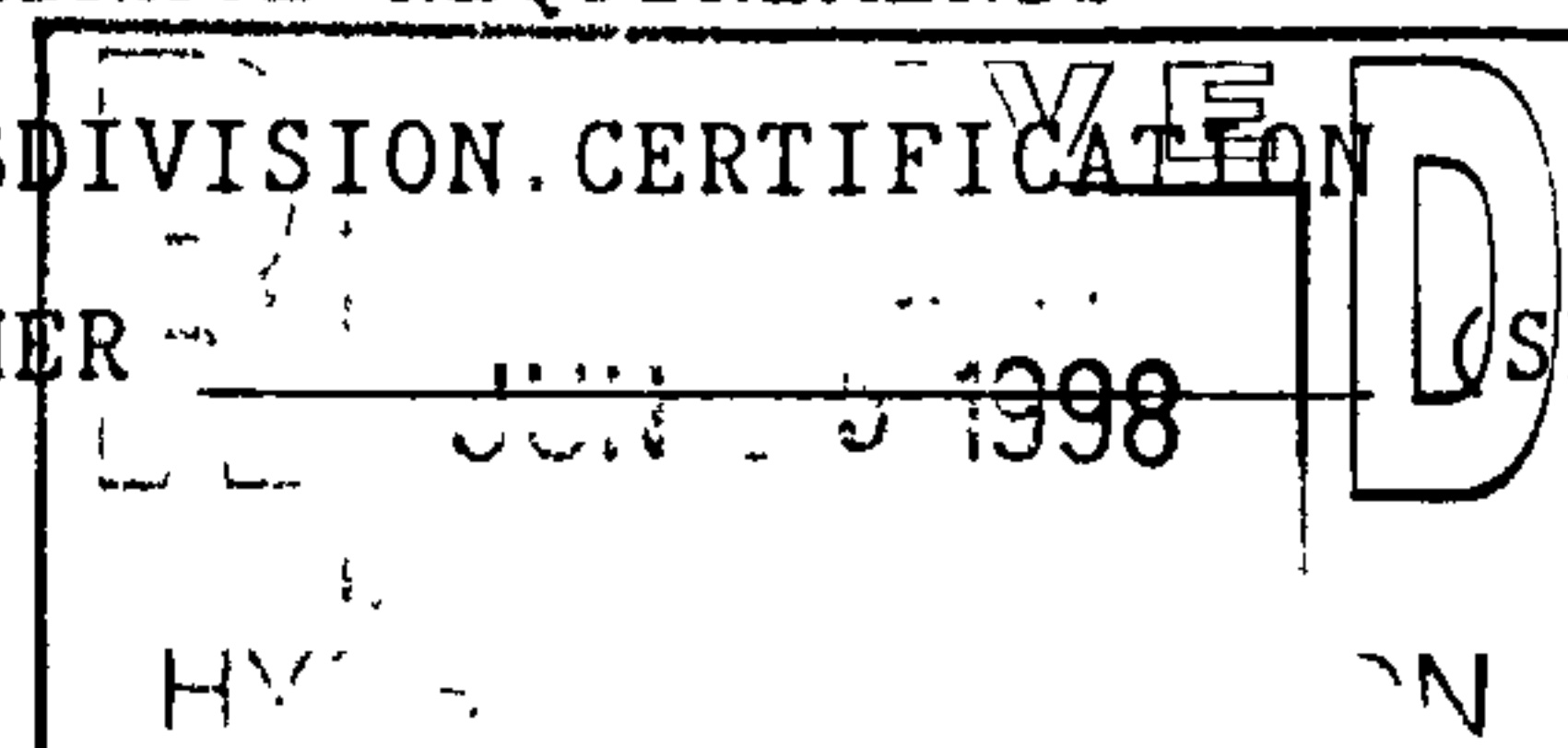
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 6/15/98BY: Tom Mann

