

SITE CRITERIA

PROJECT: NEW WAREHOUSE ADDITION
3900 BOGAN AVENUE, N.E.
ALBUQUERQUE, NM.

OWNER: G & A LTD. CO.

ARCHITECT: CLAUDIO VIGIL ARCHITECTS

LEGAL DESCRIPTION: LOT 2-A, REINDEER ADDITION
SEC. 35, T. 11 N, R. 3 E, NMPM.

ZONING ATLAS MAP: F-11-2

ZONING CLASSIFICATION: M-1

BUILDING TYPE: WAREHOUSE/PRINTING

CONSTRUCTION TYPE: II N - SPRINKLERED

OCCUPANT LOAD:

EXISTING:	NEW:	TOTAL:
OFFICE	5,146 SF/100 = 51.4	
WAREHOUSE	11,343 SF/500 = 22.7	
PRINTING	3,511 SF/200 = 17.5	
TOTAL	92	
ADDITION:		
WAREHOUSE	24,773 SF/500 = 49.5	
TOTAL	92 + 50 = 142	

OCCUPANCY GROUP: OFFICE = B
PRINTING = F-1
WAREHOUSE = S-1

NUMBER OF FLOORS: 1
GROSS BUILDING AREA:

EXISTING	ADDITION	TOTAL
20,000 SF.	24,773 SF.	44,773 SF.

ALLOWABLE AREA: II N + B2 OCCUPANCY = 12,000 SF.
INCREASE X 3 FOR SPRINKLERED = 36,000 SF.
INCREASE SEPARATION 2 SIDES X 15
TOTAL = 54,000 SF.

LOT SIZE: 2.9308 ACRES
EXIT WIDTH REQUIRED: (OC. LOAD) 142 X 2 = 28.4'
EXIT WIDTH PROVIDED: 144'
NUMBER OF EXITS PROVIDED: 5
BUILDING HEIGHT ABOVE GRADE: 26'-0"
PARKING SPACES REQUIRED:

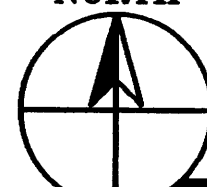
EXISTING	NEW	TOTAL
1546 + 200 = 257		
WAREHOUSE = 3616 + 2000 = 181		
PRINTING = 3511 + 1000 = 35		
TOTAL	473	

PARKING SPACES EXISTING: 50 SPACES-
INCLUDING 4 HANDICAP.
BICYCLE SPACES:
1 BICYCLE SPACE PER 30 REQ'D AUTO PARKING SPACES
PARKING SPACES REQ'D = 50/20 = 2.5
TOTAL BICYCLE PARKING REQUIRED = 3
TOTAL BICYCLE PARKING EXISTING = 4
(2 POSTS W/ 2 HITCHES EACH)

GENERAL NOTES (SITE)

- THE CONTRACTOR SHALL REFER TO THE OWNER'S SURVEY FOR THE MEETS AND BOUNDS DESCRIPTION.
- THE CONTRACTOR SHALL SUBMIT AUTOMATIC FIRE SPRINKLER SYSTEM SHOP DRAWINGS WITH A SEAL TO THE CITY OF ALBUQUERQUE FIRE DEPARTMENT FOR APPROVAL AS REQUIRED, PER NFPA 13.
- THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED AND MONITORED FOR 100 SPRINKLER HEADS OR MORE.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL WORK WITHIN THE RIGHT OF WAY SHALL MEET CITY OF ALBUQUERQUE STANDARDS.
- THE SQUARE FOOTAGES SHOWN ON THESE PLANS ARE FOR BUILDING CODE AND ARCHITECTURAL PURPOSES ONLY.
- THE CONTRACTOR SHALL PLACE THE BUILDING ADDRESS IN A LOCATION WHERE IT IS VISIBLE AND CLEARLY LEGIBLE FROM THE STREET. SEE THE EXTERIOR ELEVATIONS FOR LOCATION.
- ALL SIDEWALK & CURB & GUTTER IN DISREPAIR SHALL BE REMOVED AND REPLACED.