RESUBMITTAL
DRAINAGE INFORMATION SHEET

D71
~~D72~~

PROJECT TITLE: Albuquerque Printing ZONE ATLAS/DRNG. FILE #: F-17
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lot ~~2~~ 2-A Reindeer Addition
CITY ADDRESS: Bogon Ave NE
ENGINEERING FIRM: Engineering & Surveying Assoc CONTACT: Tom Mann
ADDRESS: 5312 Noreen NE PHONE: 298-4651
OWNER: Unknown CONTACT: _____
ADDRESS: _____ PHONE: _____
ARCHITECT: Claudio Vigil CONTACT: Claudio Vigil
ADDRESS: 1305 Tijeras NW PHONE: 842-1113
SURVEYOR: Engineering & Surveying Assoc CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: George Brunacini CONTACT: George Brunacini
ADDRESS: PO Box 6363 PHONE: 345-3909

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

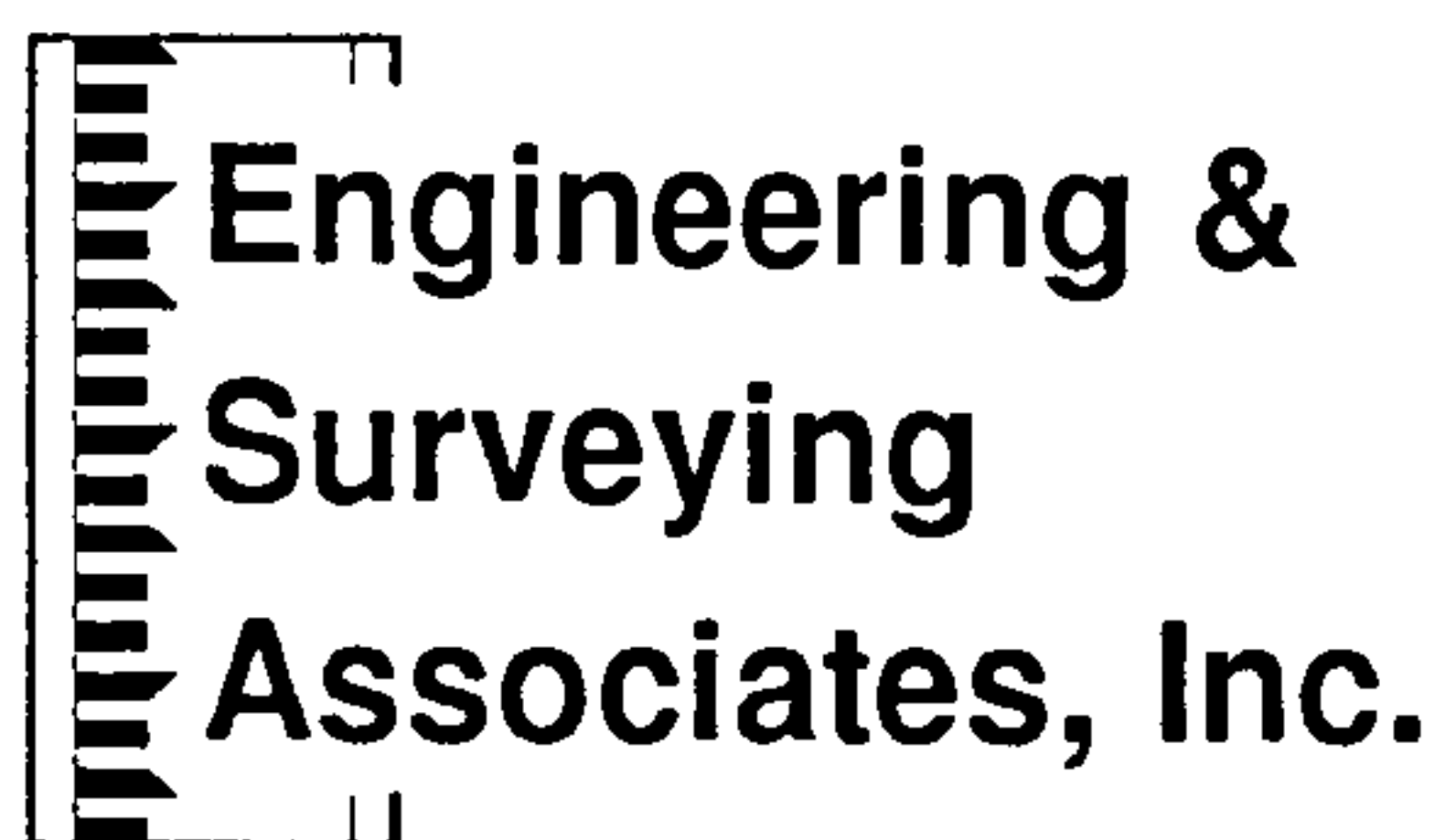
- ☒ YES
☐ NO
☒ COPY PROVIDED



CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 12.23.97 1.23.98
BY: Tom Mann



January 23, 1998
7017

Ms. Lisa Manwill, P.E.
City Of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Albuquerque Printing Drainage Plan (F17-⁰⁷¹~~D21~~)

Dear Ms. Manwill:

This letter and submittal is in response to your letter dated January 16, 1998.

1. The finished floor elevation has been added to the drawing.
2. The basin boundaries have been added to the drawing.

3. Basin 3 does lie south of the channel. It is completely severed from the site and is essentially useless. The owner does not propose to utilize the land in Basin 3. The land is lower than the top of the channel, but since it is not being utilized or disturbed I do not feel that fill material should be brought in to change the drainage characteristics. The land to the south of Basin 3 is fully developed and accepts any flows that might leave Basin 3. Top of curb and base of wall elevations were provided for the north wall of the channel.

4. The size and invert elevations were provided for the western pipe that drains into the channel. I did not size the pipe that is a roof drain since I felt that was the responsibility of the architect. Capacity calculations for the western pipe have been added to the drawing. A note has been added to the drawing telling the contractor how to penetrate the channel wall.

If you have any further comments, please do not hesitate to call.

Thank you.