NORTH



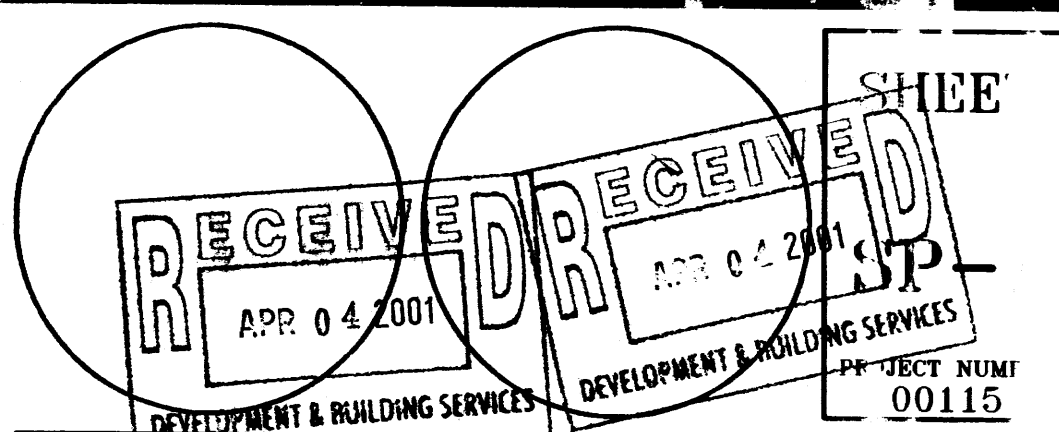
SITE PLAN & DETAIL

JANUARY 15, 2001

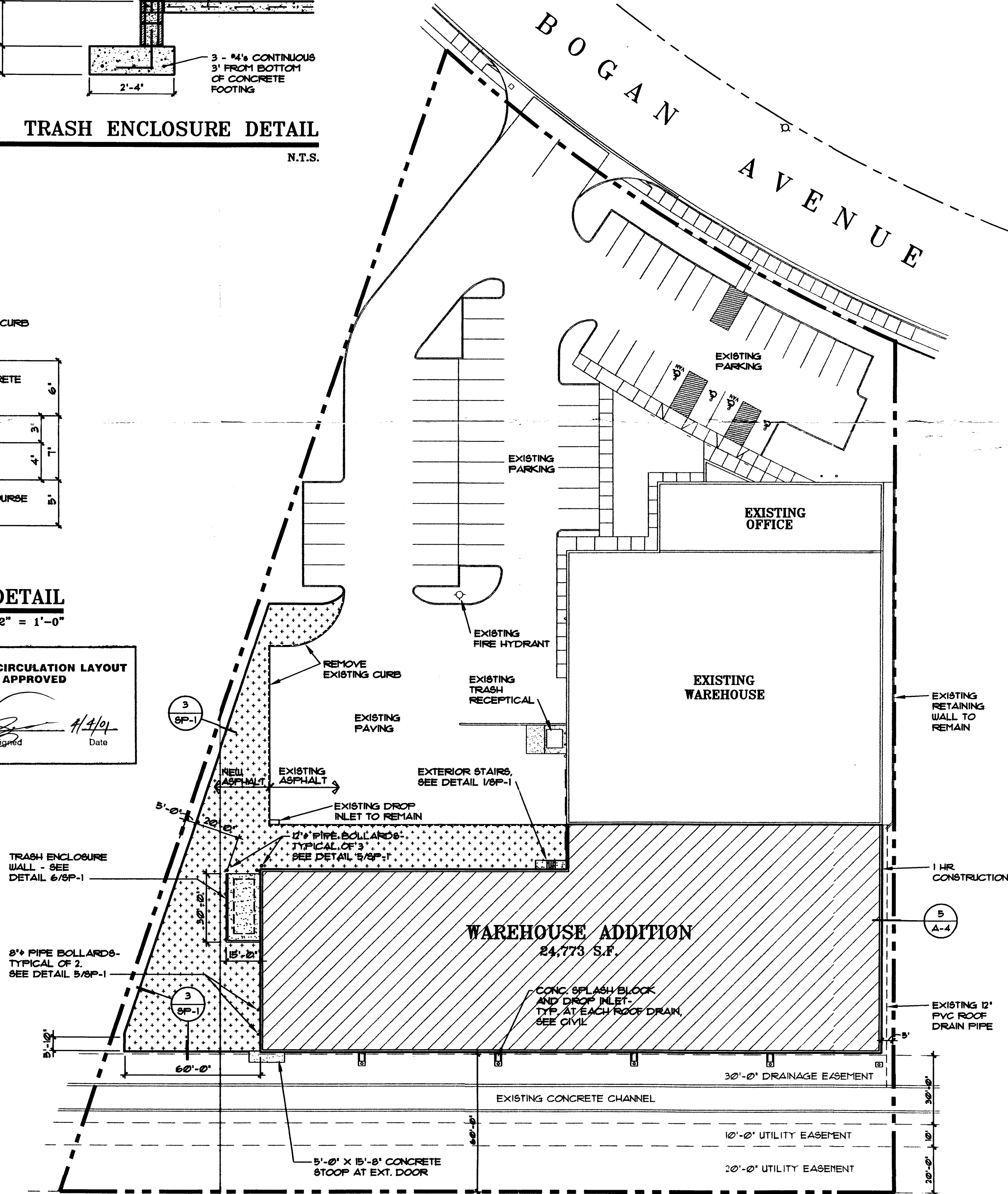
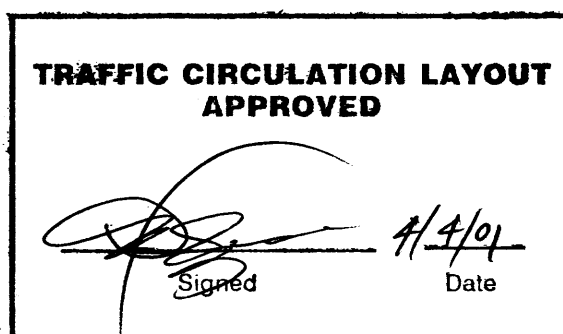
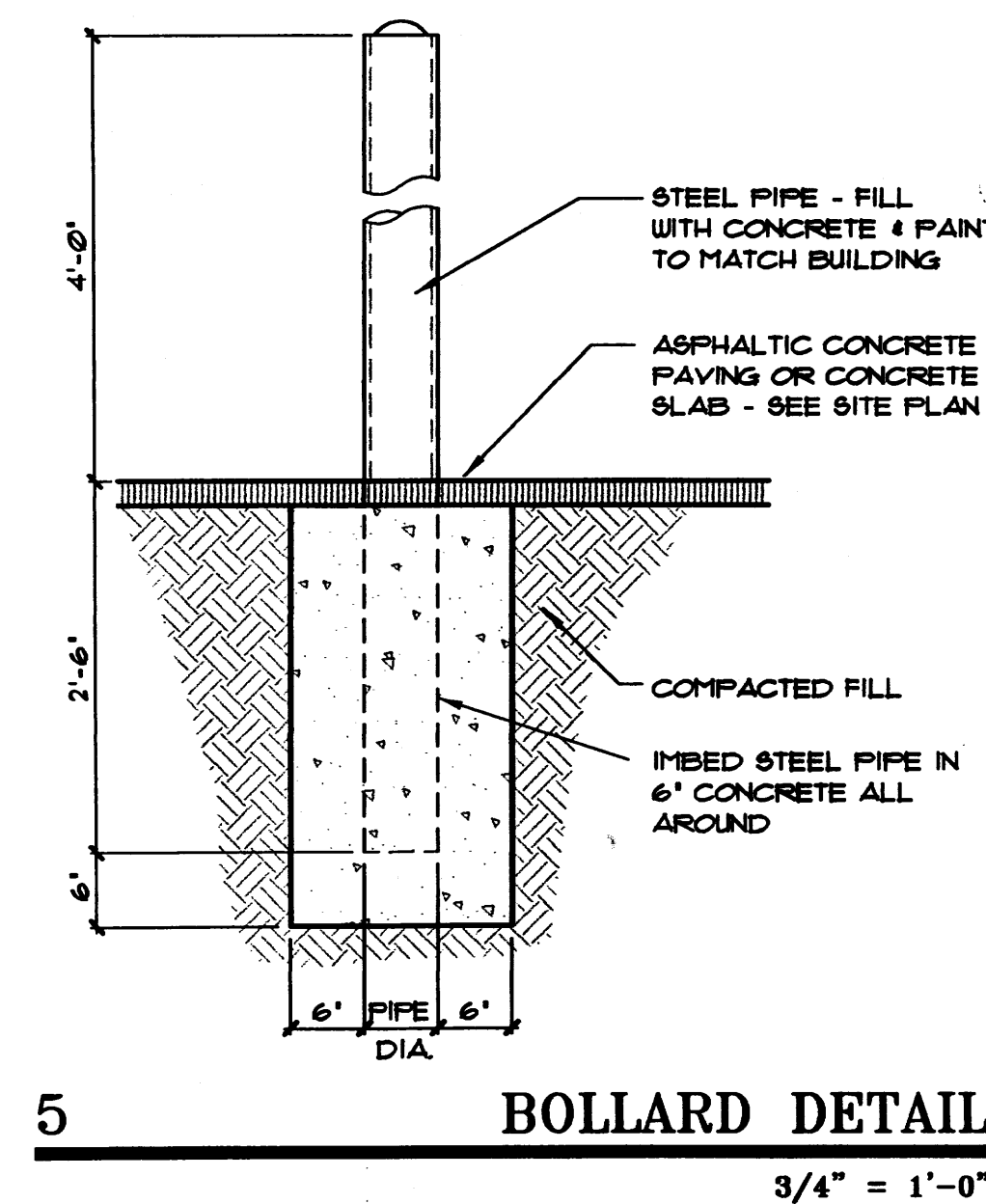
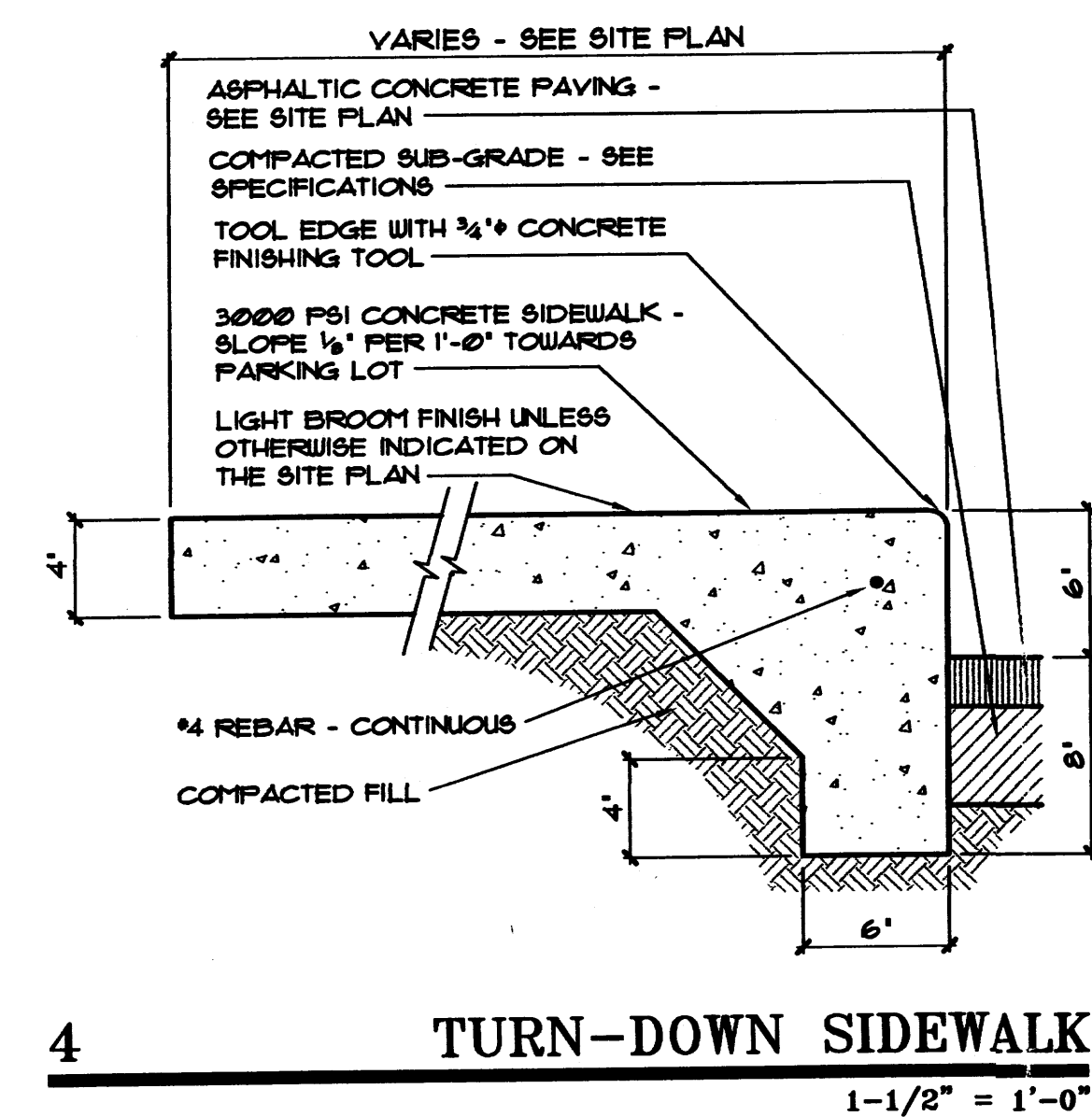
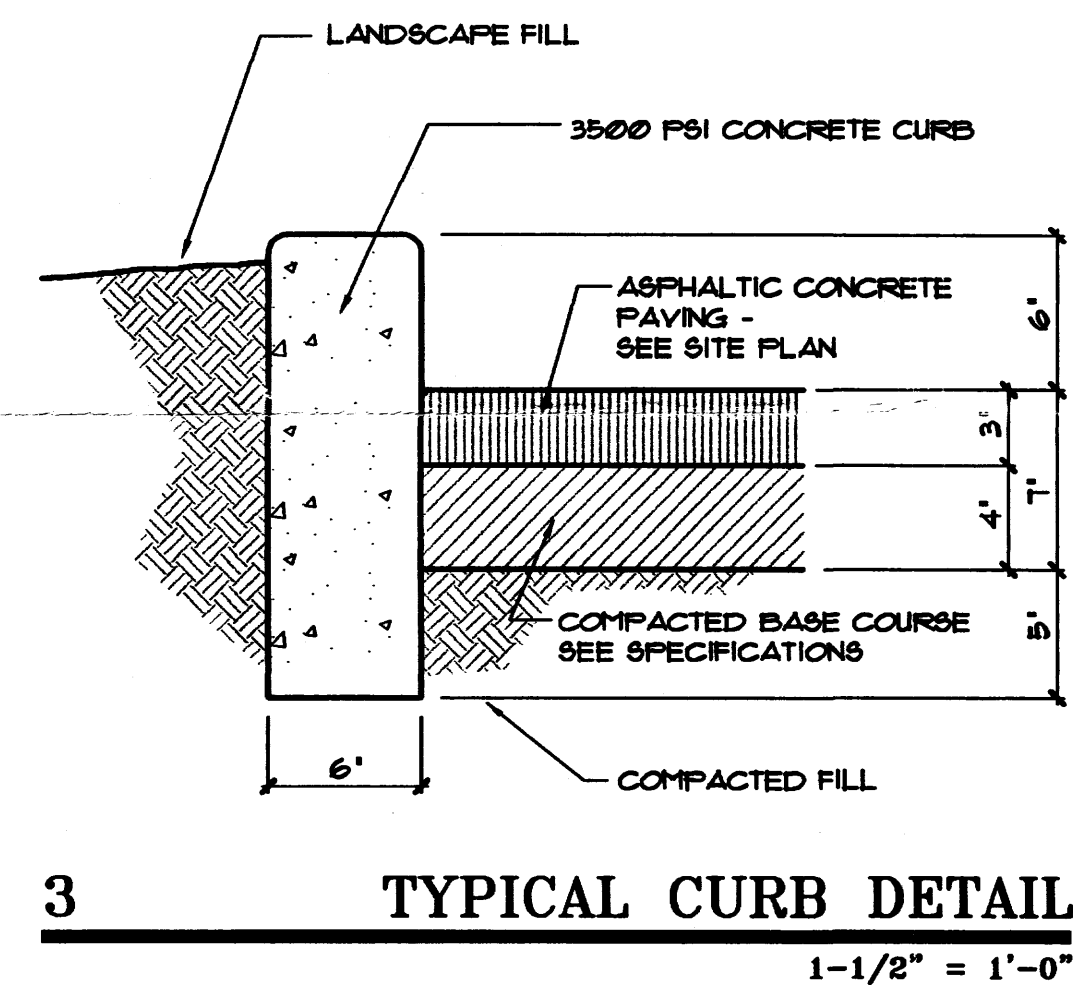
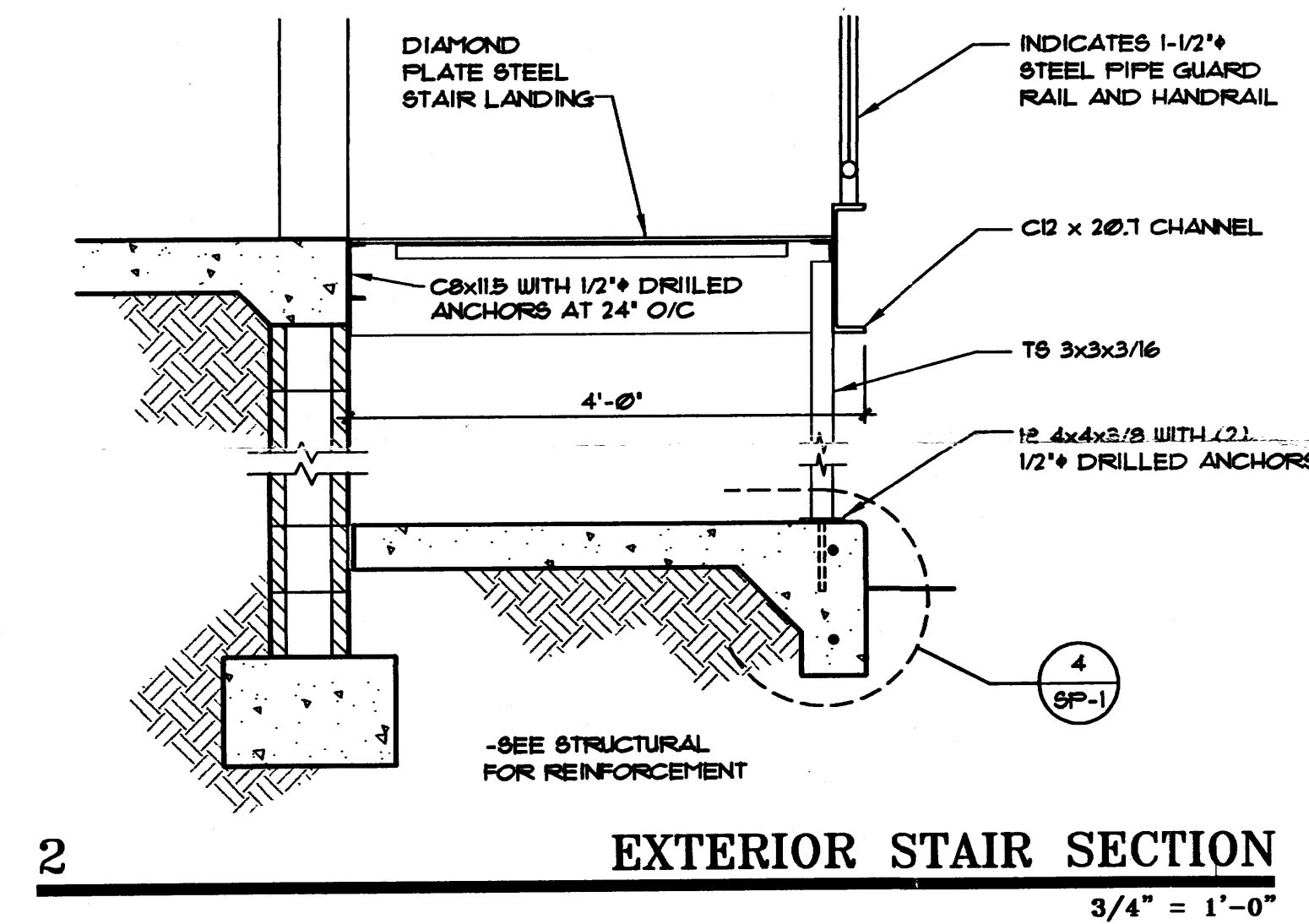
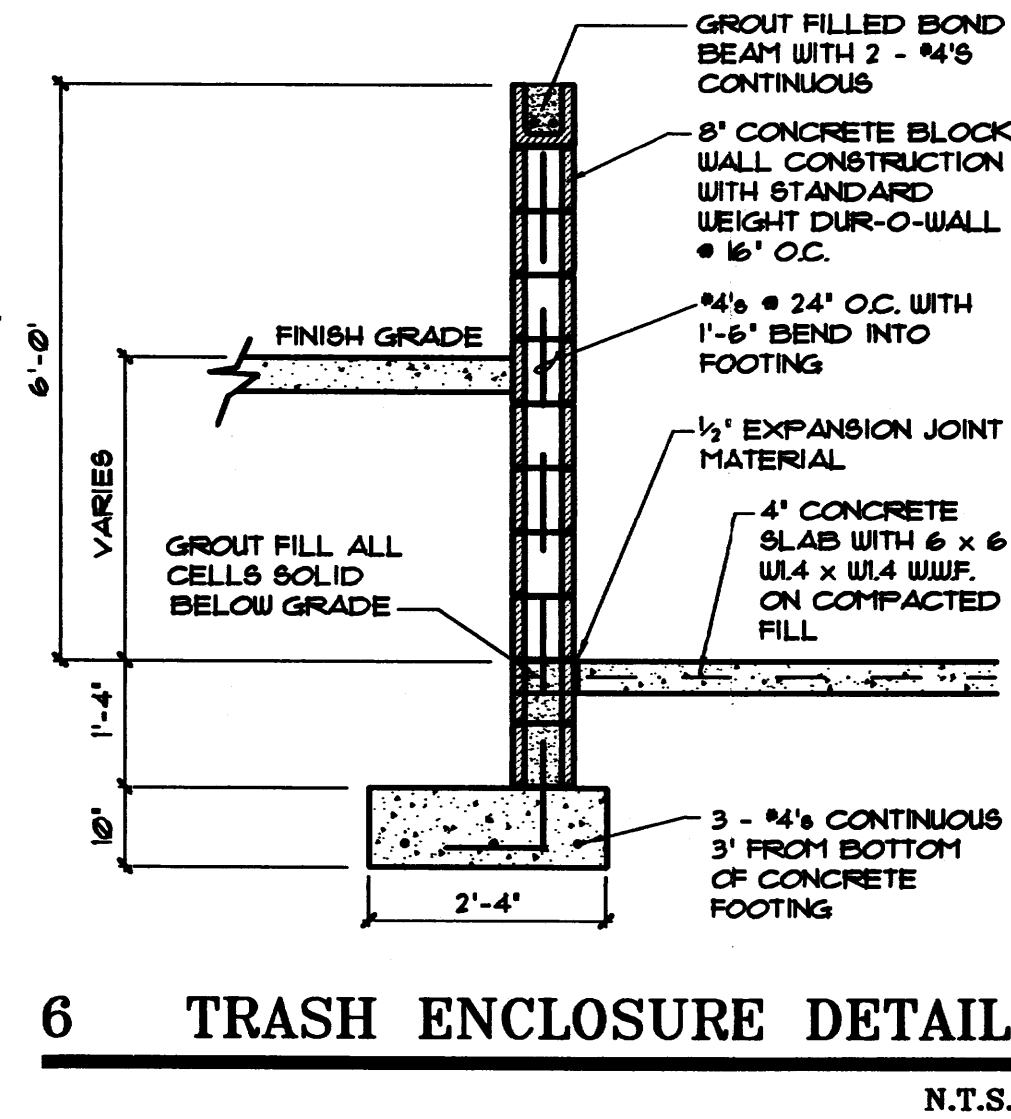
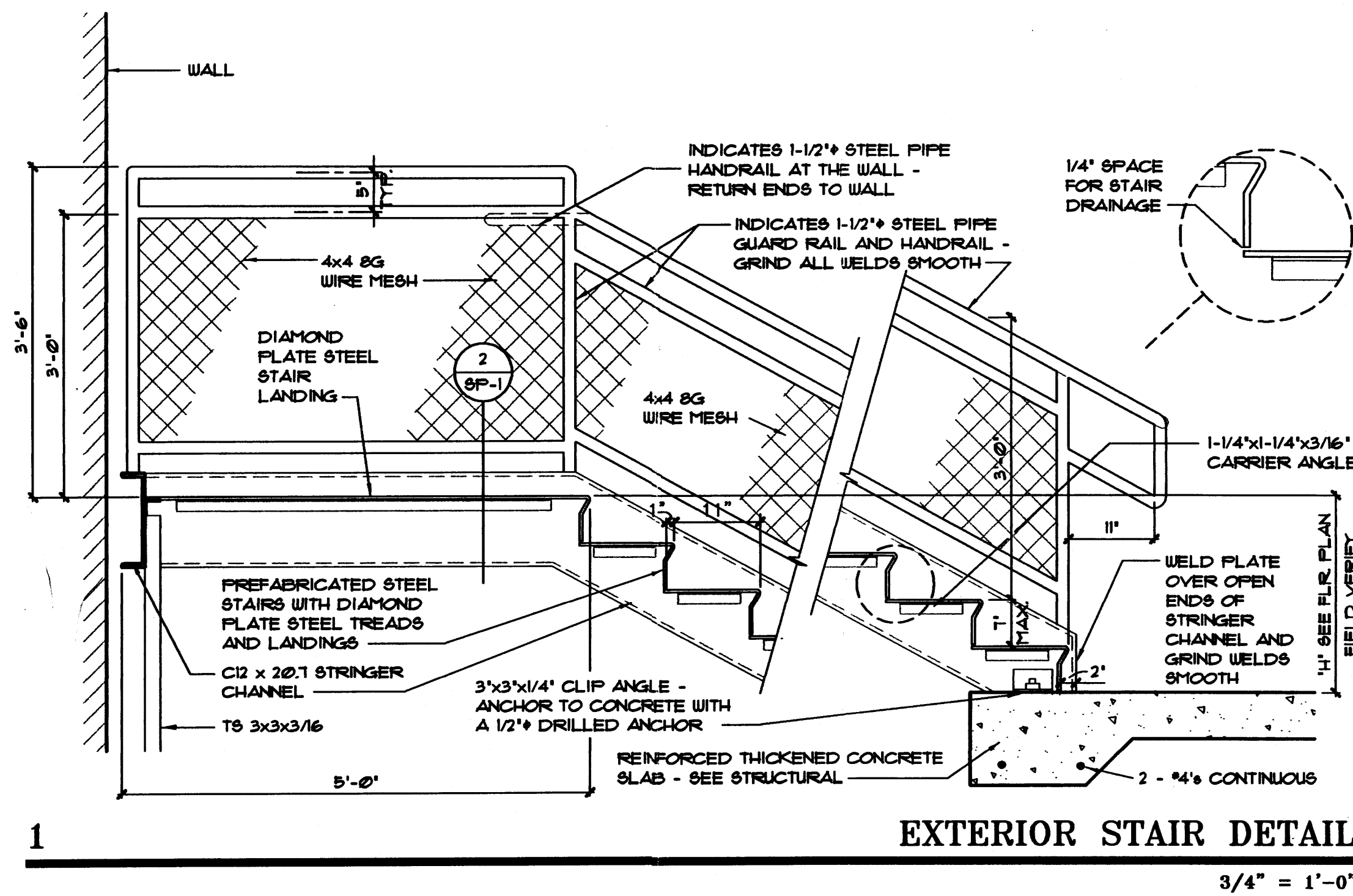
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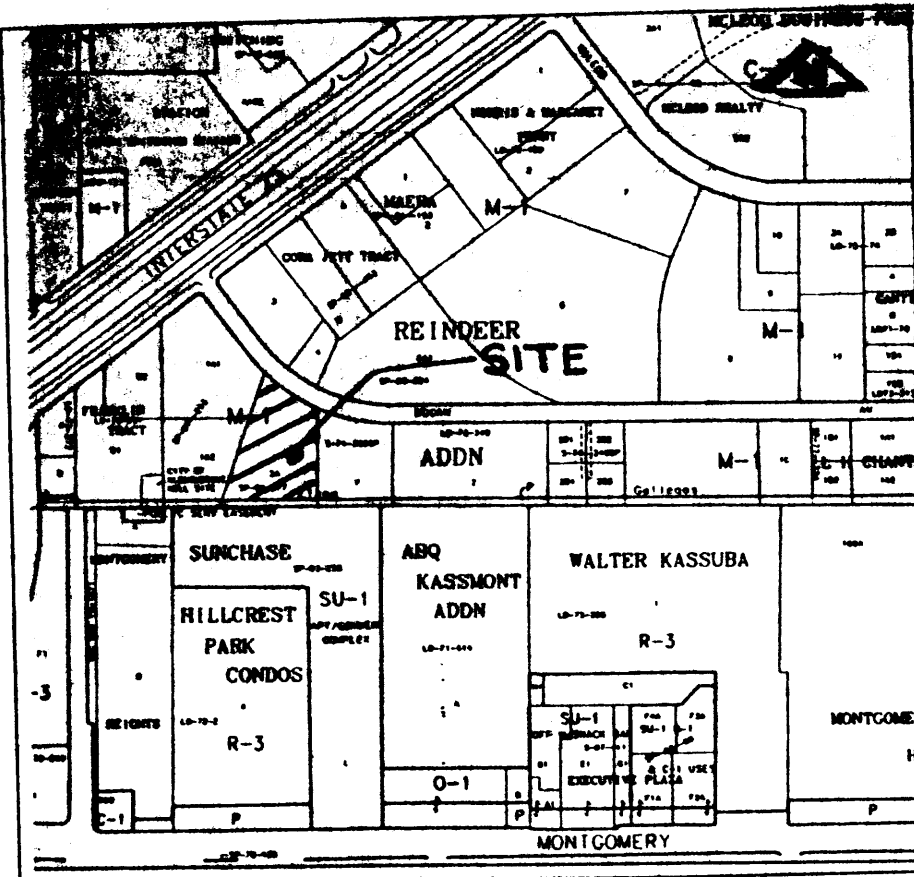
CLAUDIO VIGIL ARCHITECTS
F17/071

ALBUQUERQUE PRINTING
WAREHOUSE ADDITION
3900 BOGAN AVENUE N.E.
ALBUQUERQUE, NEW MEXICO



1305 Tijeras NW Albuquerque, NM 87106-288
Phone: 505/842-1113 Fax: 505/842-1330





VICINITY MAP

F-17

SCALE 1" = 700'

ADDRESS

BOGAN AVENUE NE

LEGAL DESCRIPTION

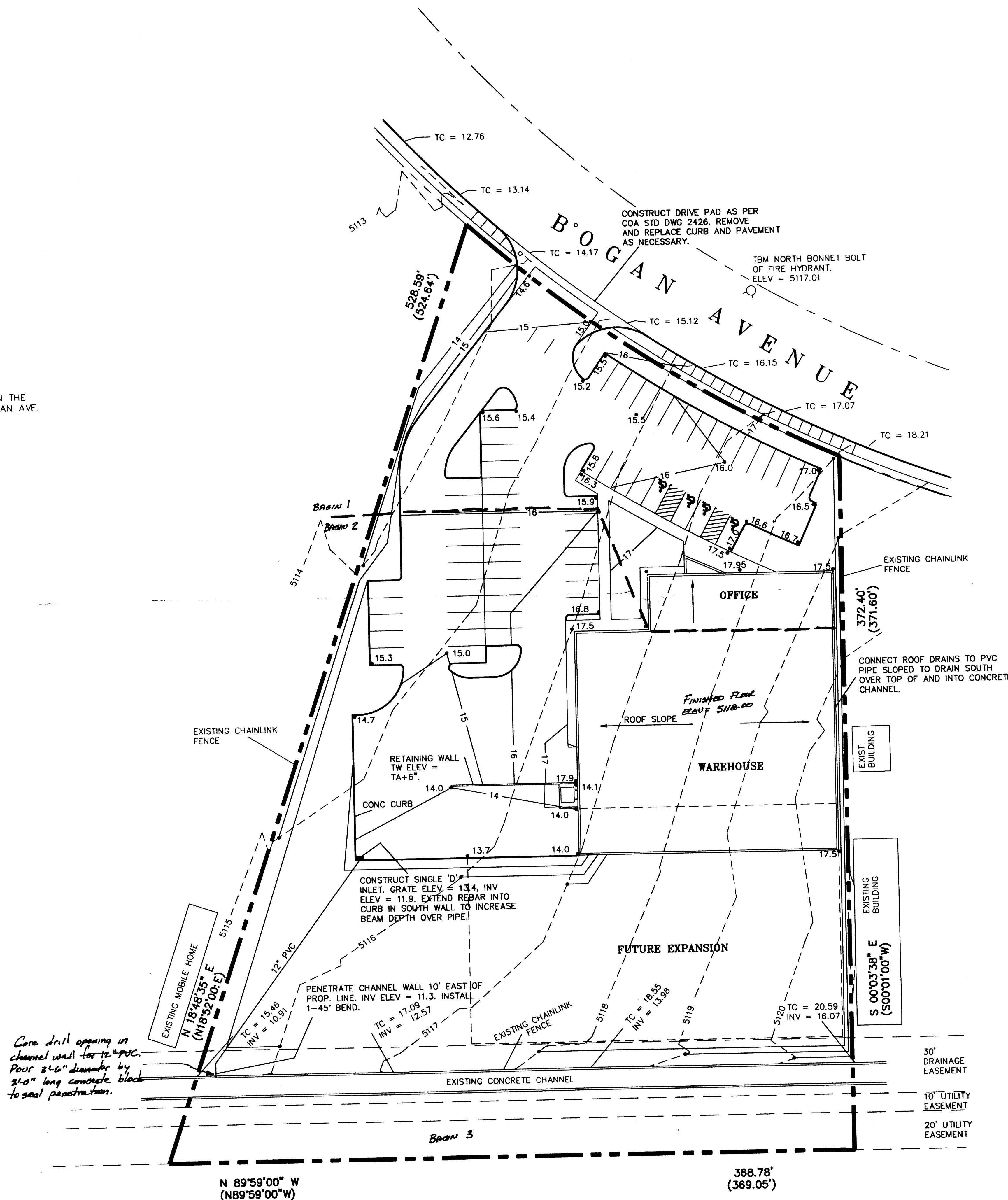
LOT 2-A, REINDEER ADDITION

BENCHMARK

ACS BENCHMARK 125-18, LOCATED ON THE EAST FRONTAGE, 600' NORTH OF BOGAN AVE. ELEVATION = 5125.7

LEGEND

- 35.8 EXISTING SPOT ELEVATION
- 36.20 NEW SPOT ELEVATION
- 36--- EXISTING CONTOUR
- 35--- NEW CONTOUR
- SWALE
- ✓ VERIFIED ELEVATION
- 36.2--- AS-BUILT ELEVATION
- BASIN BOUNDARY



ALBUQUERQUE PRINTING GRADING AND DRAINAGE PLAN

DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING THE ALBUQUERQUE PRINTING OFFICE/WAREHOUSE GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED ON THE SOUTH SIDE OF BOGAN AVENUE, EAST OF THE FRONTAGE ROAD. THE SITE IS UNDEVELOPED. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

THE SITE SLOPES FROM EAST TO WEST. THE SITE IS HIGHER THAN BOGAN AVENUE TO THE NORTH, LOWER THAN THE LOT TO THE EAST AND HIGHER THAN THE LOT TO THE WEST. A CONCRETE DRAINAGE CHANNEL TRAVERSES THE SOUTHERN ONE FOURTH OF THE SITE AND SEVERS APPROXIMATELY 0.39 ACRES FROM THE SITE. THEREFORE, ONLY MINOR OFFSITE RUNOFF CAN ENTER THE SITE FROM THE EAST AND THAT AMOUNT IS LIMITED SINCE THE SITE IS DEVELOPED AND GRADED TO DRAIN AWAY FROM THIS SITE.

A REVIEW OF THE APPROVED GRADING PLANS TO THE EAST AND WEST OF THIS SITE, (F17/D49A & F17/D62) INDICATE THAT THE CHANNEL TO THE SOUTH ACCEPTS FREE DEVELOPED DISCHARGES. THEREFORE, THIS SITE WILL BE GRADED TO CONVEY AS MUCH RUNOFF AS POSSIBLE TO THE CHANNEL AND LIMIT THE FLOWS TO BOGAN.

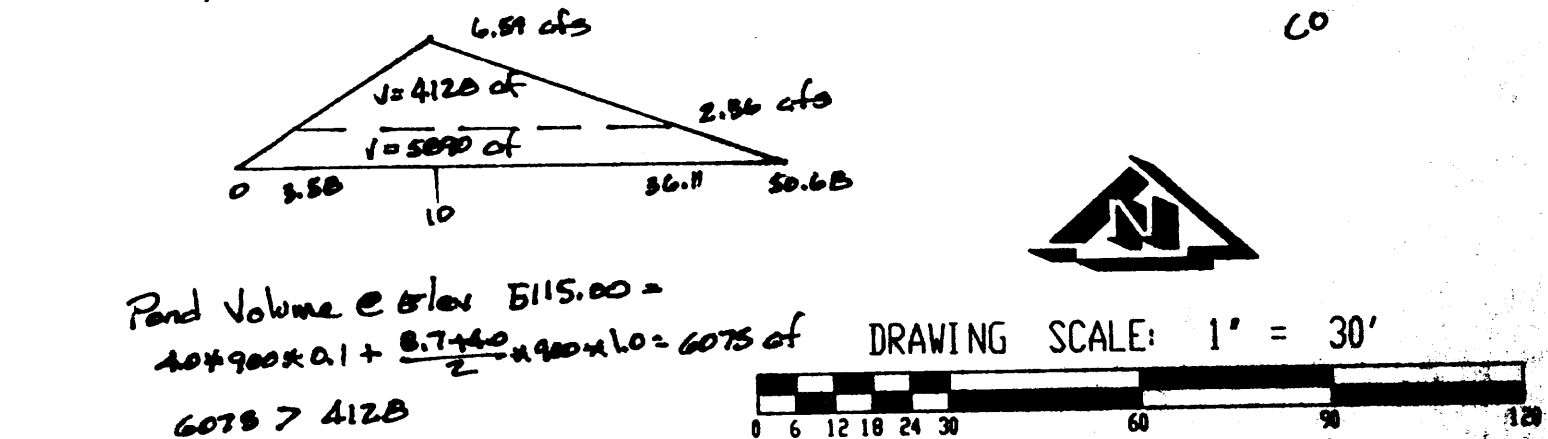
THE GRADING PLAN SHOWS 1) THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 2) CONTINUITY BETWEEN EXISTING AND PROPOSED CONTOURS, 3) THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS AND 4) THE LIMIT AND CHARACTER OF PROPOSED IMPROVEMENTS. AS SHOWN BY THIS PLAN, THE PROPOSED IMPROVEMENTS CONSIST OF AN OFFICE/WAREHOUSE WITH ASSOCIATED PARKING AND LANDSCAPING. THE NORTHERN ONE FOURTH OF THE SITE WILL DRAIN TO BOGAN WHILE THE MIDDLE OF THE SITE WILL DRAIN TO THE CONCRETE CHANNEL VIA AN INLET AND PIPE. THE EAST HALF OF THE ROOF WILL BE PIPED DIRECTLY TO THE CHANNEL. THE SOUTHERN ONE FOURTH OF THE SITE WILL BE UNTOUCHED SINCE IT LIES SOUTH OF THE CHANNEL AND DOES NOT BENEFIT THE PROJECT.

THE CALCULATIONS, WHICH APPEAR BELOW, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 6-HOUR, 100-YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME II. AS SHOWN BY THE CALCULATIONS, THE RATE OF RUNOFF AND THE VOLUME OF RUNOFF WILL INCREASE. THE FLOWS INTO BOGAN WILL DECREASE AND THE REMAINING FLOWS WILL BE CONVEYED DIRECTLY TO THE CHANNEL. THIS PLAN IS SIMILAR TO PREVIOUSLY APPROVED PLANS FOR THIS AREA.