Sincerely,

Thomas T. Mann, Jr., PE & PS



July 21, 1998

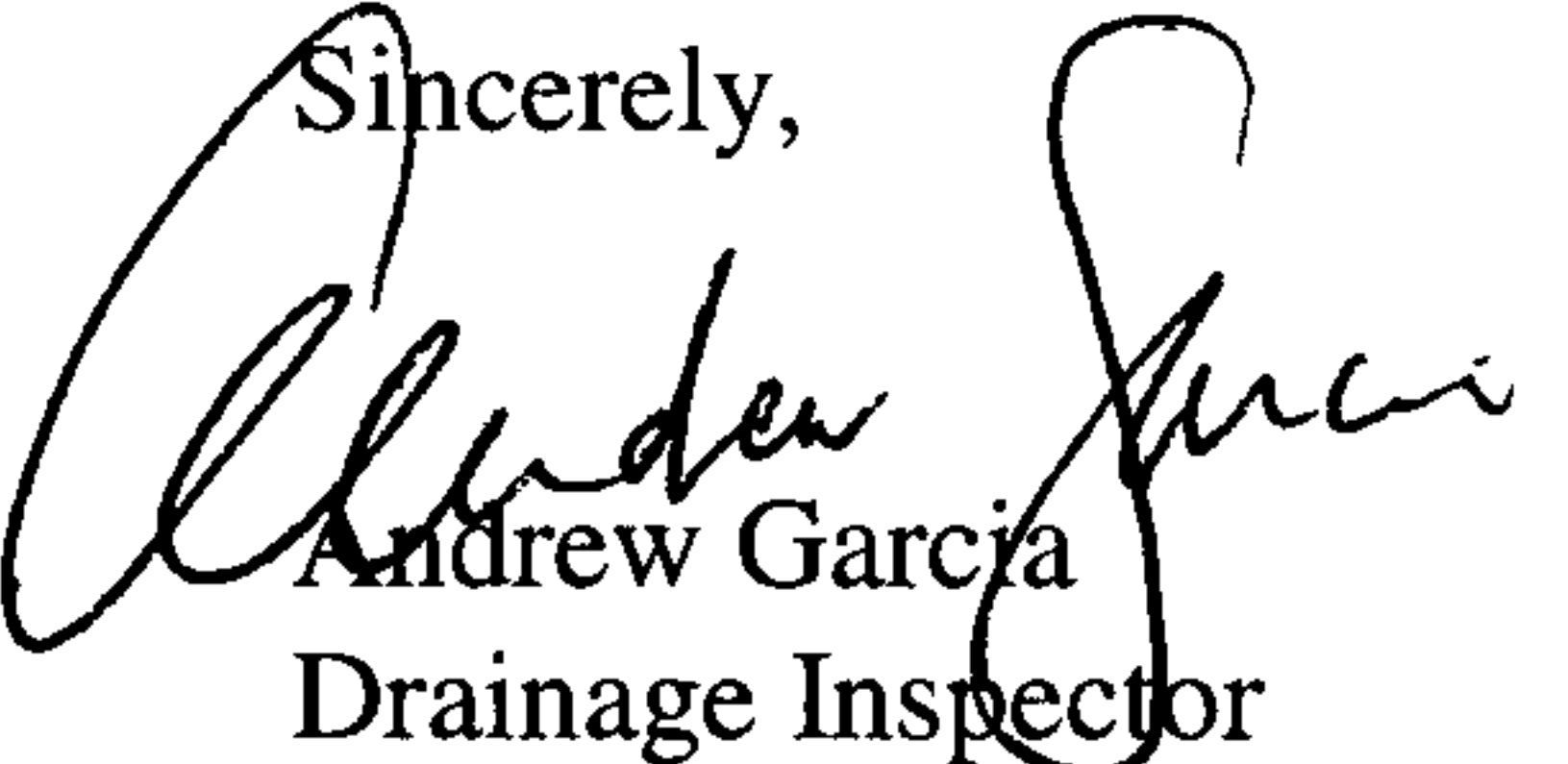
Tom Mann, P.E.
Engineering & Surveying Associates
5312 Noreen NE
Albuquerque, NM 87111

RE: ENGINEER'S CERTIFICATION FOR ALBUQUERQUE PRINTING(F-17/D21) 571
ENGINEER STAMP DATED 6/13/98.

Dear Mr. Mann:

Based on the information provided on your June 15, 1998 submittal, the above referenced is acceptable.

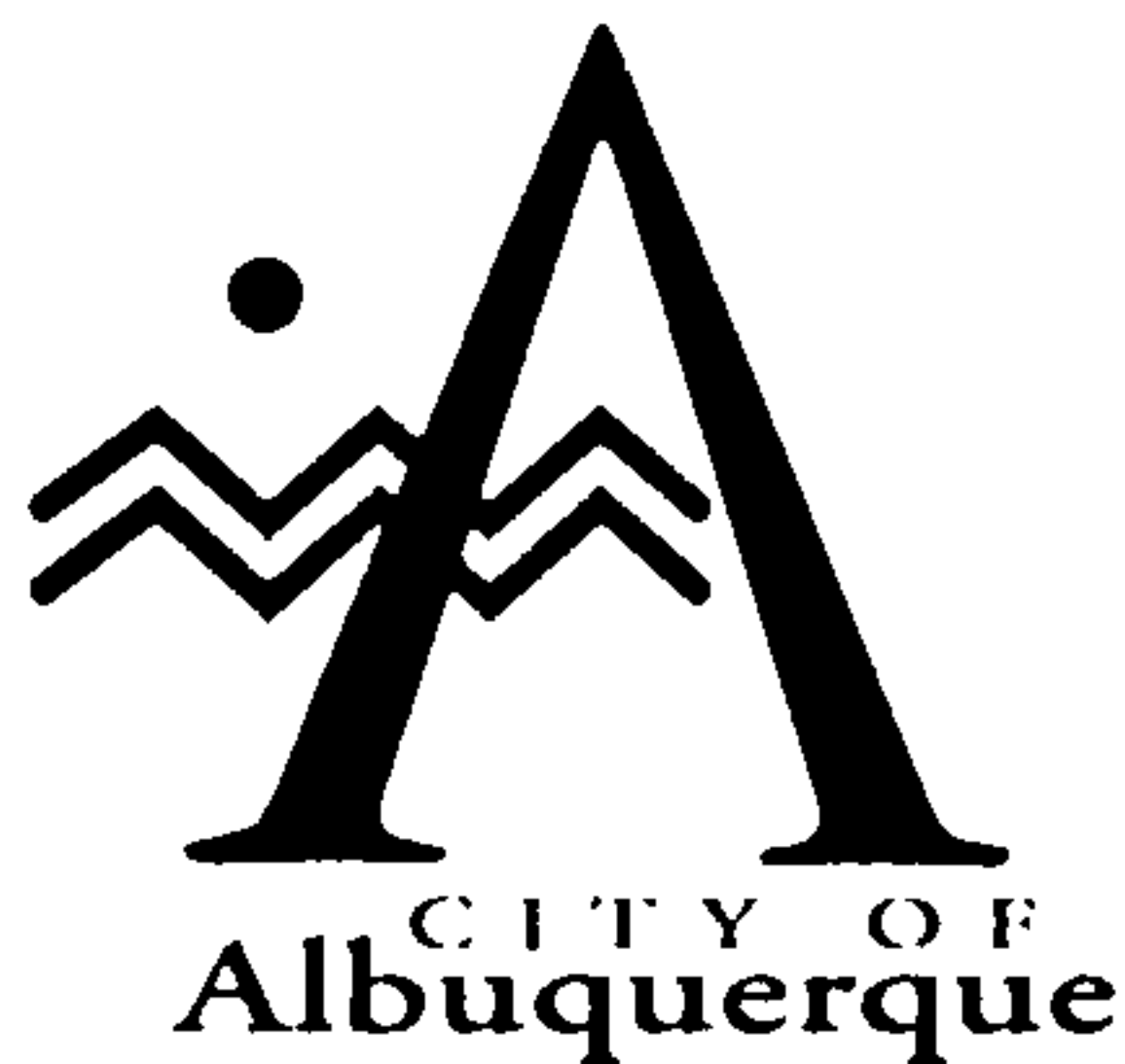
If I can be of any further assistance, please feel free to contact me at 924-3330.

Sincerely,

Andrew Garcia
Drainage Inspector

c: file

Good for You, Albuquerque!





January 16, 1998

Martin J. Chávez, Mayor

Tom Mann, P.E.
Engineering & Surveying Assoc.
5312 Noreen NE
Albuquerque, NM 87111

*RE: ALBUQUERQUE PRINTING (F17-D21)^{D71}. GRADING AND DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 12-23-97.*