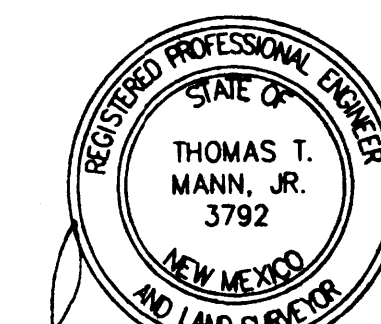
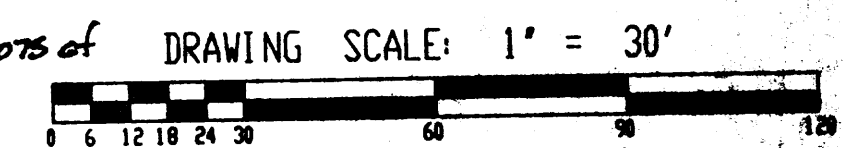
CALCULATIONS

PRECIPITATION ZONE = 2
AREA = 2.93 ACRES
EXISTING CONDITIONS
BASINS 1 & 2
AREA = 2.54 ACRES
LAND TREATMENT C = 100%
E = 1.13*1.00 = 1.13 INCHES
V = 1.13*2.54/12 = 0.24 ACRE FEET
Q = 3.14*1.00*2.54 = 7.98 CFS
BASIN 3
AREA = 0.39 ACRES
LAND TREATMENT C = 74% D = 26%
E = 1.13*0.74+2.12*0.26 = 1.39 INCHES
V = 1.39*0.39/12 = 0.05 ACRE FEET
Q = (3.14*0.74+4.70*0.26) = 1.38 CFS

DEVELOPED CONDITIONS
BASIN 1
AREA = 0.64 ACRES
LAND TREATMENT B = 26% D = 74%
E = 0.78*0.26+2.12*0.74 = 1.77 INCHES
V = 1.77*0.64/12 = 0.09 ACRE FEET
Q = (2.28*0.26+4.70*0.74)0.64 = 2.61 CFS
BASIN 2
AREA = 1.90 ACRES
LAND TREATMENT B = 51% D = 49%
E = 0.78*0.51+2.12*0.49 = 1.44 INCHES
V = 1.44*1.90/12 = 0.23 ACRE FEET
Q = (2.28*0.51+4.70*0.49)1.90 = 6.59 CFS
BASIN 3 - UNCHANGED
INCREASE IN RATE OF RUNOFF = 10.58-9.36 = 1.22 CFS
INCREASE IN VOLUME OF RUNOFF = 0.37-0.29 = 0.08 ACRE FEET
12" PIPE CAPACITY = 1.89 / 0.08 = 2.36 ft/s



Pond Volume @ Elev 5115.00 = 40+900*0.1 + 0.74*40+900*0.1 = 6075 cf
6075 > 4125



THOMAS T. MANN, JR. PEPS NO. 3792

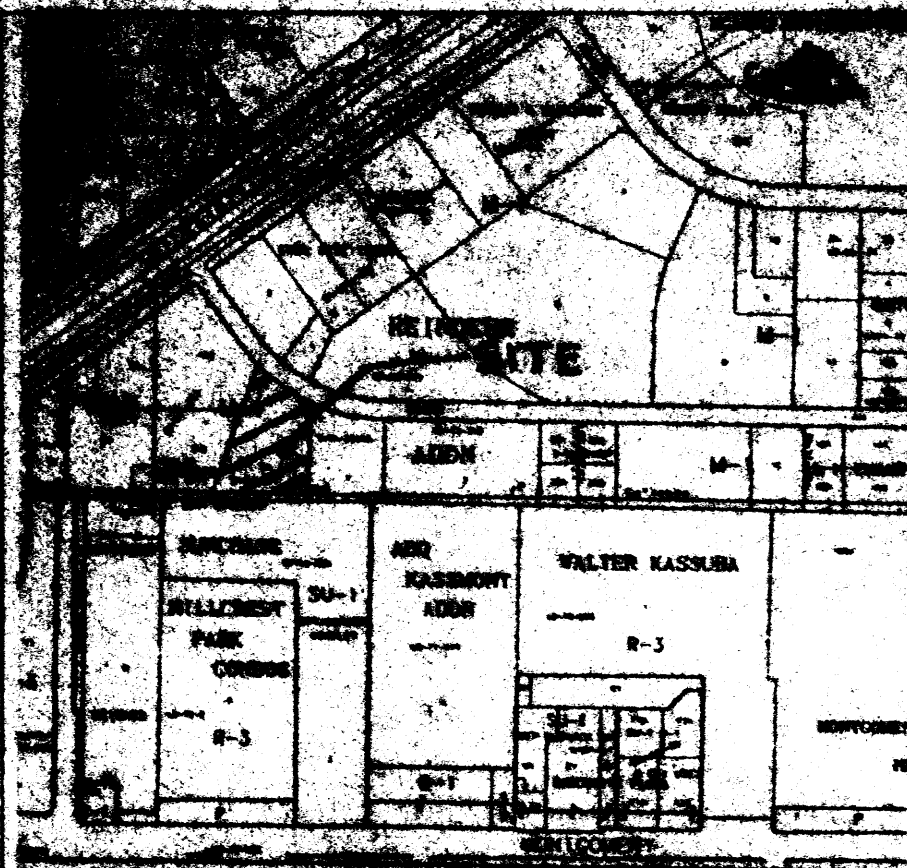
12-23-97 1-23-98

Engineering & Associates, Inc.

5312 Horizon Drive NE • Albuquerque, NM 87111 (505) 298-4851

1

SHEET NO.



VICINITY MAP F-17
SCALE 1" = 760'

ADDRESS

BOGAN AVENUE NE

LEGAL DESCRIPTION

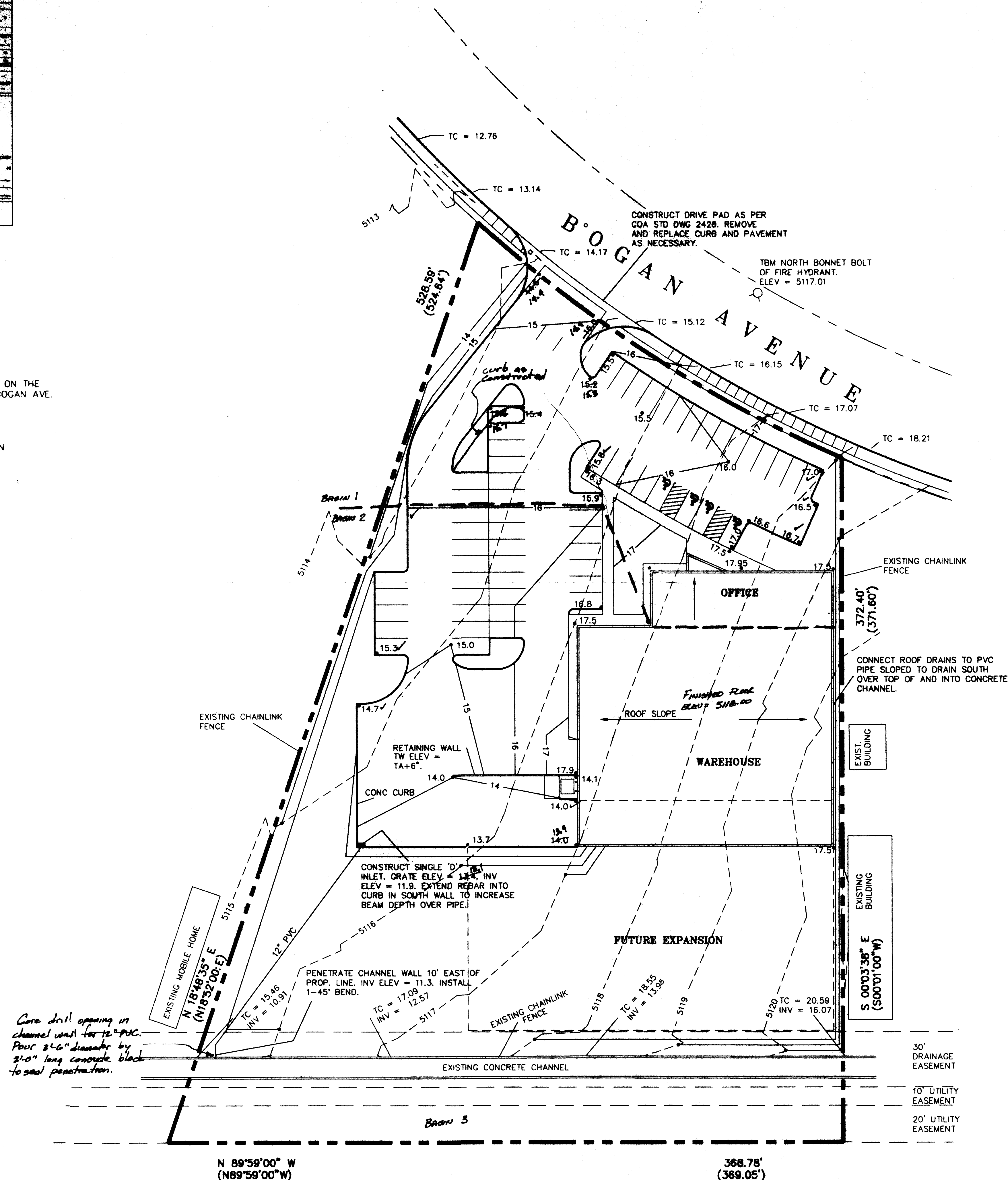
LOT 2-A, REINDEER ADDITION

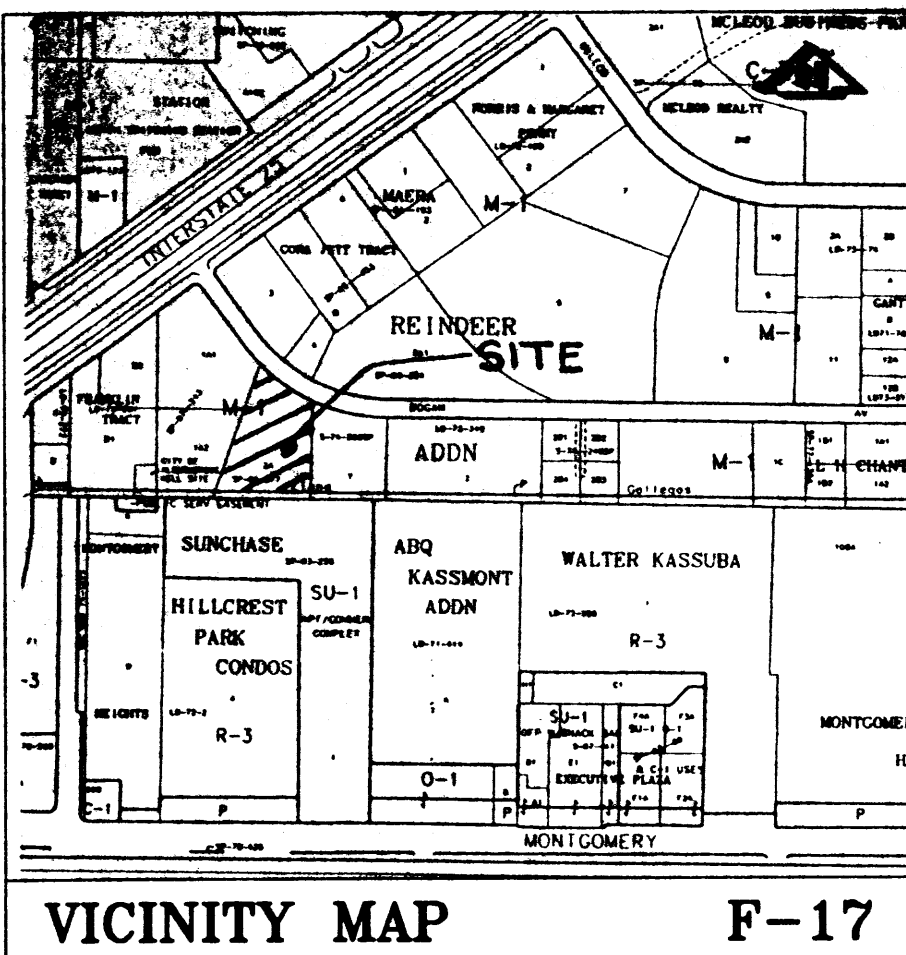
BENCHMARK

ACS BENCHMARK 125-18, LOCATED ON THE EAST FRONTAGE, 600' NORTH OF BOGAN AVE. ELEVATION = 5125.7

LEGEND

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- 36.20 NEW SPOT ELEVATION
- 36 --- EXISTING CONTOUR
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- SWALE
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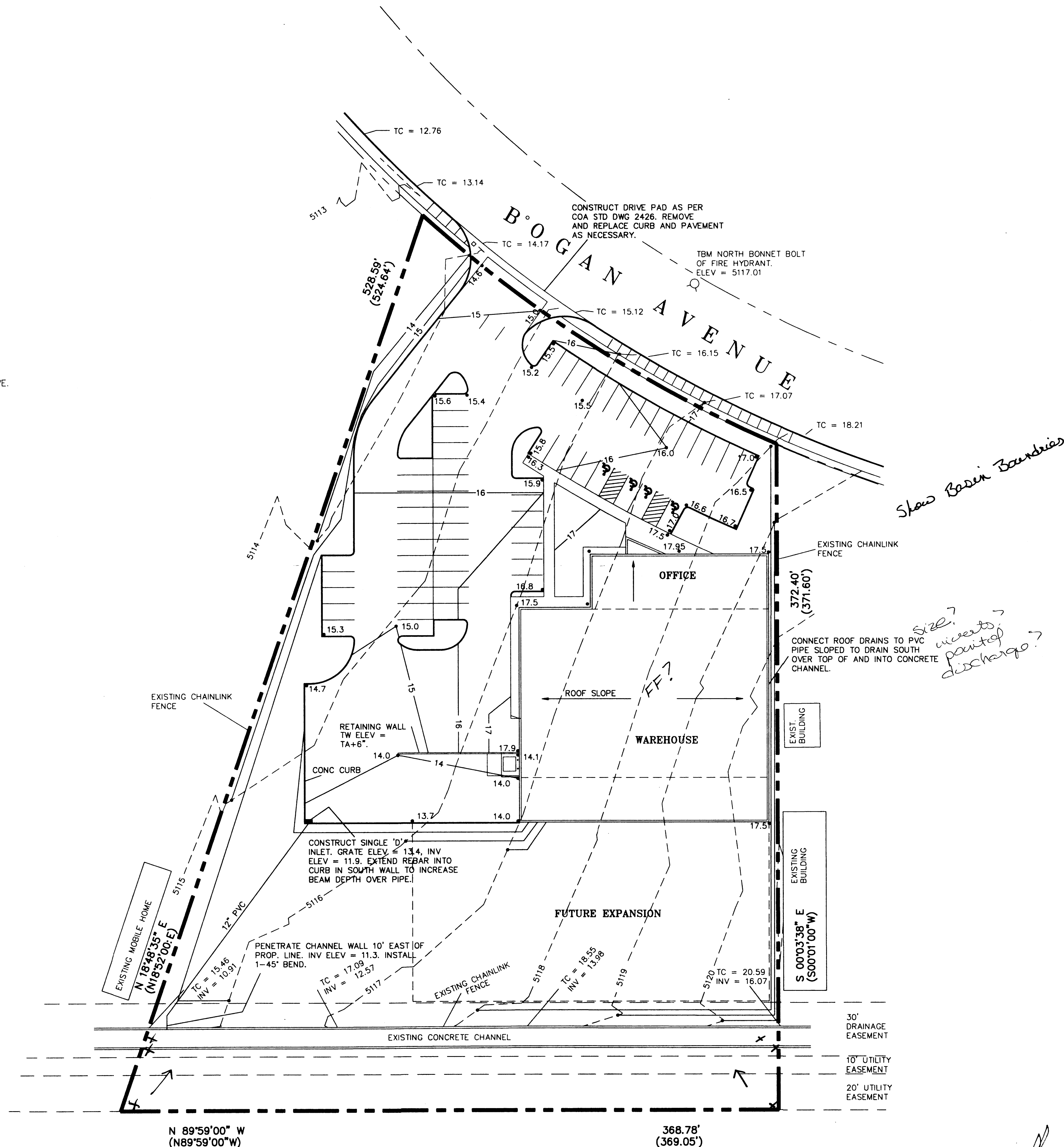
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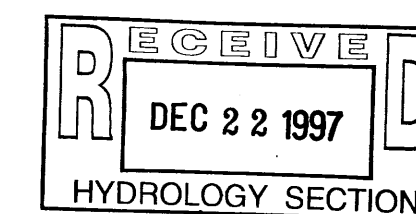
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**ALBUQUERQUE PRINTING
GRADING AND DRAINAGE PLAN**



DRAINAGE PLAN

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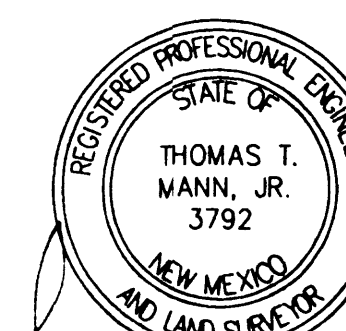
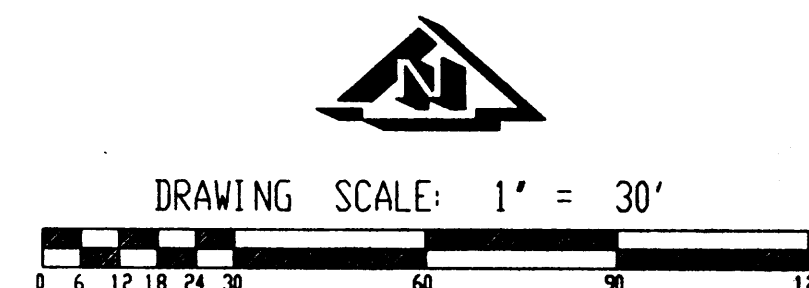
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CALCULATIONS

PRECIPITATION ZONE = 2
AREA = 2.93 ACRES
EXISTING CONDITIONS
BASINS 1 & 2
AREA = 2.54 ACRES
LAND TREATMENT C = 100%
E = 1.13*1.00 = 1.13 INCHES
V = 1.13*2.54/12 = 0.24 ACRE FEET
Q = 3.14*1.00*2.54 = 7.98 CFS
BASIN 3
AREA = 0.39 ACRES
LAND TREATMENT C = 74% D = 26%
E = 1.13*0.74*2.12*0.26 = 1.39 INCHES
V = 1.39*0.39/12 = 0.05 ACRE FEET
Q = (3.14*0.74+4.70*0.26) = 1.38 CFS

DEVELOPED CONDITIONS

BASIN 1
AREA = 0.64 ACRES
LAND TREATMENT B = 26% D = 74%
E = 0.78*0.26+2.12*0.74 = 1.77 INCHES
V = 1.77*0.64/12 = 0.09 ACRE FEET
Q = (2.28*0.26+4.70*0.74)*0.64 = 2.61 CFS
BASIN 2
AREA = 1.90 ACRES
LAND TREATMENT B = 51% D = 49%
E = 0.78*0.51+2.12*0.49 = 1.44 INCHES
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Q = (2.28*0.51+4.70*0.49)*1.90 = 6.59 CFS
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INCREASE IN RATE OF RUNOFF = 10.58-9.36 = 1.22 CFS
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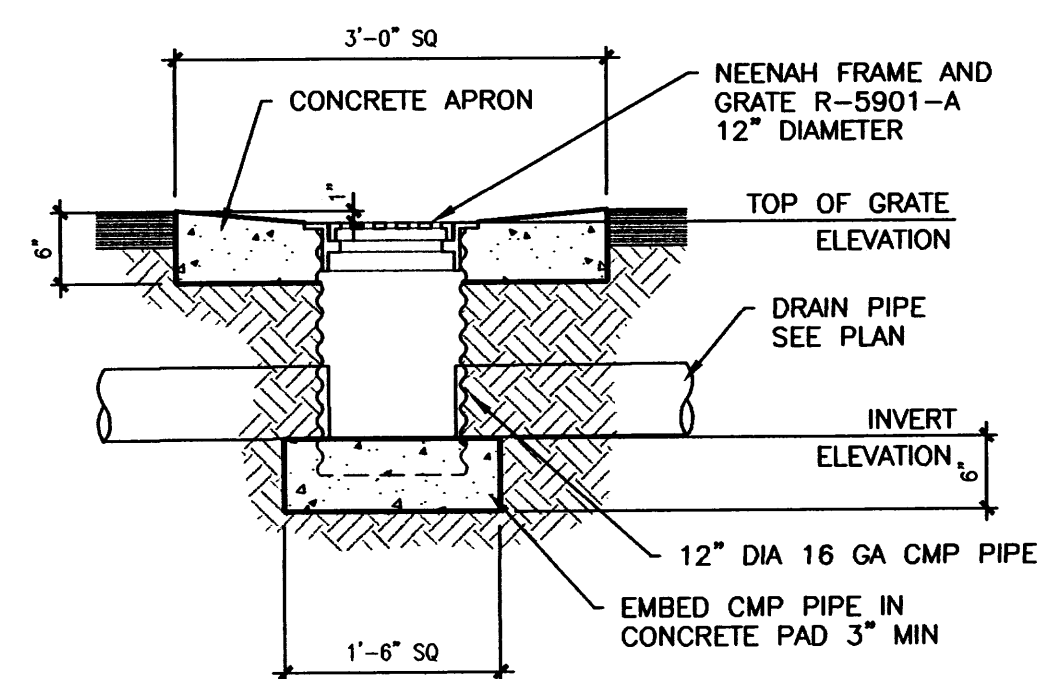


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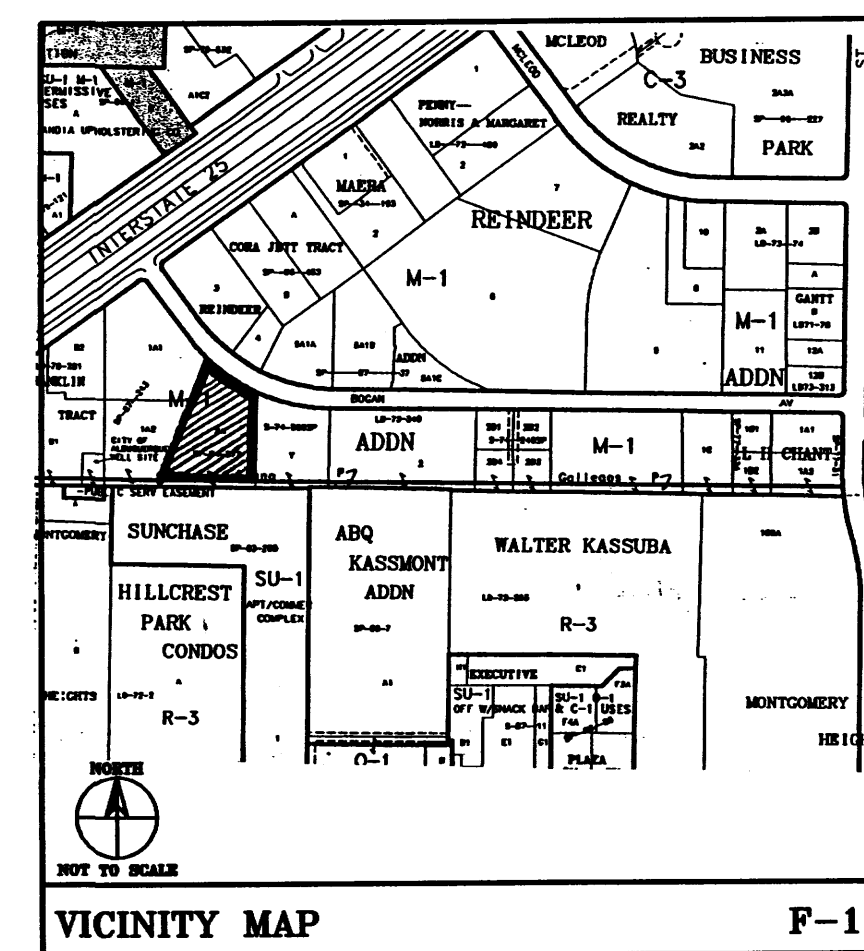
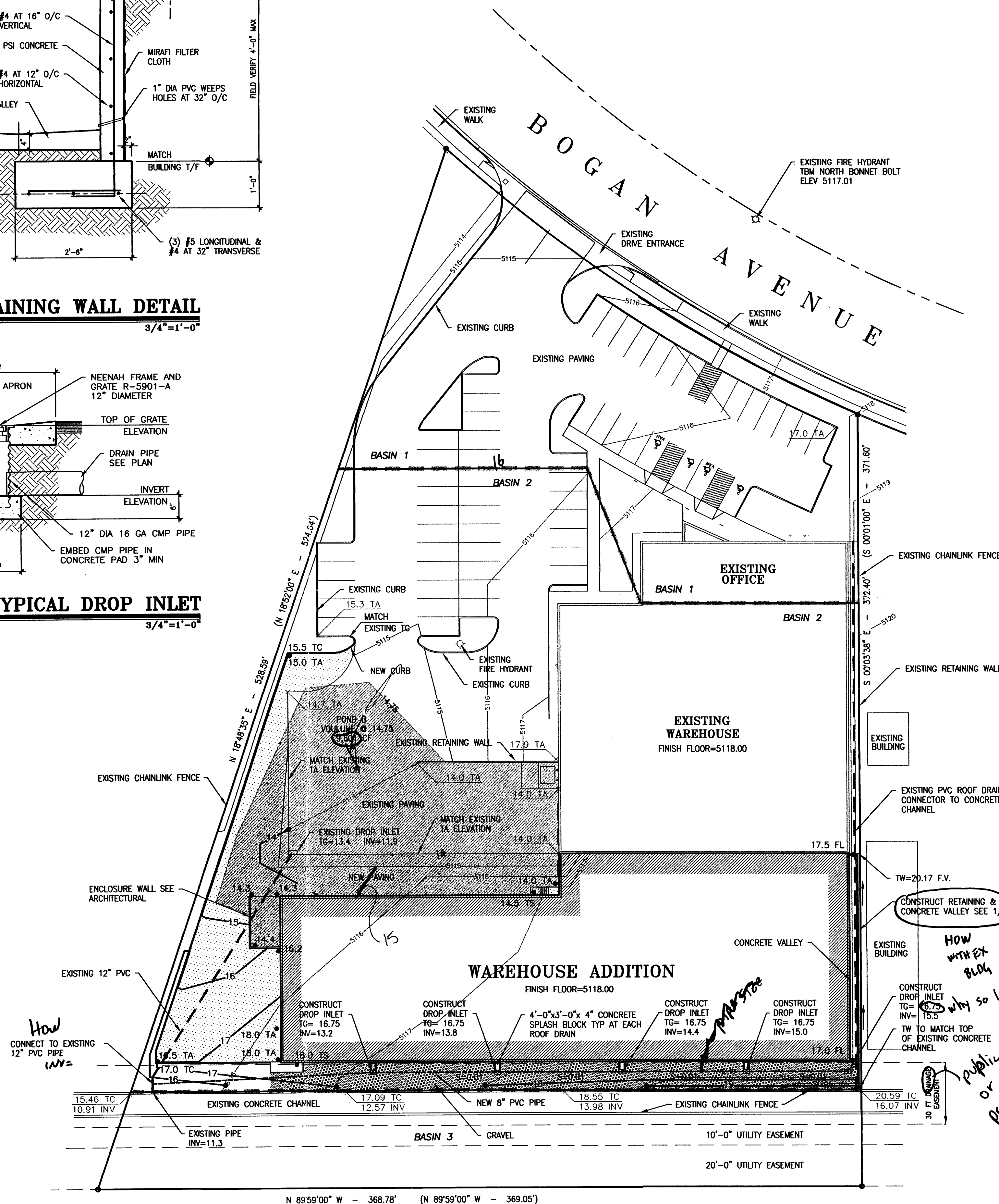
12-23-97

**Engineering &
Surveying
Associates, Inc.**
5312 Noreen Drive NE • Albuquerque, NM 87111
(505) 298-4851

1
SHEET NO.



2 TYPICAL DROP INLET



DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING THE ALBUQUERQUE PRINTING
ADDITION GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

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2. GRADING PLAN
3. CALCULATIONS

THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED ON THE SOUTH SIDE OF BOGAN AVENUE. THE SITE IS DEVELOPED. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. *per what panel*

THE SITE SLOPES FROM THE EAST TO WEST. THE SITE IS HIGHER THAN BOGAN AVE. TO THE NORTH, LOWER THAN THE LOT TO THE EAST AND HIGHER THAN THE LOT TO THE WEST. A CONCRETE DRAINAGE CHANNEL TRANSVERSES THE SOUTHERN SIDE OF THE SITE AND SERVES APPROXIMATELY 0.39 ACRES FROM THE SITE. THEREFORE ONLY MINOR OFF SITE RUNOFF CAN ENTER THE SITE FROM THE EAST AND THAT AMOUNT IS LIMITED SINCE THE SITE IS DEVELOPED AND GRADED TO DRAIN AWAY FROM THE SITE.

THE GRADING PLAN SHOWS:

1. THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
2. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
3. THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
4. THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS

THE PROPOSED IMPROVEMENTS CONSIST OF A WAREHOUSE ADDITION WITH ASSOCIATED PARKING AND LANDSCAPING. REVIEW OF THE APPROVED GRADING PLAN FOR THIS SITE INDICATES THAT THE CHANNEL TO THE SOUTH ACCEPTS FREE DEVELOPED DISCHARGES. THEREFORE THIS SITE WILL BE GRADED TO CONVEY AS MUCH RUNOFF TO THE CHANNEL AND LIMIT THE FLOWS TO BOGAN AVE.

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II, AS SHOWN BY THESE CALCULATIONS, THE RATE AND VOLUME OF RUNOFF WILL INCREASE BUT THE POND(S) WITH CONTROLLED OUTLETS WILL MITIGATE THE INCREASE. THIS PLAN IS IN CONFORMANCE WITH THE MASTER DRAINAGE PLAN.

CONSTRUCTION NOTES

1. TWO WORKING DAY PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
2. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARD AND PROCEDURE.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE PROJECT ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN THE PLANS AND THOSE OF THE EXISTING SITE.

CALCULATIONS
PRECIPITATION ZONE = 2
TOTAL SITE AREA = 2.93 ACRES

BASIN 1
 AREA = 0.64 ACRES
 EXISTING CONDITIONS
 LAND TREATMENT B=26% ϕ =74%
 $E = 0.78(0.26) + 2.12(0.74) = 1.77$ INCHES
 $V = 1.77 (0.64) / 12 = 0.09$ ACRE FEET
 $Q = [2.28(0.26) + 4.70(0.74)] (0.64) \checkmark 2.61$ CFS
 DEVELOPED CONDITIONS - UNCHANGED

BASIN 2
 AREA = 1.90 ACRES
 EXISTING CONDITIONS
 LAND TREATMENT B = 51% C = 49%
 $E = 0.78(0.90) + 2.12(0.49) = 1.44$ INCHES
 $V = 1.44 (1.90) / 12 = 0.23$ ACRE FEET
 $Q = [2.28(0.51) + 4.70(0.49)] (1.90) = 6.59$ CFS
 DEVELOPED CONDITIONS
 LAND TREATMENT B = 9% C = 91%
 $E = 0.78(0.90) + 2.12(0.91) = 2.01$ INCHES

$E = 0.70(0.09) + 2.12(0.91) = 2.01$ INCHES
 $V = 2.01 (1.90) / 12 = 0.317$ ACRE FEET
 $Q = [2.28(0.09) + 4.70(0.91)] (1.90) = 8.51$ CFS
 INCREASE IN VOLUME OF RUNOFF = 0.090 ACRE FT
 INCREASE IN RATE OF RUNOFF = 1.95 CFS

POND VOLUME BASIN B

$T_c = 0.2 \text{ HR}$ $0.25 \text{ Ad/At} = 0.25(0.91) = 0.228 \text{ HR}$

$T_p = 2.107 \text{ E At/Qp} - 0.25 \text{ Ad/At} = 0.712 \text{ HR}$

$T_p = (0.7 \text{ Tc}) + (1.6 - \text{Ad/At})/12 = 0.197 \text{ HR}$

EXISTING DISCHARGE PIPE 12" (Q=2.36 CFS)

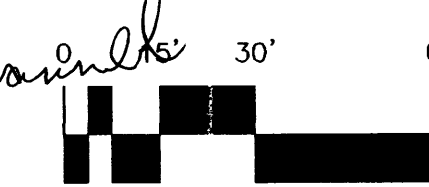
$V_{\text{required}} = 8.91 \text{ CF}$ **13,808 cf**

VOLUME @ ELEV 5141.75

$V = 0.5 * (12274 + 7398) * 0.75 + 0.5 * (7398 + 16) * 0.6 = 9,601 \text{ CF}$

BASIN 3
AREA = 0.39 ACRES
EXISTING CONDITIONS
 LAND TREATMENT C=74% D=26%
 $E = 1.13(0.74) + 2.12(0.26) = 1.39$ INCHES
 $V = 1.39(0.39) / 12 = 0.05$ ACRE FEET
 $Q = [3.14(0.74) + 4.70(0.26)] (1.90) = 1.38$ CFS
DEVELOPED CONDITIONS - UNCHANGED

Check orifice eq'n




SCALE: 1" = 30'

ADDRESS:
3900 BOGAN AVE. NE
LEGAL DESCRIPTION:
LOT 2-A REINDEER ADDITION
BENCH MARK:
ACS MONUMENT 125-18 LOCATED ON THE EAST
FRONTAGE 600 FT NORTH OF BOGAN AVE.
ELEVATION = 5125.7 FT.

LEGEND:

EXISTING SPOT ELEVATION
 NEW SPOT ELEVATION
 EXISTING CONTOUR
 NEW CONTOUR
 SWALE
 VERIFIED ELEVATION
 AS BUILT ELEVATION
 BASIN BOUNDARY
 PROPERTY LINE

FL	FLOW LINE
GND	GROUND
INV	INVERT
TA	TOP OF ASPHALT
TC	TOP OF CURB
TG	TOP OF GRATE
TS	TOP OF CONCRETE SLAB
TW	TOP OF WALL
TBM	TEMPORARY BENCH MARK
	GRAVEL

SITE GRADING & DRAINAGE PLAN

DECEMBER 15, 2000

$$1'' = 30' - 0''$$

CLAUDIO VIGIL ARCHITECTS

ALBUQUERQUE PRINTING
WAREHOUSE ADDITION
3900 BOGAN AVENUE N.E.
ALBUQUERQUE, NEW MEXICO



SHEET

C-1

PROJECT NUMBER
00115

1305 Tijeras NW Albuquerque, NM 87102-2882
Phone: 505/842-1113 Fax: 505/842-1330

SITE CRITERIA

PROJECT: NEW WAREHOUSE ADDITION
3900 BOGAN AVENUE, N.E.
ALBUQUERQUE, NM.

OWNER: G & A LTD. CO.

ARCHITECT: CLAUDIO VIGIL ARCHITECTS

LEGAL DESCRIPTION: LOT 2-A, REINDEER ADDITION
SEC. 35, T. 11 N., R. 3 E., N.M.P.M.

ZONING ATLAS MAP: R-11-2

ZONING CLASSIFICATION: M-1

BUILDING TYPE: WAREHOUSE/PRINTING

CONSTRUCTION TYPE: 11" N - SPRINKLERED

OCCUPANT LOAD:

EXISTING:	OFFICE	• 5,146 SF/100 • 514
	WAREHOUSE	• 11,343 SF/500 • 227
	PRINTING	• 3,511 SF/200 • 175
	TOTAL	• 92
ADDITION:	WAREHOUSE	• 24,773 SF/500 • 495
	TOTAL	• 92 • 50 • 142

OCCUPANCY GROUP: OFFICE • B
PRINTING • F-1
WAREHOUSE • S-1

NUMBER OF FLOORS: 1

GROSS BUILDING AREA:

EXISTING	• 20,000 SF.
ADDITION	• 24,773 SF.
TOTAL	• 44,773 SF.

ALLOWABLE AREA: 11N 4 B2 OCCUPANCY • 12,000 SF.
INCREASE X 3 FOR SPRINKLERED • 36,000 SF.
INCREASE SEPARATION 2 SIDES X 15
TOTAL • 54,000 SF.

LOT SIZE: 2.9306 ACRES
EXIT WIDTH REQUIRED: (OC. LOAD) 142' X 2 • 284'
EXIT WIDTH PROVIDED: 144'
NUMBER OF EXITS PROVIDED: 5
BUILDING HEIGHT ABOVE GRADE: 26'-0"
PARKING SPACES REQUIRED:

OFFICE	• 1546 • 200 • 257
WAREHOUSE	• 3616 • 2000 • 181
PRINTING	• 3511 • 1000 • 35
TOTAL	• 473

PARKING SPACES EXISTING: 50 SPACES-
INCLUDING 4 HANDICAP.

BICYCLE SPACES:
1 BICYCLE SPACE PER 20 REQ'D AUTO PARKING SPACES
PARKING SPACES REQ'D • 50/20 • 24
TOTAL BICYCLE PARKING REQUIRED • 3
TOTAL BICYCLE PARKING EXISTING • 4
(2 POSTS W/ 2 HITCHES EACH)

GENERAL NOTES (SITE)

- THE CONTRACTOR SHALL REFER TO THE OWNER'S SURVEY FOR THE MEETS AND BOUNDS DESCRIPTION.
- THE CONTRACTOR SHALL SUBMIT AUTOMATIC FIRE SPRINKLER SYSTEM SHOP DRAWINGS WITH A SEAL TO THE CITY OF ALBUQUERQUE FIRE DEPARTMENT FOR APPROVAL AS REQUIRED, PER NFPA 13.
- THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED AND MONITORED FOR 100 SPRINKLER HEADS OR MORE.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL WORK WITHIN THE RIGHT OF WAY SHALL MEET CITY OF ALBUQUERQUE STANDARDS.
- THE SQUARE FOOTAGES SHOWN ON THESE PLANS ARE FOR BUILDING CODE AND ARCHITECTURAL PURPOSES ONLY.
- THE CONTRACTOR SHALL PLACE THE BUILDING ADDRESS IN A LOCATION WHERE IT IS VISIBLE AND CLEARLY LEGIBLE FROM THE STREET. SEE THE EXTERIOR ELEVATIONS FOR LOCATION.
- ALL SIDEWALK & CURB & GUTTER IN DISREPAIR SHALL BE REMOVED AND REPLACED.



SITE PLAN & DETAILS

JANUARY 15, 2001

1"=30'-0"



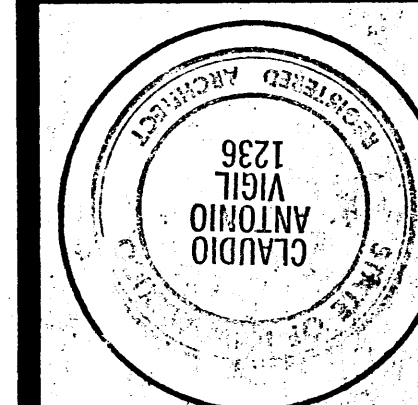
CLAUDIO VIGIL ARCHITECTS

ALBUQUERQUE PRINTING

WAREHOUSE ADDITION

3900 BOGAN AVENUE N.E.

ALBUQUERQUE, NEW MEXICO

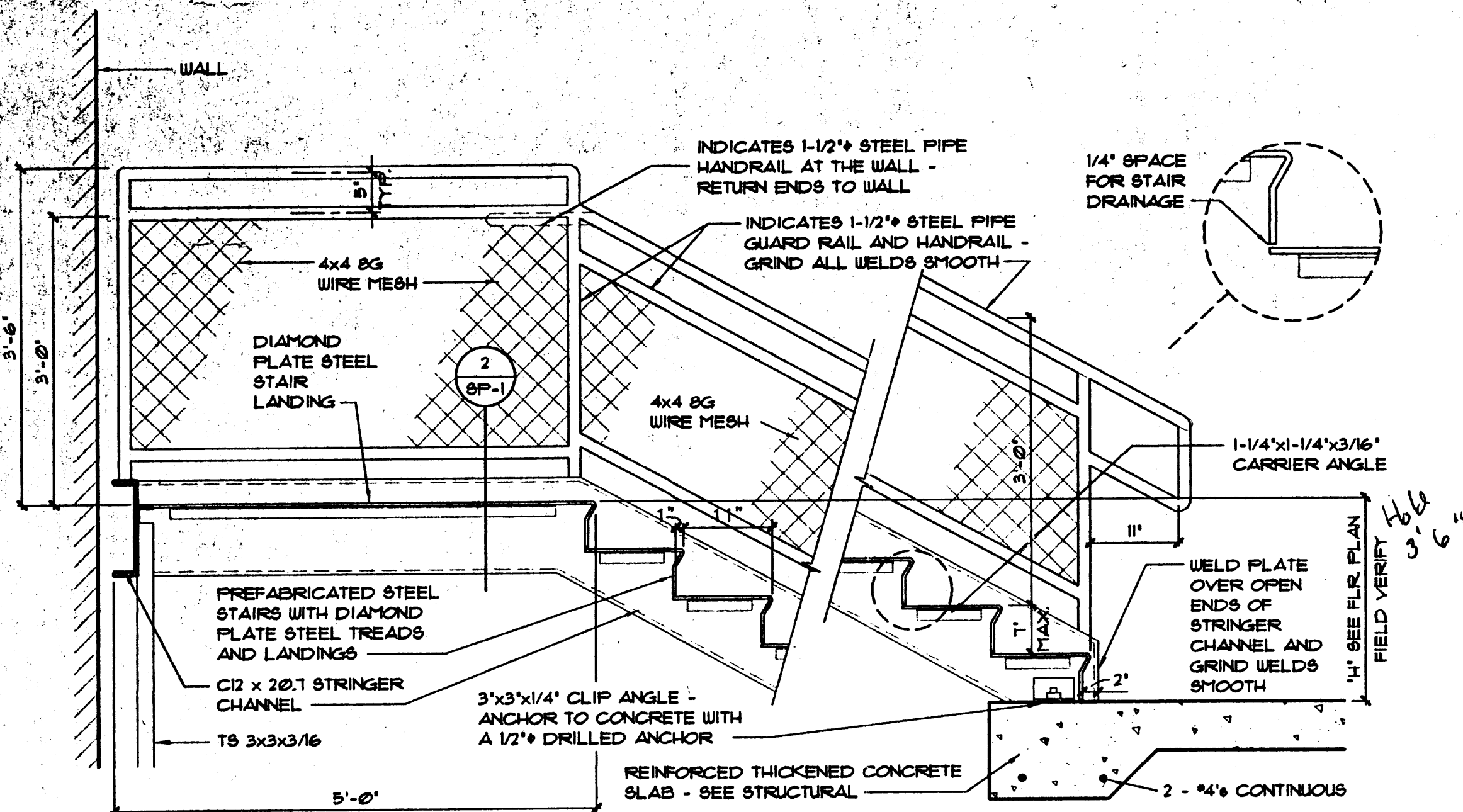


SHEET

SP-1

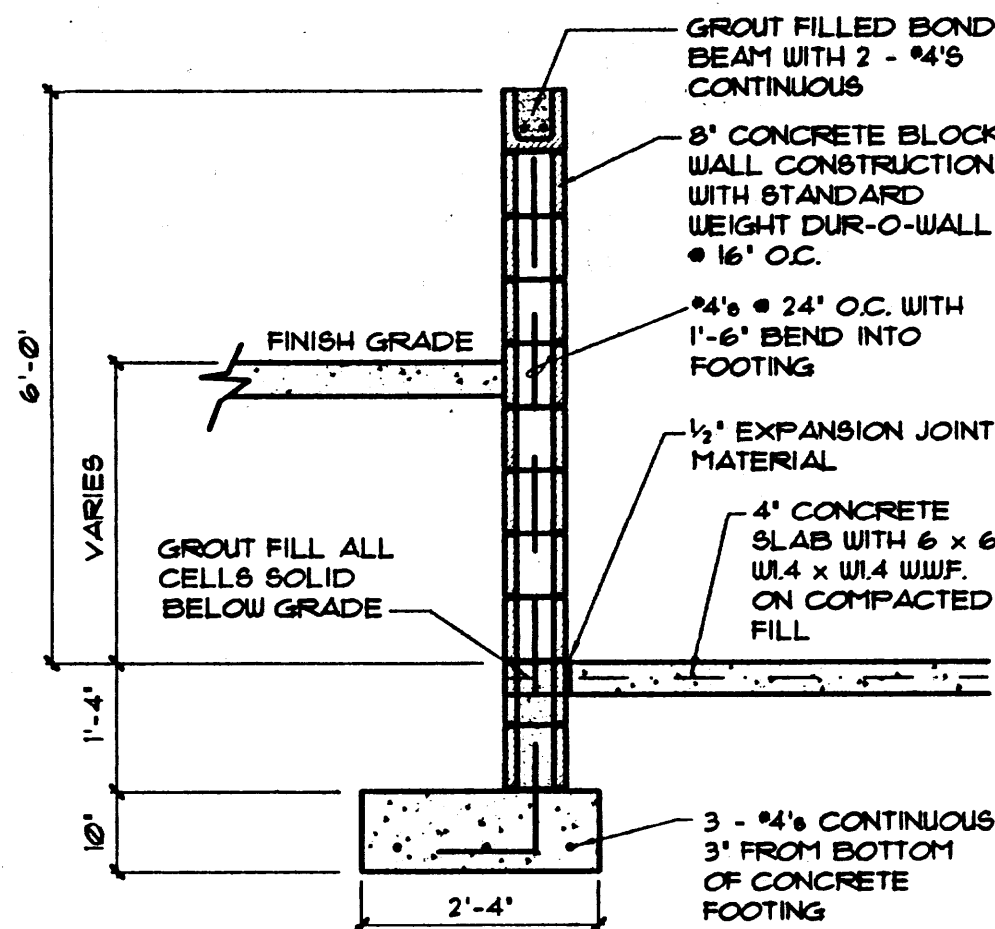
PROJECT NUMBER
00115

1305 Tijeras NW Albuquerque, NM 87102-2882
Phone: 505/842-1113 Fax: 505/842-1330



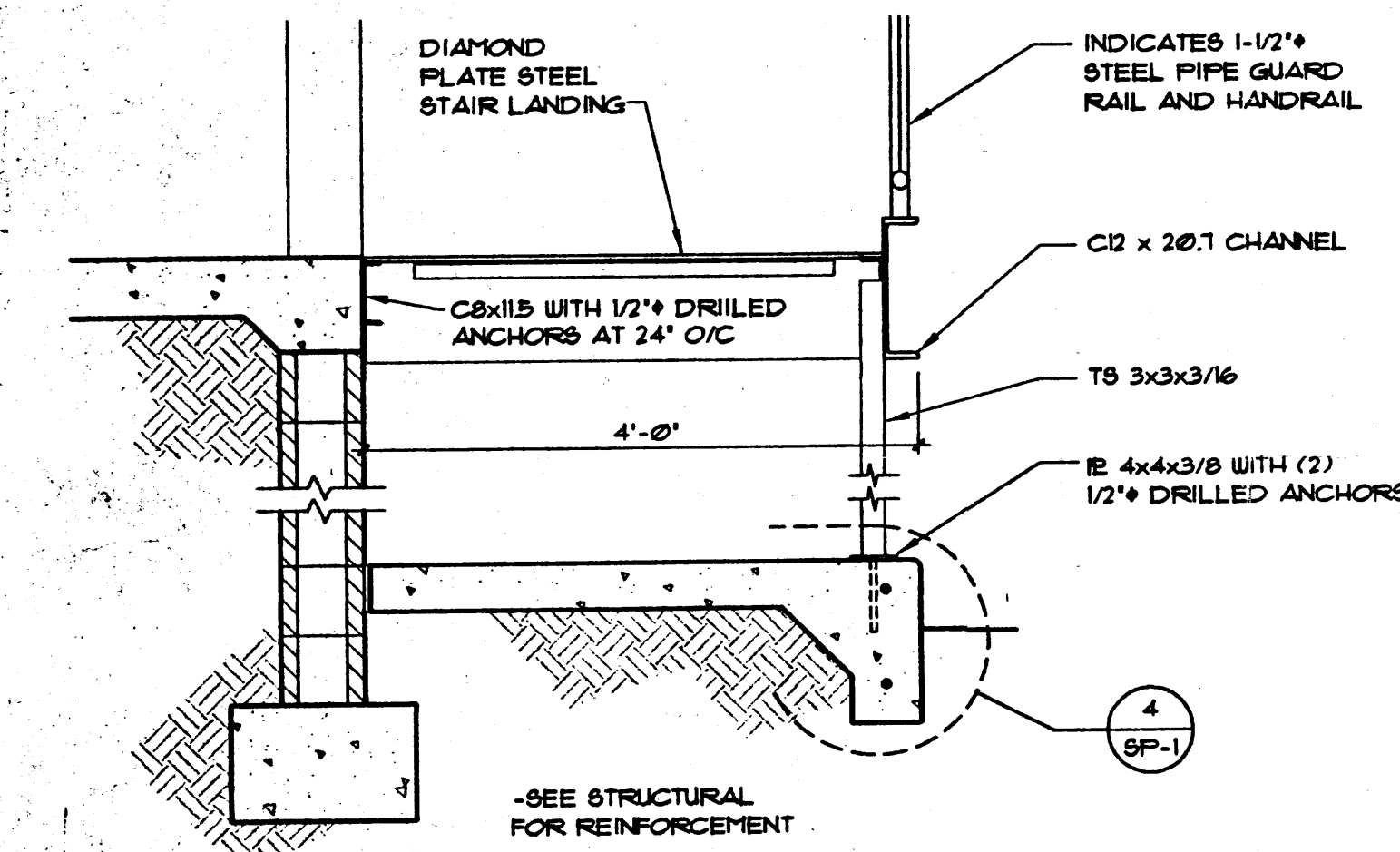
EXTERIOR STAIR DETAIL

3/4" = 1'-0"



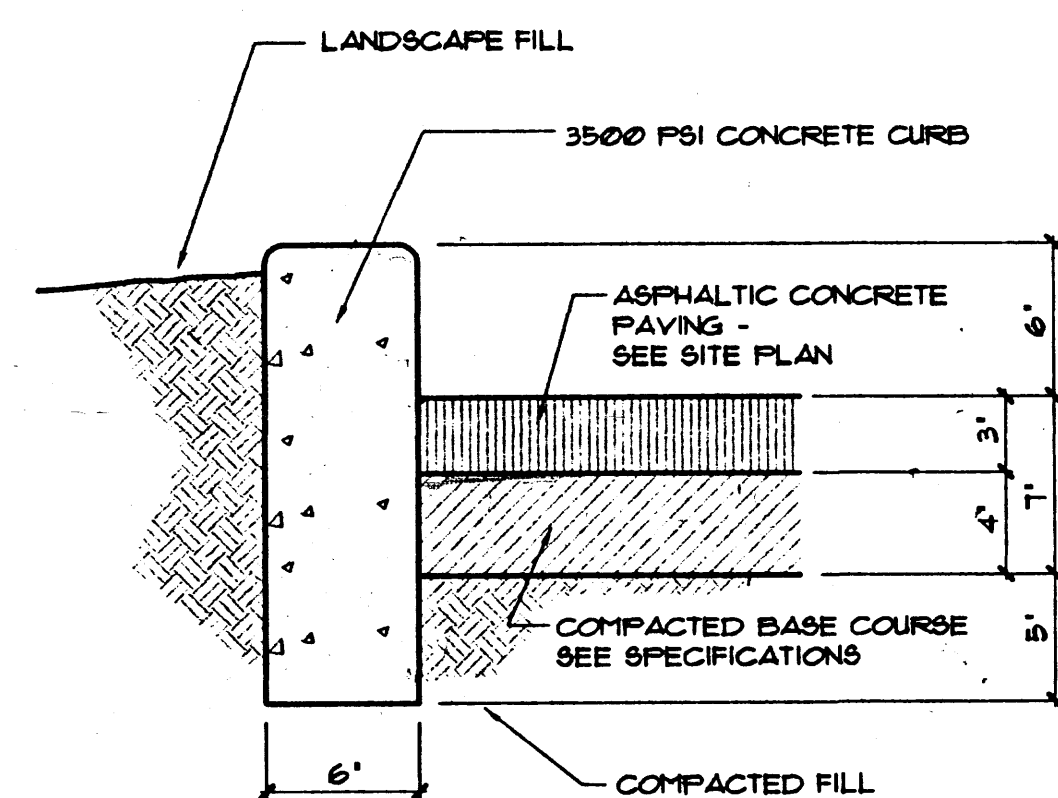
TRASH ENCLOSURE DETAIL

N.T.S.



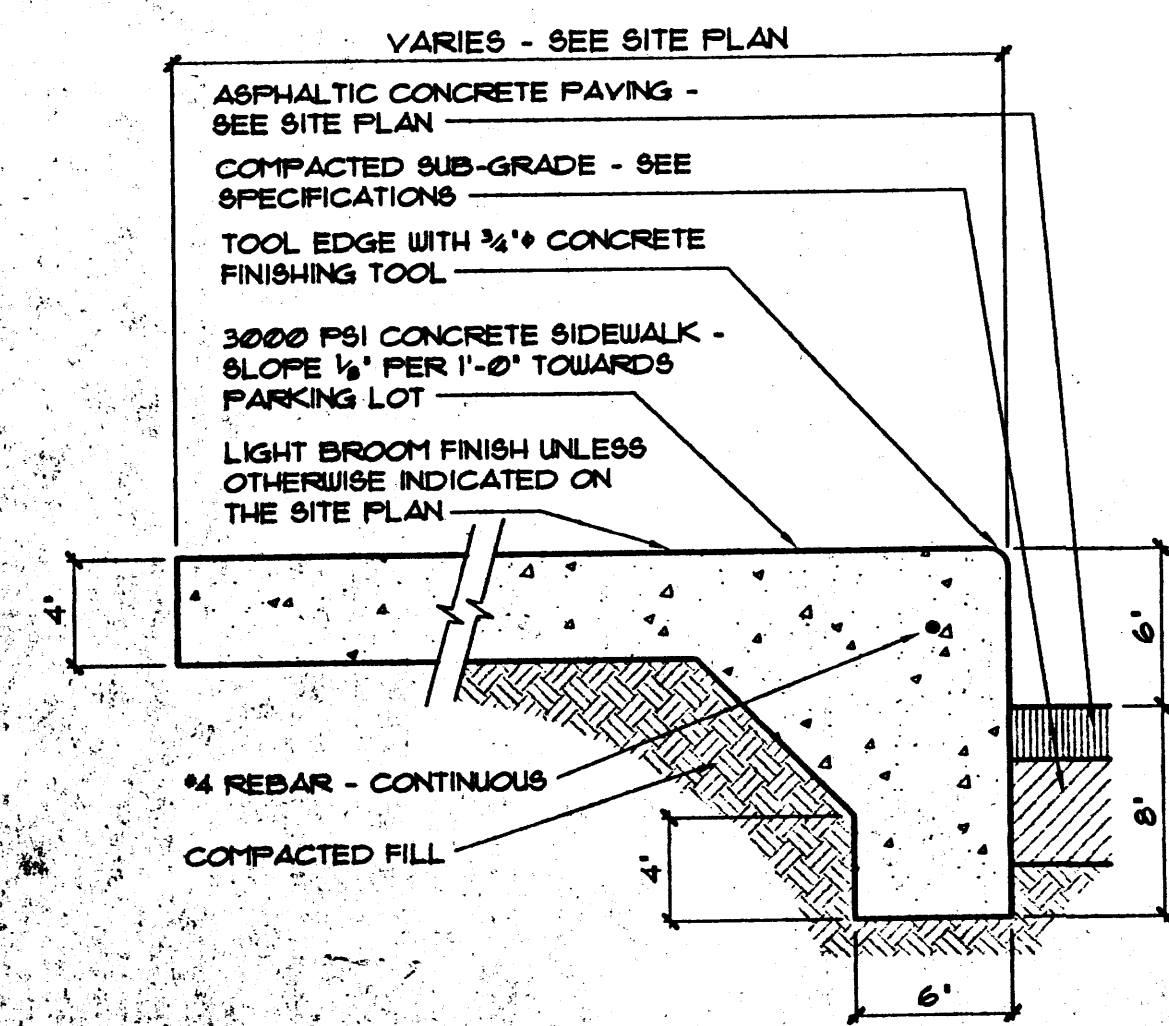
EXTERIOR STAIR SECTION

3/4" = 1'-0"



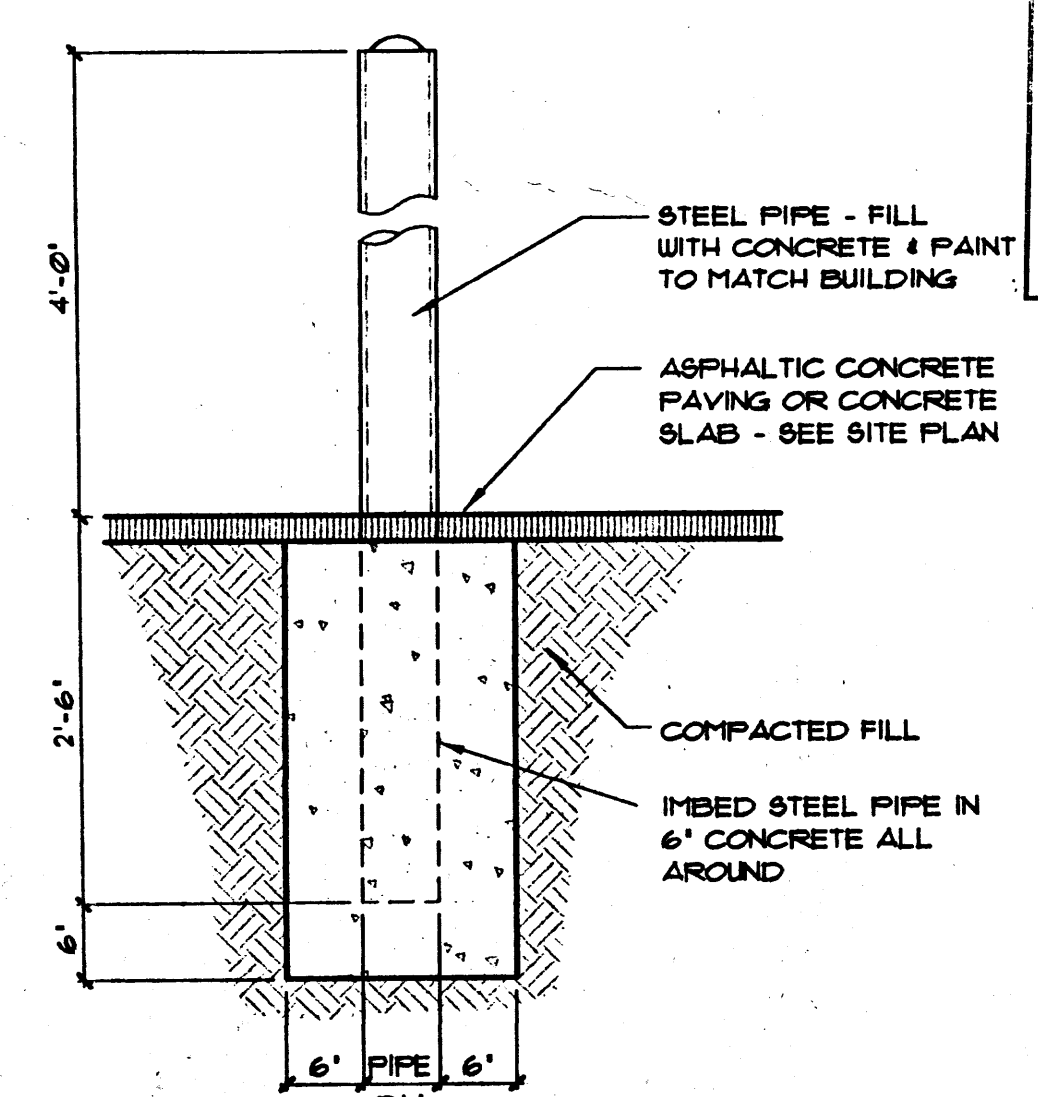
TYPICAL CURB DETAIL

1-1/2" = 1'-0"



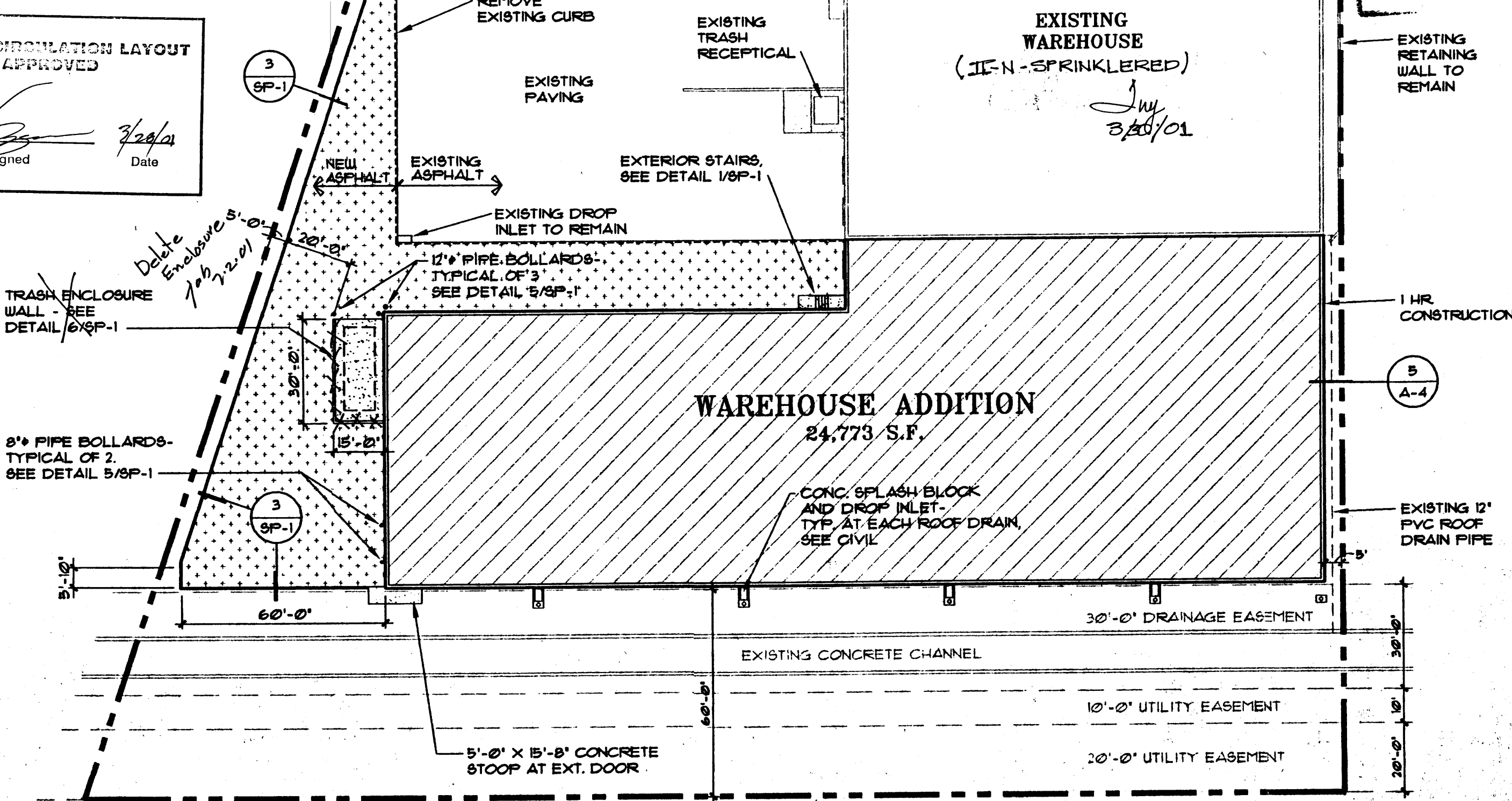
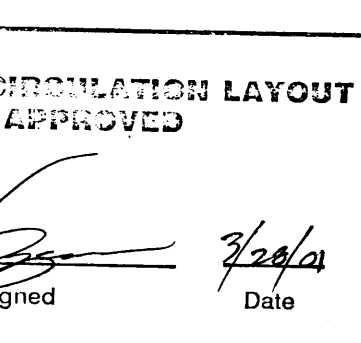
TURN-DOWN SIDEWALK

1-1/2" = 1'-0"



BOLLARD DETAIL

3/4" = 1'-0"



GRADING AND DRAINAGE PLAN - LOT 2-A

DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING THE ALBUQUERQUE PRINTING ADDITION GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED ON THE SOUTH SIDE OF BOGAN AVENUE. THE SITE IS DEVELOPED. FIRM PANEL 138 OF 835 INDICATED THAT THE DRAINAGE CHANNEL LIES WITHIN FLOOD HAZARD ZONE A. THE REMAINDER OF THE SITE DOES NOT LIE WITHIN THE FLOOD HAZARD ZONE.

THE SITE SLOPES FROM THE EAST TO WEST. THE SITE IS HIGHER THAN BOGAN AVE. TO THE NORTH, LOWER THAN THE LOT TO THE EAST AND HIGHER THAN THE LOT TO THE WEST. A CONCRETE DRAINAGE CHANNEL TRANSVERSES THE SOUTHERN SIDE OF THE SITE AND SERVES APPROXIMATELY 0.39 ACRES FROM THE SITE. THEREFORE ONLY MINOR OFF SITE RUNOFF CAN ENTER THE SITE FROM THE EAST AND THAT AMOUNT IS LIMITED SINCE THE SITE IS DEVELOPED AND GRADED TO DRAIN AWAY FROM THE SITE.

THE GRADING PLAN SHOWS:

1. THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
2. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
3. THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
4. THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST OF A WAREHOUSE ADDITION WITH ASSOCIATED PARKING AND LANDSCAPING. REVIEW OF THE APPROVED GRADING PLAN FOR THIS SITE INDICATES THAT THE CHANNEL TO THE SOUTH ACCEPTS FREE DEVELOPED DISCHARGES. THEREFORE THIS SITE WILL BE GRADED TO CONVEY AS MUCH RUNOFF TO THE CHANNEL AND LIMIT THE FLOWS TO BOGAN AVE.

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II. AS SHOWN BY THESE CALCULATIONS, THE RATE AND VOLUME OF RUNOFF WILL INCREASE BUT THE POND(S) WITH CONTROLLED OUTLETS WILL MITIGATE THE INCREASE. THIS PLAN IS IN CONFORMANCE WITH THE MASTER DRAINAGE PLAN.

CONSTRUCTION NOTES

1. TWO WORKING DAY PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
2. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARD AND PROCEDURE.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN THE PLANS AND THOSE OF THE EXISTING SITE.

CALCULATIONS

PRECIPITATION ZONE = 2
TOTAL SITE AREA = 2.93 ACRES

BASIN 1

AREA = 0.64 ACRES
EXISTING CONDITIONS
LAND TREATMENT B=26% D=74%
 $E = 0.78(0.26)+2.12(0.74) = 1.77$ INCHES
 $V = 1.77(0.64) / 12 = 0.09$ ACRE FEET
 $Q = [2.28(0.26)+4.70(0.74)](0.64) = 2.61$ CFS
DEVELOPED CONDITIONS - UNCHANGED

BASIN 2

AREA = 1.90 ACRES
EXISTING CONDITIONS
LAND TREATMENT B=51% D=49%
 $E = 0.78(0.51)+2.12(0.49) = 1.44$ INCHES
 $V = 1.44(1.90) / 12 = 0.23$ ACRE FEET
 $Q = [2.28(0.51)+4.70(0.49)](1.90) = 6.59$ CFS
DEVELOPED CONDITIONS

LAND TREATMENT B=9% D=91%
 $E = 0.78(0.09)+2.12(0.91) = 2.01$ INCHES
 $V = 2.01(1.90) / 12 = 0.317$ ACRE FEET
 $Q = [2.28(0.09)+4.70(0.91)](1.90) = 8.51$ CFS
INCREASE IN VOLUME OF RUNOFF = 0.090 ACRE FT
INCREASE IN RATE OF RUNOFF = 1.95 CFS

POND VOLUME BASIN B

$T_p = 0.2$ HR $0.25 Ad/At = 0.25(0.91) = 0.228$ HR
 $T_p = 2.107 E At/Qp - 0.25 Ad/At = 0.712$ HR
 $T_p = (0.7 T_c) + ((1.6 - Ad/At)/12) = 0.197$ HR
EXISTING DISCHARGE PIPE 12" (Q=2.36 CFS)
 $V_{required} = 8,917$ CF
VOLUME @ ELEV 5114.75
 $V = [0.5*(12274+7398)*0.75+0.5*(7398+16)*0.6] = 9,601$ CF

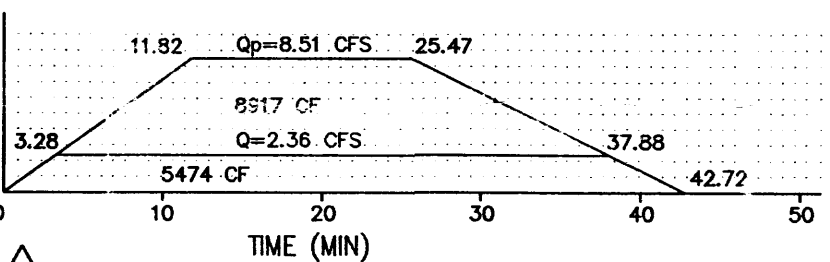
BASIN 3

AREA = 0.39 ACRES
EXISTING CONDITIONS
LAND TREATMENT C=74% D=26%
 $E = 1.13(0.74)+2.12(0.26) = 1.39$ INCHES
 $V = 1.39(0.39) / 12 = 0.05$ ACRE FEET
 $Q = [3.14(0.74)+4.70(0.26)](1.90) = 1.38$ CFS
DEVELOPED CONDITIONS - UNCHANGED

PIPE HYDRAULICS

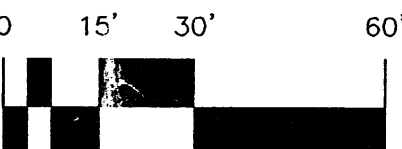
$Q_{full} = \frac{1.486}{n} \sqrt{S} A R_h^{4/3}$
CAPACITY OF 12" DIAMETER PIPE
(FROM EXISTING APPROVED DRAINAGE PLAN)
 $n=0.013$ $S=0.0044$ $Q_{12"} = 2.36$ CFS
ORIFICE DISCHARGE 12" DIA PIPE
 $Q = 0.60(.79)[2(32.2)(2.85)] = 6.38$ CFS
CAPACITY OF 8" DIAMETER PIPE
 $n=0.009$ PVC PIPE
(FROM pg 252 WATER RESOURCE ENGINEERING TABLE 10-1)
 $S=0.01$ $Q_{8"} = 1.74$ CFS
ROOF AREA 0.56 ACRES
 $Q_{100} = [0.56*4.70] = 2.63$ CFS
 $Q_{10} = [0.56*3.14] = 1.75$ CFS

THE 100-YEAR STORM DISCHARGE FORM THE ROOF IS 2.63 CFS
THE EXCESS ROOF DISCHARGE WILL FLOW OVER THE EDGE OF THE DRAINAGE CHANNEL.
ORIFICE DISCHARGE 8" DIA PIPE
WATER LEVEL AT TOP OF GRATE ELEVATION 5116.75
 $Q = 0.60(.35)[2(32.2)(1.75)] = 2.22$ CFS



2

- 2 3/1/01 REVISED FOR COA COMMENTS
- 1 1/15/01 DELETED RETAINING WALL AT PROPERTY LINE



SCALE: 1" = 30'

ADDRESS:
3838 BOGAN AVE. NE
51136
LEGAL DESCRIPTION:
LOT 2-A REINDER ADDITION
BENCH MARK:
ACS MONUMENT 125-18 LOCATED ON THE EAST FRONTAGE 600 FT NORTH OF BOGAN AVE. ELEVATION = 5125.7 FT.

LEGEND:

- 51.0 EXISTING SPOT ELEVATION
- 51.00 NEW SPOT ELEVATION
- 51 — EXISTING CONTOUR
- 51 — NEW CONTOUR
- SWALE
- 51.0 ✓ VERIFIED ELEVATION
- 54.0- AS BUILT ELEVATION
- BASIN BOUNDARY
- PROPERTY LINE
- FL FLOW LINE
- GND GROUND
- INV INVERT
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TS TOP OF GRADE
- TS TOP OF CONCRETE SLAB
- TW TOP OF WALL
- TBM TEMPORARY BENCH MARK
- GRAVEL



SITE GRADING & DRAINAGE PLAN

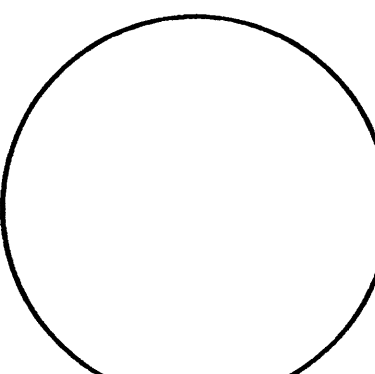
JANUARY 15, 2001

1"=30'-0"



CLAUDIO VIGIL ARCHITECTS

ALBUQUERQUE PRINTING
WAREHOUSE ADDITION
3838 BOGAN AVENUE N.E.
ALBUQUERQUE, NEW MEXICO

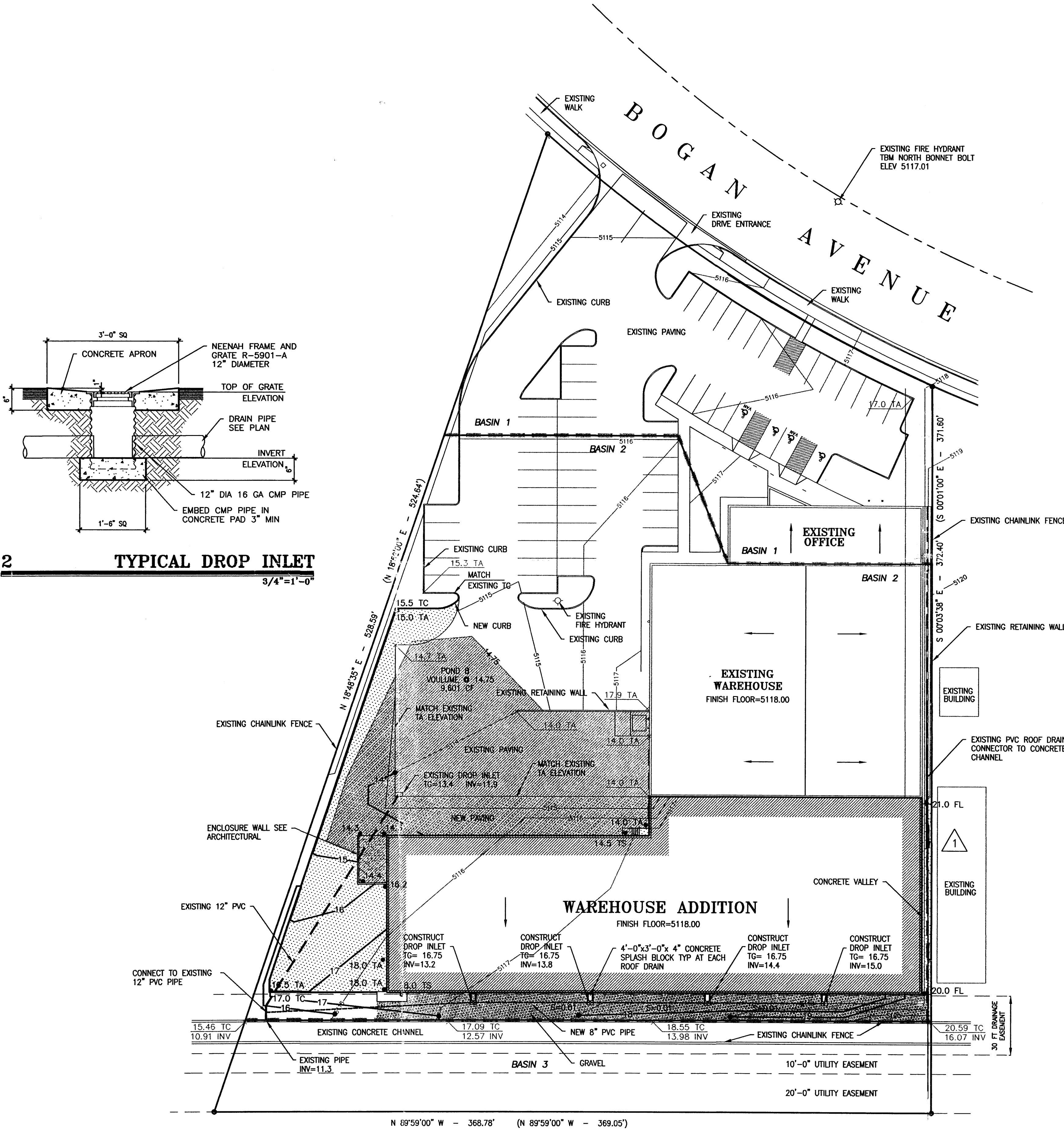


SHEET

C-1

PROJECT NUMBER
00115

1305 Tijeras NW Albuquerque, NM 87102-2882
Phone: 505/842-1113 Fax: 505/842-1330



2 TYPICAL DROP INLET
3/4"=1'-0"