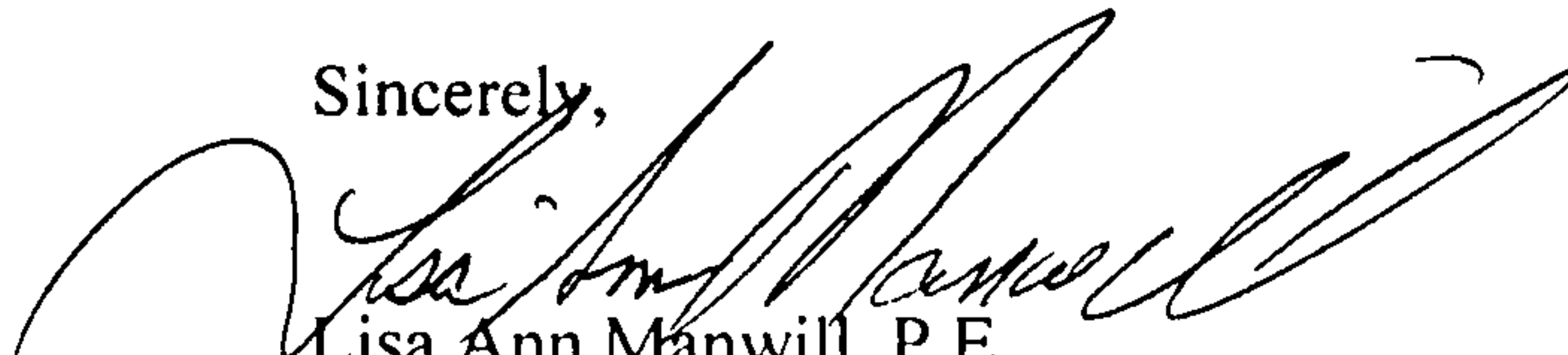
Dear Mr. Mann:

Based on the information provided on your December 22, 1997 submittal, City Hydrology has the following comments;

1. Provide finish floor elevation.
2. Show basin boundaries.
3. I assume basin 3 is south of the channel. Does basin 3 flow north into the existing channel? Please show some grades, indicating direction of flow. The basin south of the channel should be graded to flow to the channel. Also, provide some existing spot elevations in the channel.
4. Provide size and invert elevations (inlet and outlet) for both of the PVC drainage pipes to the existing channel. How do you propose to penetrate the channel? Provide pipe capacity calculations.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia
File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

F-17/D72

PROJECT TITLE: Albuquerque Printing ZONE ATLAS/DRNG. FILE #: ~~F-17~~ ~~D72~~
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lot ~~2~~ 2-A Reminder Addition
CITY ADDRESS: Bogon Ave NE
ENGINEERING FIRM: Engineering & Surveying Assoc CONTACT: Tom Mann
ADDRESS: 5312 Noreen NE PHONE: 298-4651
OWNER: Unknown CONTACT: _____
ADDRESS: _____ PHONE: _____
ARCHITECT: Claudio Vigil CONTACT: Claudio Vigil
ADDRESS: 1305 Tijeras NW PHONE: 842-1113
SURVEYOR: Engineering & Surveying Assoc CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: George Brunacini CONTACT: George Brunacini
ADDRESS: PO Box 6363 PHONE: 345-3909

TYPE OF SUBMITTAL:

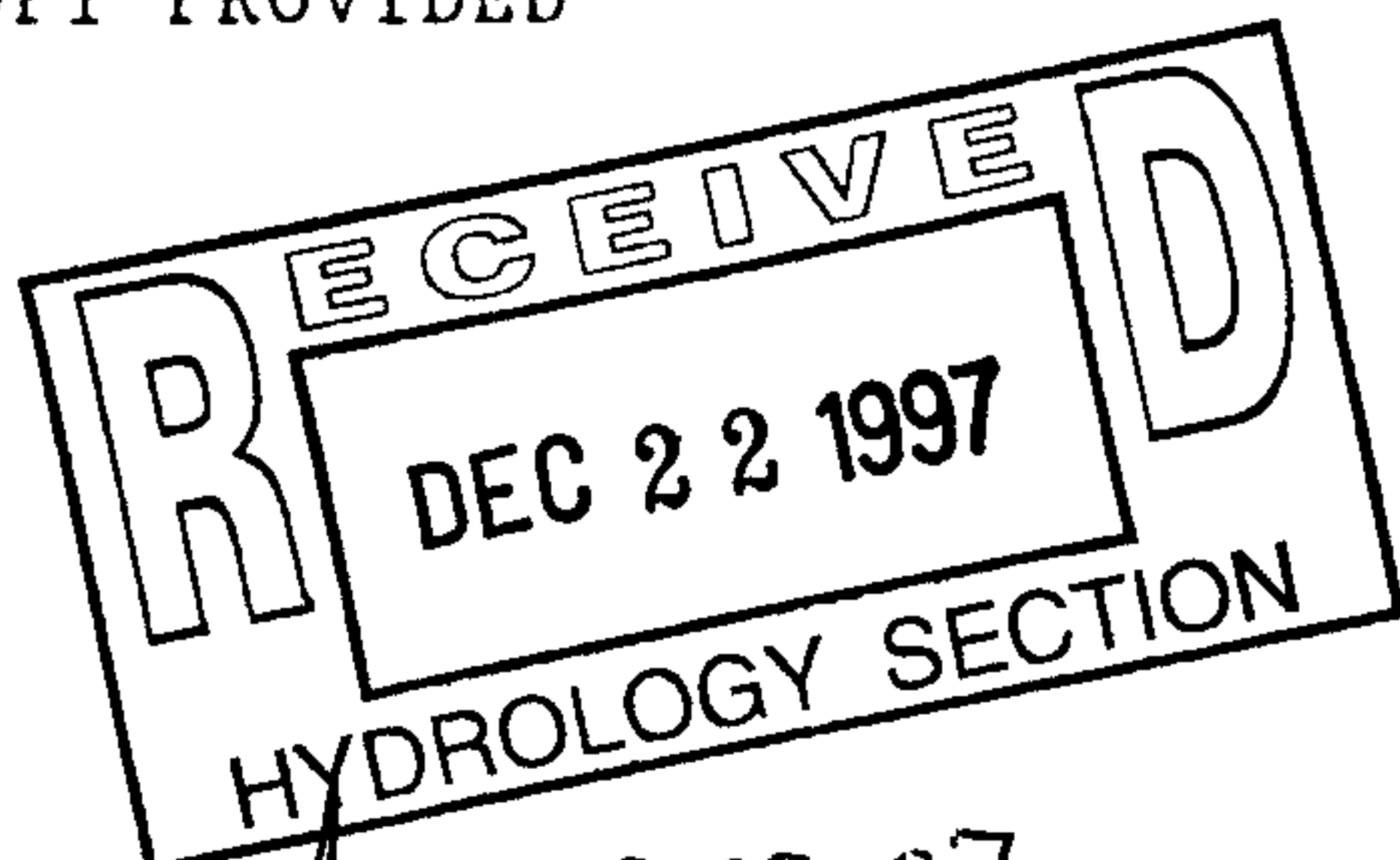
- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

- ☒ YES
☐ NO
☒ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
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☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER _____ (SPECIFY)



DATE SUBMITTED: 12-23-97
BY: Tom Mann

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: E17 DATE: 12-8-97
PLANNING DIVISION NOS: EPC: _____ DRE: _____
SUBJECT: Brunkini Warehouse
STREET ADDRESS (IF KNOWN): BOGAN
SUBDIVISION NAME: _____

APPROVAL REQUESTED:

_____ PRELIMINARY PLAT	_____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN	<input checked="" type="checkbox"/> BUILDING PERMIT
_____ OTHER	_____ ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>TOM MANN</u>	_____
	<u>LISA MANGILL</u>	<u>LOA</u>
	_____	_____

FINDINGS:

- * Got as much runoff to the conc lined channel (to the south) as possible.
- * Limit runoff in Bogan to ~~historical~~ 4 1/2 cfs.
- * ~~Make~~ Make note on plan, that according to drainage studies done on adjacent properties, the channel accepts free developed discharge. Reference studies.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>[Signature]</u>	SIGNED: <u>[Signature]</u>
TITLE: _____	TITLE: _____
DATE: <u>12-8-97</u>	DATE: <u>12/8/97</u>

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL