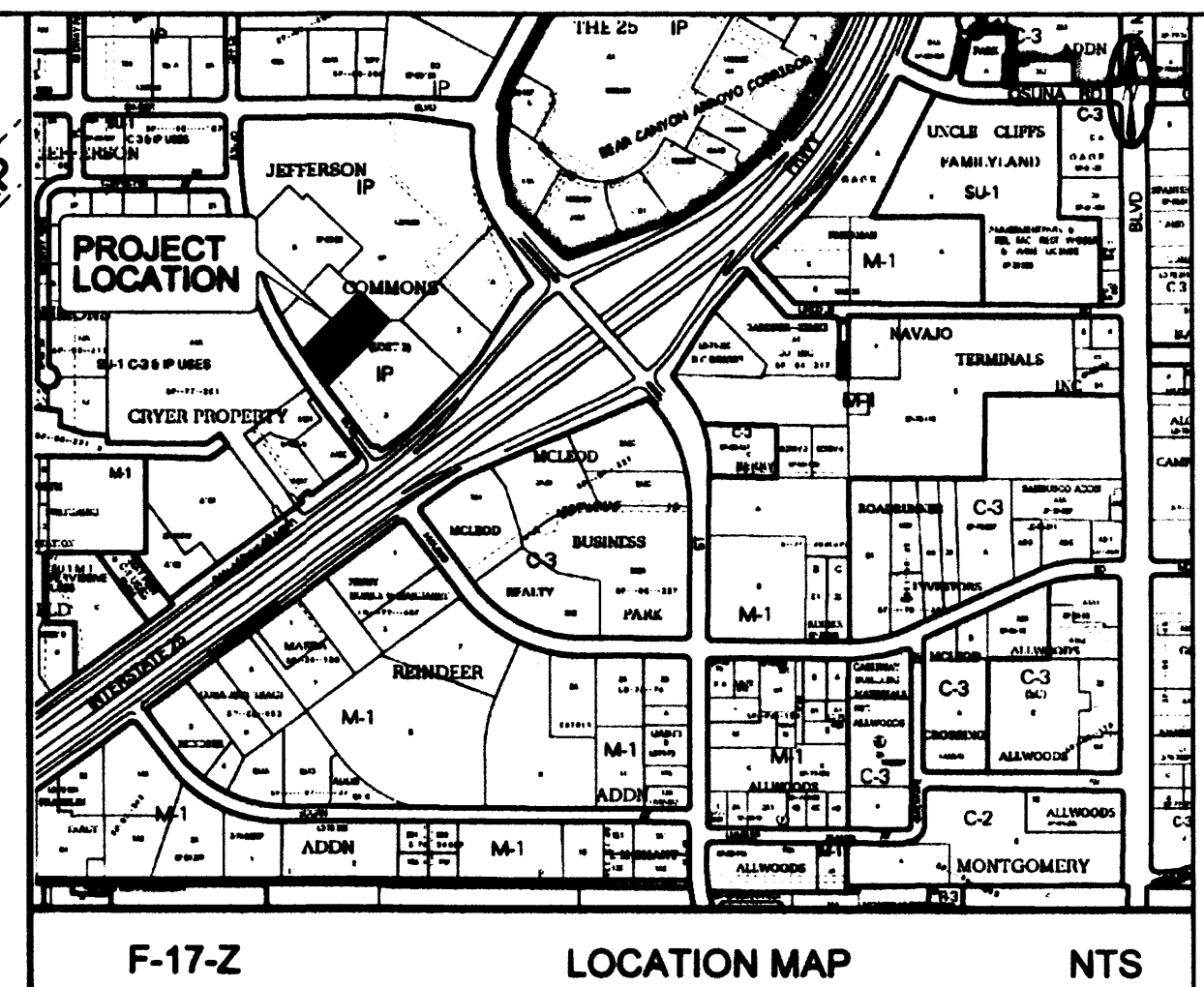


PORTION OF LOT 4,
JEFFERSON COMMONS II
(01/26/98, VOL. 98C, FOLIO 22)
(RED ROBIN RESTAURANT)

ENGINEERS CERTIFICATION (DRB SITE PLAN) FOR PERMANENT CERTIFICATE OF OCCUPANCY
I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved DRB Site Plan dated 6-28-11.
The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.
The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



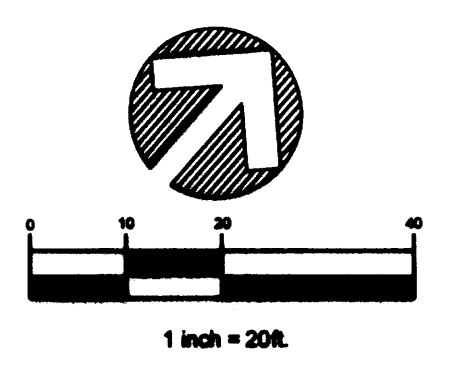
PROJECT NUMBER: 1000319
APPLICATION NUMBER: _____
APPLICATION NUMBER: _____
DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE 05-13-11
Allan Renteria 04/20/11
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE
PARKS AND RECREATION DEPARTMENT DATE 4/20/11
CITY ENGINEER DATE 4-20-11
N/A
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE 4/20/11
SOLID WASTE MANAGEMENT DATE 6-28-11
DEPT. CHAIR, PLANNING DEPARTMENT DATE

PROJECT DATA
LEGAL DESCRIPTION:
Lot 4B, Jefferson Commons II
PROPERTY ADDRESS:
5531 Office Boulevard NE
Albuquerque, New Mexico 87109
ZONING:
Present Zoning: IP
Proposed Zoning: IP
SITE AREA:
1.8996 Acres (82,617 Square Feet) FAR: 0.64 ALLOWED ON LOT 4B ONLY
BUILDING AREA:
First Floor: 14,100 sf
Second Floor: 13,077 sf
Third Floor: 13,077 sf
Fourth Floor: 13,077 sf
Total Gross Building Area: 53,331 sf
PARKING:
Required:
Automobile:
1 space for each unit = 91 spaces
Less 10% if within 300' of a transit system route, Transit Route 151 (-9 spaces)
Total required spaces = 82, including 4 Handicap spaces
Bicycle spaces: 0 spaces required
Motorcycle spaces: 3 spaces

- EASEMENT SCHEDULE
- 1 EXISTING 10' PNM & U.S. WEST UNDERGROUND POWER & TELE. EASEMENT (01/28/98, VOL. 98C, FOLIO 22)
 - 2 EXISTING 10' PRIVATE STORM SEWER EASEMENT (01/28/98, VOL. 98C, FOLIO 22)
 - 3 EXISTING STORM SEWER EASEMENT (02/27/95, VOL. 98C, FOLIO 88)
 - 4 EXISTING 10' QWEST EASEMENT (07/09/2004, Bk. A80, Pg. 6048)
 - 5 EXISTING GAS & ELECTRIC EASEMENT (01/22/2002, Bk. A30, Pg. 8567)
 - 6 EXISTING 25' PUBLIC SANITARY SEWER & WATERLINE EASEMENT (01/28/98, VOL. 98C, FOLIO 22)
 - 7 EXISTING 12.5' SANITARY SEWER EASEMENT (10/09/2003, Bk. A86, Pg. 8276)
 - 8 A PORTION OF AN EXISTING 10' GAS AND ELECTRIC EASEMENT TO BE VACATED (SHADED)
 - 9 PROPOSED 20' PUBLIC WATER EASEMENT
 - 10 PROPOSED 15' SANITARY SEWER & WATERLINE EASEMENT
 - 11 PROPOSED 10' SANITARY SEWER & WATERLINE EASEMENT
 - 12 PROPOSED 10' PRIVATE SANITARY SEWER EASEMENT
 - 13 PROPOSED 10' PRIVATE SURFACE STORM DRAINAGE EASEMENT
 - 14 PROPOSED 10' GAS AND ELECTRIC EASEMENT
- LOTS 3-A, 4-A AND 4-B ARE SUBJECT TO A CROSS EASEMENT AGREEMENT AS SHOWN ON DOCUMENT NO. 97080859, FILED JUNE 16, 1997, BOOK 87-16, PAGES 2411 - 2424A THAT PROVIDES NON-EXCLUSIVE VEHICULAR AND PEDESTRIAN ACCESS EASEMENTS OVER AND ACROSS THE PROPERTIES.

- KEYED NOTES
- 1 EXISTING CONCRETE CURB TO REMAIN
 - 2 EXISTING ASPHALT TO REMAIN
 - 3 EXISTING CONCRETE PAVEMENT TO REMAIN
 - 4 REMOVE AND DISPOSE EXISTING CONCRETE CURB
 - 5 REMOVE AND DISPOSE EXISTING TEMP AC CURB
 - 6 EXISTING FIRE HYDRANT
 - 7 EXISTING BRICK PEDESTRIAN WALK TO REMAIN
 - 8 REMOVE AND DISPOSE EXISTING SIDEWALK AND HC RAMPS
 - 9 EXISTING CONCRETE SIDEWALK TO REMAIN
 - 10 EXISTING HC RAMP TO REMAIN
 - 11 NEW 6" CONCRETE CURB
 - 12 NEW CONCRETE SIDEWALK
 - 13 NEW HANDICAP RAMP. SEE SHEET C3.
 - 14 PROPOSED MONUMENT SIGN.
 - 15 NEW FIRE HYDRANT.
 - 16 NEW ASPHALT PAVING.
 - 17 NEW REFUSE ENCLOSURE. SEE SHEET C3.
 - 18 SIDEWALK-CULVERT NOT USED.
 - 19 BICYCLE RACK - 5 SPACES MIN.
 - 20 LANDSCAPE AREA
 - 21 LOT LINE TO BE ELIMINATED
 - 22 PROPOSED LOT LINE
 - 23 EX. PARKING TO BE RE-STRIPPED
 - 24 NEW BRICK PEDESTRIAN WAY TO MATCH EXISTING.
 - 25 REMOVE AND DISPOSE EXIST. LIGHT POLE
 - 26 HC PARKING SIGN. SEE SHEET C3.
 - 27 MOTORCYCLE PARKING SIGN. SEE SHEET C3.
 - 28 NEW LIGHTING FIXTURE - Z28. SEE SHEET A008.
 - 29 NEW LIGHTING FIXTURE - Z04. SEE SHEET A008.
 - 30 NEW 6" PUBLIC SIDEWALK
 - 31 NEW 8' X 8' CONCRETE ADA PAD FOR FUTURE BUS STOP. FINAL LOCATION TO BE COORDINATED WITH TRANSIT.

DRAWING INDEX	
SHEET TITLE	SHEET NO.
SITE PLAN FOR BUILDING PERMIT	SP1
LANDSCAPE PLAN	L1
CONCEPTUAL GRADING AND DRAINAGE PLAN	C1
CONCEPTUAL UTILITY PLAN	C2
SITE DETAILS	C3
BUILDING ELEVATIONS	A200
SIGNAGE AND LIGHTING DETAILS	A006



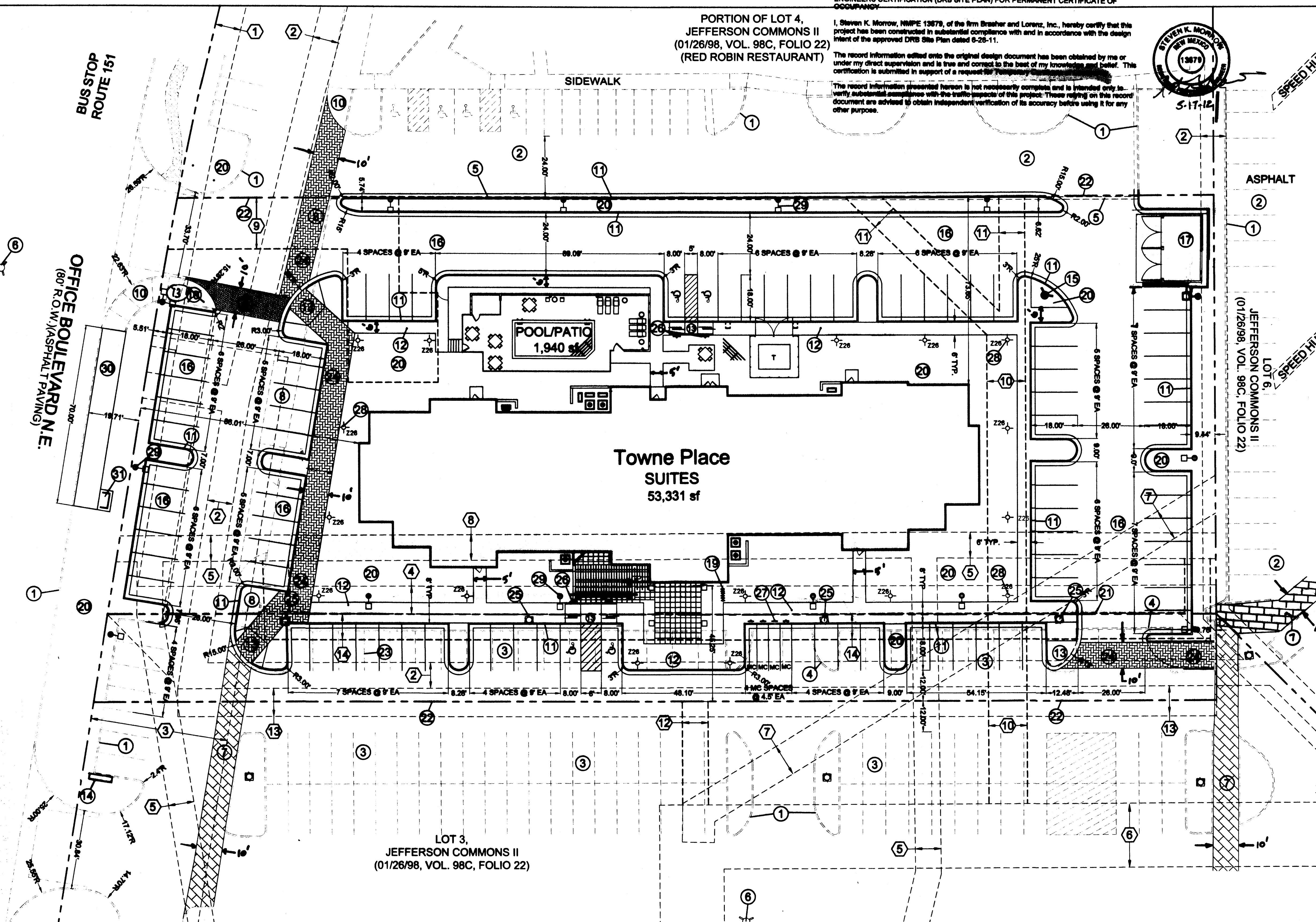
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1" = 20'

AFD FIRE MARSHAL'S OFFICE
APPROVED/DISAPPROVED
3/29/2011
Bicycle spaces: 5 spaces
Motorcycle spaces: 4 spaces
LIGHTING:
Free standing lighting will be provided and located such that visibility of any light source from the street is difficult or impossible during dark. All lighting shall be full cut off lighting, and shall be in conformance with the New Mexico Night Sky Protection Act and as regulated under the City of Albuquerque Zoning Code Section 14-16-3-9.
BUILDING HEIGHT AND SETBACKS:
Building height and setback limitations are as regulated under IP zoning.

BRASHER & LORENZ
CONSULTING ENGINEERS & SURVEYORS
2201 San Pedro NE, Building 1, Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-8088 Fax: 505-888-6188

RECEIVED
MAY 23 2012
HYDROLOGY SECTION
Job No. _____
Date March 21, 2011
Revisions _____
No. Date _____
Sheet
SP1

Architecture+
Towneplace Suites By Marriott
91 Unit, 4 Story
Albuquerque, New Mexico



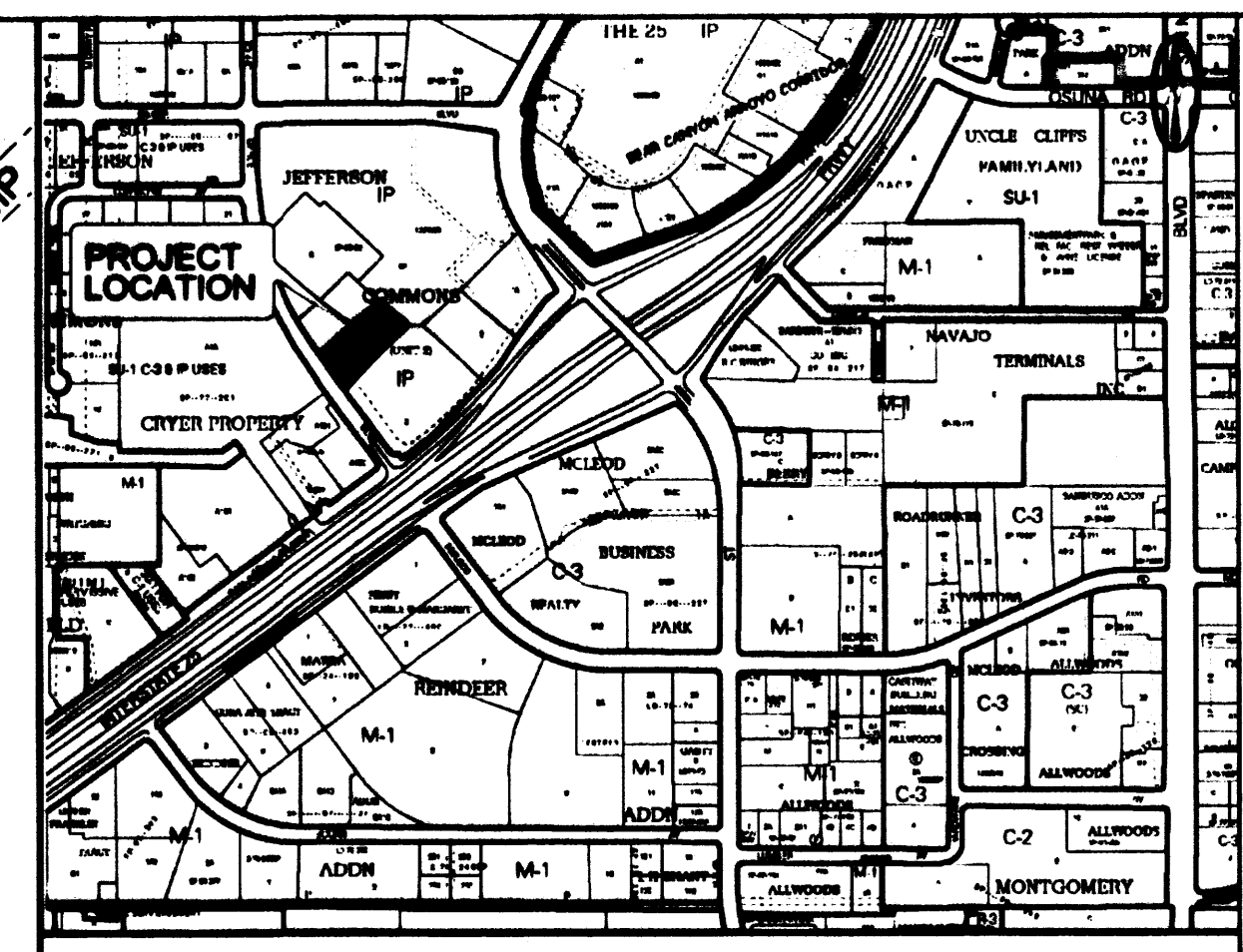
PORTION OF LOT 4,
JEFFERSON COMMONS II
(01/26/98, VOL. 98C, FOLIO 22)
(RED ROBIN RESTAURANT)

ENGINEERS CERTIFICATION (DRB SITE PLAN) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Steven K. Morrow, NMPE 13670, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved DRB Site Plan dated 6-28-11.

The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented herein is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



F-17-Z LOCATION MAP NTS

PROJECT NUMBER: 1000319

APPLICATION NUMBER: _____

APPLICATION NUMBER: _____

DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:

Steven K. Morrow 05-13-11 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

Allan Porter 04/20/11 DATE
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

Blanchard 4/20/11 DATE
PARKS AND RECREATION DEPARTMENT

Cynthia Chen 4-20-11 DATE
CITY ENGINEER

N/A DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

Joe Winters 4-12-11 DATE
SOLID WASTE MANAGEMENT

Paul Ch... 6-28-11 DATE
DEPT. CHAIR, PLANNING DEPARTMENT

PROJECT DATA

LEGAL DESCRIPTION:
Lot 4B, Jefferson Commons II

PROPERTY ADDRESS:
5531 Office Boulevard NE
Albuquerque, New Mexico 87109

ZONING:
Present Zoning: IP
Proposed Zoning: IP

SITE AREA:
1.8996 Acres (82,617 Square Feet)

FAR:
0.84 ALLOWED ON LOT 4B ONLY

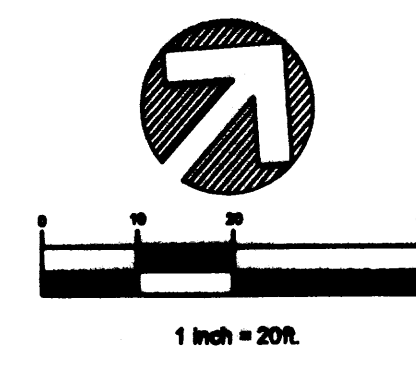
BUILDING AREA:
First Floor: 14,100 sf
Second Floor: 13,077 sf
Third Floor: 13,077 sf
Fourth Floor: 13,077 sf
Total Gross Building Area: 53,331 sf

PARKING:
Required:
Automobile:
1 space for each unit = 91 spaces
Less 10% if within 300' of a transit system route, Transit Route 151 (-9 spaces)
Total required spaces = 82, including 4 Handicap spaces

Bicycle spaces: 0 spaces required
Motorcycle spaces: 3 spaces

- EASEMENT SCHEDULE
- EXISTING 10' PNM & U.S. WEST UNDERGROUND POWER & TELE. EASEMENT (01/26/98, VOL. 98C, FOLIO 22)
 - EXISTING 10' PRIVATE STORM SEWER EASEMENT (01/26/98, VOL. 98C, FOLIO 22)
 - EXISTING STORM SEWER EASEMENT (02/27/96, VOL. 98C, FOLIO 88)
 - EXISTING 10' GUEST EASEMENT (07/08/2004, Br. A80, Pg. 8048)
 - EXISTING GAS & ELECTRIC EASEMENT (01/22/2002, Br. A30, Pg. 8067)
 - EXISTING 25' PUBLIC SANITARY SEWER & WATERLINE EASEMENT (01/26/98, VOL. 98C, FOLIO 22)
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 - PROPOSED 10' PRIVATE SURFACE STORM DRAINAGE EASEMENT
 - PROPOSED 10' GAS AND ELECTRIC EASEMENT

- KEYED NOTES
- EXISTING CONCRETE CURBS TO REMAIN
 - EXISTING ASPHALT TO REMAIN
 - EXISTING CONCRETE PAVEMENT TO REMAIN
 - REMOVE AND DISPOSE EXISTING CONCRETE CURBS
 - REMOVE AND DISPOSE EXISTING TEMP AC CURBS
 - EXISTING FIRE HYDRANT
 - EXISTING BRICK PEDESTRIAN WALK TO REMAIN
 - REMOVE AND DISPOSE EXISTING SIDEWALK AND HC RAMPS
 - EXISTING CONCRETE SIDEWALK TO REMAIN
 - EXISTING HC RAMP TO REMAIN
 - NEW 6" CONCRETE CURBS
 - NEW CONCRETE SIDEWALK
 - NEW HANDICAP RAMP. SEE SHEET C3.
 - PROPOSED MONUMENT SIGN.
 - NEW FIRE HYDRANT.
 - NEW ASPHALT PAVING.
 - NEW REFUSE ENCLOSURE. SEE SHEET C3.
 - SIDEWALK CURBWAY NOT USED.
 - BICYCLE RACK - 5 SPACES MIN.
 - LANDSCAPE AREA
 - LOT LINE TO BE ELIMINATED
 - PROPOSED LOT LINE
 - EX. PARKING TO BE RE-STRIPPED
 - NEW BRICK PEDESTRIAN WAY TO MATCH EXISTING.
 - REMOVE AND DISPOSE EXIST. LIGHT POLE
 - HC PARKING SIGN. SEE SHEET C3.
 - MOTORCYCLE PARKING SIGN. SEE SHEET C3.
 - NEW LIGHTING FIXTURE - Z26. SEE SHEET A008.
 - NEW LIGHTING FIXTURE - Z04. SEE SHEET A008.
 - NEW 6" PUBLIC SIDEWALK
 - NEW 6' X 6' CONCRETE ADA PAD FOR FUTURE BUS STOP. FINAL LOCATION TO BE COORDINATED WITH TRANSIT.



DRAWING INDEX	
SHEET TITLE	SHEET NO.
SITE PLAN FOR BUILDING PERMIT	SP1
LANDSCAPE PLAN	L1
CONCEPTUAL GRADING AND DRAINAGE PLAN	C1
CONCEPTUAL UTILITY PLAN	C2
SITE DETAILS	C3
BUILDING ELEVATIONS	A200
SIGNAGE AND LIGHTING DETAILS	A008

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1" = 20'

BRASHER & LORENZ
CONSULTING ENGINEERS & SURVEYORS
2201 San Pedro NE, Building 1, Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-8088 Fax: 505-888-6188

Architecture+

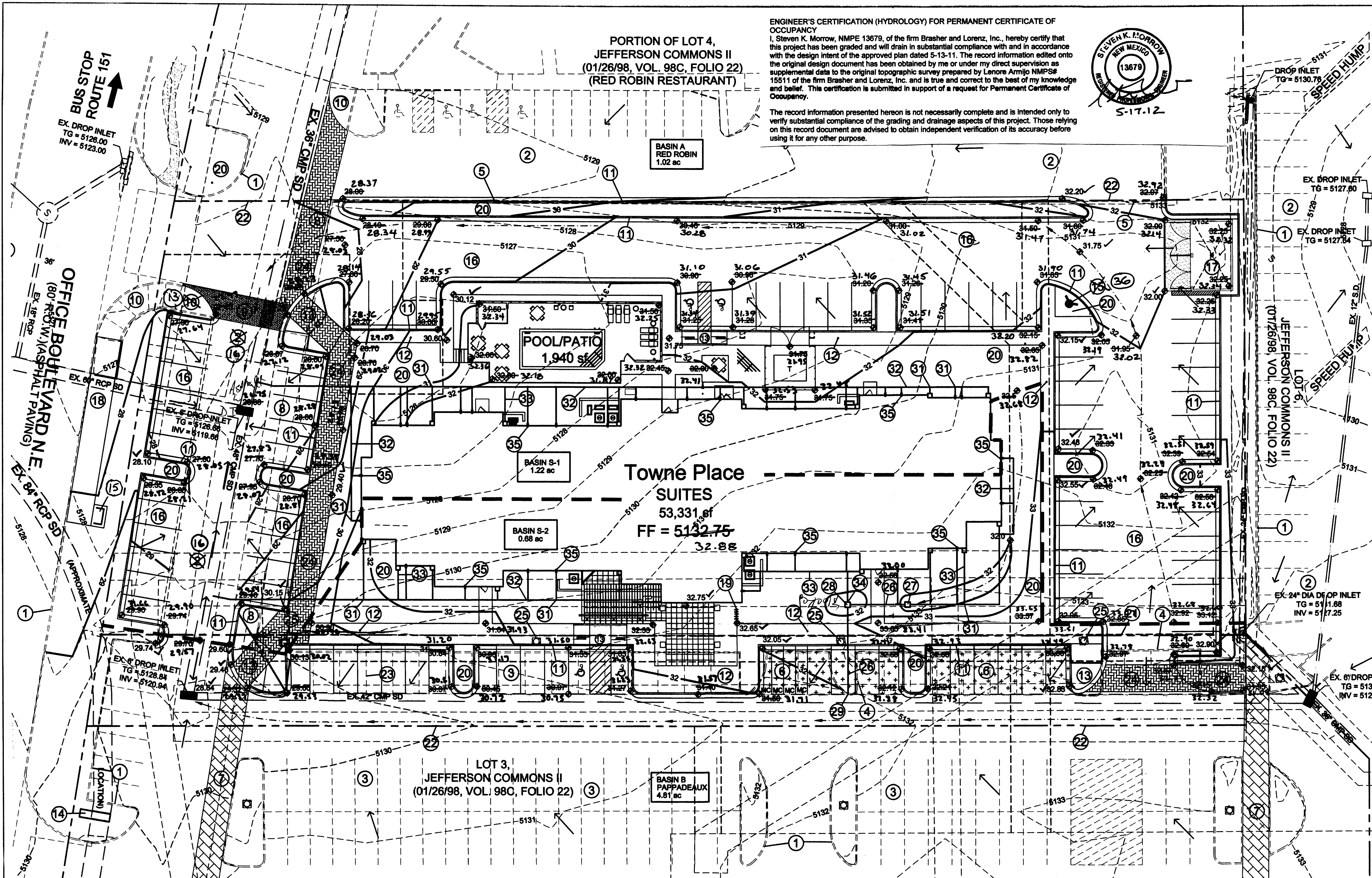
Architects Planners
A Professional Corporation
Washington Plaza, Suite 400
300 Washington Street
Monroe Louisiana 71201

Towneplace Suites By Marriott

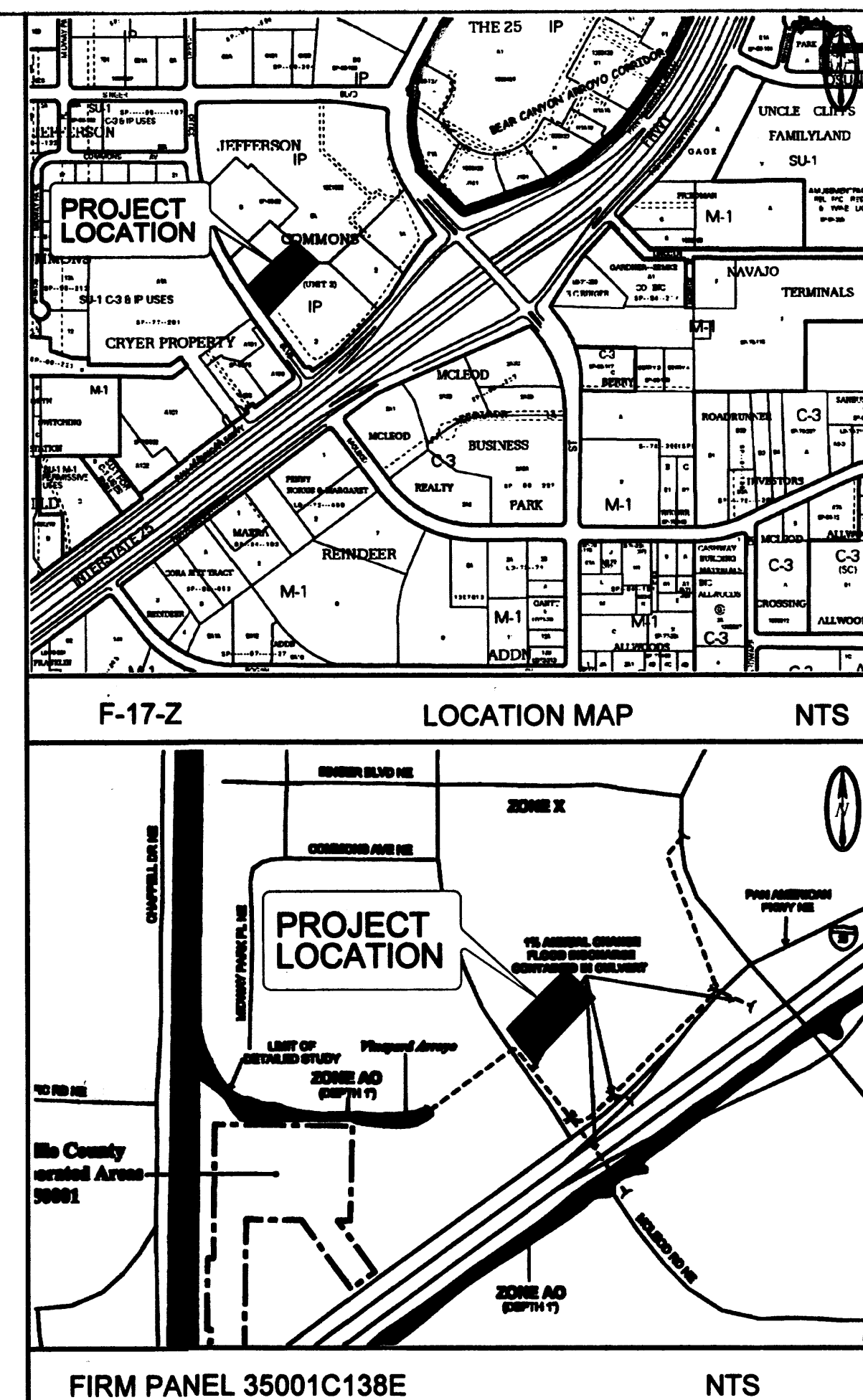
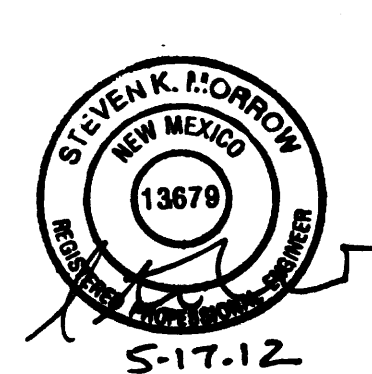
91 Unit, 4 Story
Albuquerque, New Mexico

Job No. _____
Date March 21, 2011
Revisions _____
No. Date _____

Sheet **SP1**
APR 17 2012



ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY
 I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 5-13-11. The record information edited onto the original design document has been obtained by me or under my direct supervision as supplemental data to the original topographic survey prepared by Lenore Armijo NMPS# 15511 of the firm Brasher and Lorenz, Inc. and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.
 The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



DRAWING LEGEND	EXISTING	PROPOSED
RETAINING WALL	---	---
DRAINAGE BASIN	---	---
DIVIDE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	X 16.7	X 87.26
CURB	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.3	TC 99.31
CONTOUR	---	---
SWALE	---	---
DIRECTION OF FLOW	---	---
STORM SEWER	EX36" CMP SD	24" SD
DROP INLET	---	---
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
PROPERTY LINE	---	---
DOWNSPOUT	---	---

PROJECT DATA

LEGAL DESCRIPTION:
 Lot 4, Jefferson Commons II

PROPERTY ADDRESS:
 5531 Office Boulevard NE
 Albuquerque, New Mexico 87109

SURVEY:
 Topographic Mapping prepared by Brasher & Lorenz, Inc.
 December 2010.
 Lenore Armijo, NMPS 15511

SITE AREA:
 1.90 Acres (82,764 Square Feet)

PROJECT BENCHMARK:
 ACS Control Station "1-25-18"
 Elevation 5128.340 feet
 NMSP Central Zone
 NAD 83, NAVD 88

GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 91 ROOM TOWNEPLACE SUITES HOTEL AND RELATED IMPROVEMENTS FOR JW MARRIOTT. PROPOSED SITE IMPROVEMENTS TO SUPPORT THE PROJECT INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PRESENTED TO ILLUSTRATE ESTABLISH GRADING AND DRAINAGE CRITERIA IN SUPPORT OF A BUILDING PERMIT APPLICATION.

DRAINAGE MASTER PLAN

THE DRAINAGE CRITERIA FOR THIS SITE WAS ESTABLISHED BY THE JEFFERSON COMMONS II DRAINAGE REPORT, PREPARED BY C.L. WEISS ENGINEERING, NOV 1997. THE DMP IMPROVEMENTS INCLUDED PRIVATE INTERNAL SOTEM SEWER SYSTEM DESIGNED TO ACCEPT FULLY DEVELOPED FLOWS FROM THE MASTERPLAN AREA. FREE DISCHARGE WAS FACILITATED BY THE EXISTING STORM DRAINAGE SYSTEM AND CBC THAT SERVES THE JEFFERSON-25 INTERCHANGE AND SURROUNDING PROPERTIES. THE DRAINAGE SYSTEM CULMINATES IN A 8'X12' CBC THAT DISCHARGES TO THE VINEYARD CHANNEL, A TRIBUTARY TO THE NORTH DIVERSION CHANNEL. THE PROJECT SITE IS PROGRAMMED TO DRAIN TO THE PRIVATE INTERNAL STORM SEWER SYSTEM.

EXISTING CONDITIONS

THE SITE IS A PORTION OF LOT 4, JEFFERSON COMMONS II. AN EXISTING RED ROBIN RESTAURANT IS LOCATION ON THE NORTH-WESTERN PORTION OF THE PROPERTY. THE SITE IS PRESENTLY UNDEVELOPED WITH THE EXCEPTION OF THE EXISTING PRIVATE STORM SEWER SYSTEM AND THE PAVED FRONTAGE ROAD ALONG OFFICE BLVD. ALL ONSITE FLOWS DRAIN SOUTH TO THE EXISTING AREA DRAINS. OFF-SITE FLOWS ARE ALL MANAGED BY THE PRIVATE STORM SEWER SYSTEM AROUND THE SITE PERIMETER. NO OFF-SITE FLOWS ENTER THE SITE.

AS SHOWN BY THE ATTACHED FIRM PANEL, THIS PROPERTY IS LOCATED WITHIN A DESIGNATED ZONE 'X' (500 YEAR) FLOOD HAZARD ZONE.

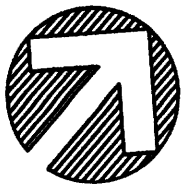
PROPOSED CONDITIONS

IN ACCORDANCE WITH THE DMP, ALL SITE FLOWS WILL DRAIN TO THE EXISTING PRIVATE STORM SEWER AND AREA DRAINS LOCATED AT THE SOUTHERN END OF THE SITE. A PLATTING PROPOSAL WILL ADJUST THE EXISTING PROPERTY LINES TO CREATE A PARCEL FOR RED ROBIN, AND RECONFIGURE THE HOTEL SITE. DUE TO THE LOT LINE ADJUSTMENTS, A PORTION OF THE RED ROBIN SITE WILL DRAIN ONTO THE PROJECT SITE TO AN EXISTING AREA DRAIN. THE EAST LOT LINE ADJUSTMENT PLACES THE PAPPADIAUX AREA DRAIN (LOT 3) ON THE SUBJECT SITE. PRIVATE STORM DRAINAGE EASEMENTS EXIST FOR THE EXISTING PRIVATE STORM SEWER. ADDITION EASEMENTS WILL BE GRANTED FOR SURFACE FLOWS.

PROJECT HYDROLOGY								
AHYMO								
ZONE:	2							
P ₆ HOUR	2.35							
P ₁₀ DAY	3.95							
EXISTING CONDITIONS								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	1.90	0.00	0.70	0.70	0.50	1.26	6.1	0.120
A	1.02	0.00	0.07	0.08	0.87	1.95	4.5	0.166
B	4.81	0.00	0.36	0.36	4.09	1.95	21.2	0.782
DEVELOPED CONDITIONS								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	1.90	0.00	0.14	0.28	1.48	1.88	8.1	0.032
S-1	1.22	0.00	0.09	0.18	0.95	1.88	6.2	0.021
S-2	0.68	0.00	0.05	0.10	0.53	1.88	2.9	0.011
A	1.02	0.00	0.07	0.08	0.87	1.95	4.5	0.166
B	4.81	0.00	0.36	0.36	4.09	1.95	21.2	0.782

KEYED NOTES

- EXISTING CONCRETE CURB TO REMAIN
- EXISTING ASPHALT TO REMAIN
- EXISTING CONCRETE PAVEMENT TO REMAIN
- REMOVE AND DISPOSE EXISTING CONCRETE CURB
- REMOVE AND DISPOSE EXISTING TEMP AC CURB
- REMOVE AND DISPOSE CONCRETE PAVEMENT TO LIMITS AND GRADES SHOWN
- EXISTING BRICK PEDESTRIAN WALK TO REMAIN
- REMOVE AND DISPOSE EXISTING SIDEWALK AND HC RAMPS
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING HC RAMP TO REMAIN
- NEW 6" CONCRETE CURB AND GUTTER
- NEW CONCRETE SIDEWALK
- NEW HANDICAP RAMP. SEE SHEET C104.
- PROPOSED MONUMENT SIGN
- NEW TRANSIT STOP
- NEW ASPHALT PAVING
- NEW REFUSE ENCLOSURE. SEE SHEET C103.
- NEW 6" WIDE CONCRETE SIDEWALK.
- BICYCLE RACK
- LANDSCAPE AREA
- LOT LINE TO BE ELIMINATED
- PROPOSED LOT LINE
- EX. PARKING TO BE RE-STRIPPED
- NEW PEDESTRIAN WAY
- REMOVE AND DISPOSE EXIST. LIGHT POLE
- NEW 8" SD @ S = 2.0%
- INSTALL ACO-630.F CATCH BASIN. TG = 31.75 INV = 28.50
- INSTALL ACO-630.F CATCH BASIN. TG = 31.75 INV = 28.00
- CONNECT NEW STORM DRAIN TO EXISTING CMP WITH WITH FABRICATED 90° SADDLE.
- CONNECT DOWNSPOUT TO 4" STORM DRAIN WITH DOWNSPOUT ADAPTER - TYP.
- INSTALL 4" X 8" TEE - TYP.
- INSTALL 8" STORM DRAIN AT 1.0% MIN. SLOPE.
- INSTALL 4" STORM DRAIN AT 1.0% MIN. SLOPE.
- CONNECT 4" STORM DRAIN TO CATCH BASIN.
- INSTALL CONDENSATE DRAIN. SEE SHEET C104.
- FIRE HYDRANT



GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'

BRASHER & LORENZ
 CONSULTING ENGINEERS & SURVEYORS
 2201 San Pedro NE, Building 1, Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-6088 Fax: 505-888-6188

Architecture+

Joseph L. Cassiere II,
 Architect
 Washington Plaza, Suite 400
 300 Washington Street
 Monroe, Louisiana 71201

Towneplace Suites By Marriott

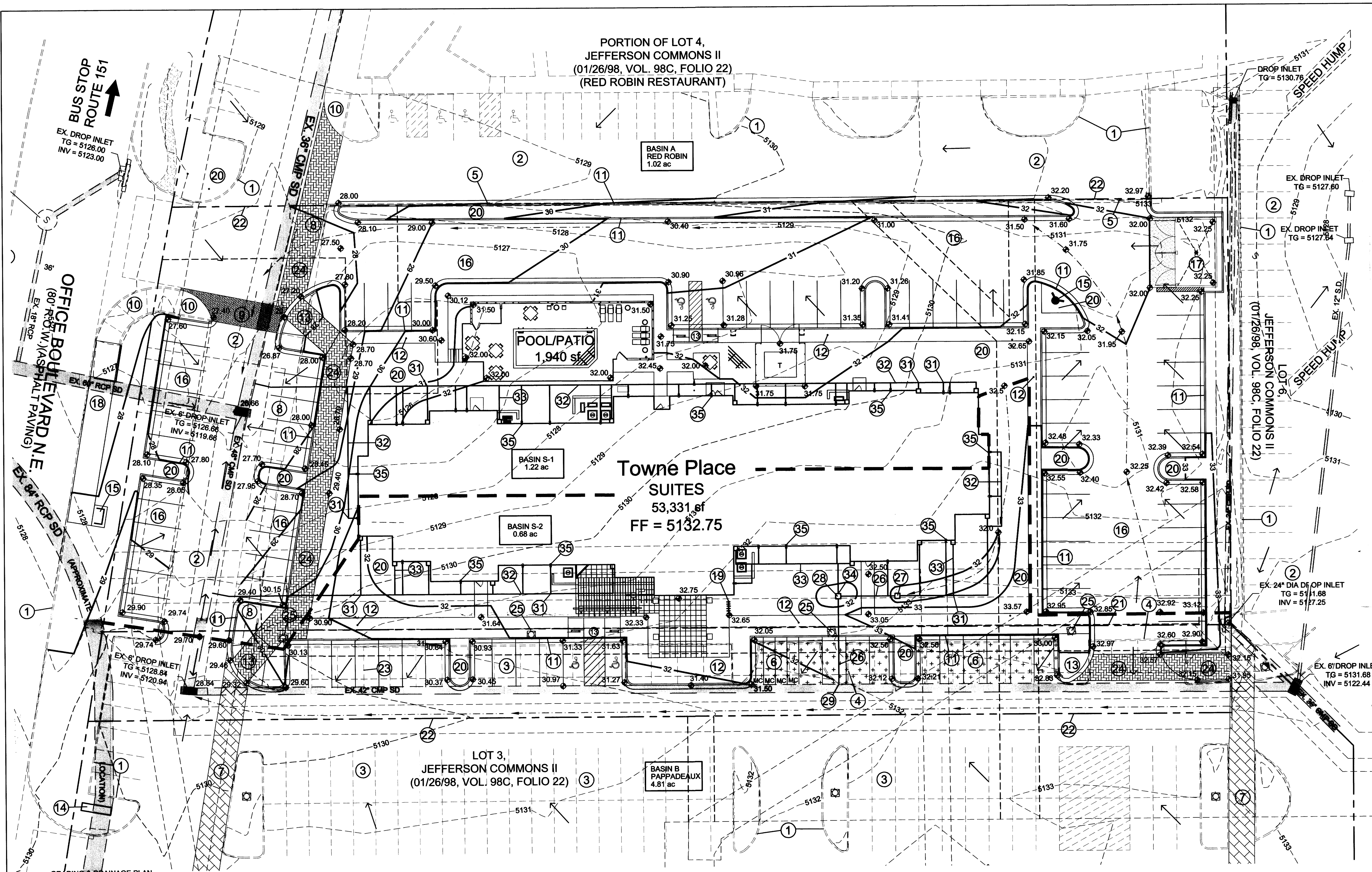
91 Unit, 4 Story
 Albuquerque, New Mexico

Job No.
 Date May 13, 2011
 Revisions
 No. Date
 ISSUED FOR BUILDING PERMIT 3-18-11

Sheet

C101

APR 17 2012
 05-17-12



GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 91 ROOM TOWNEPLACE SUITES HOTEL AND RELATED IMPROVEMENTS FOR JW MARRIOTT. PROPOSED SITE IMPROVEMENTS TO SUPPORT THE PROJECT INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PRESENTED TO ILLUSTRATE ESTABLISH GRADING AND DRAINAGE CRITERIA IN SUPPORT OF A BUILDING PERMIT APPLICATION.

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EXISTING CONDITIONS

THE SITE IS A PORTION OF LOT 4, JEFFERSON COMMONS II. AN EXISTING RED ROBIN RESTAURANT IS LOCATION ON THE NORTHWESTERN PORTION OF THE PROPERTY. THE SITE IS PRESENTLY UNDEVELOPED WITH THE EXCEPTION OF THE EXISTING PRIVATE STORM SEWER SYSTEM AND THE PAVED FRONTAGE ROAD ALONG OFFICE BLVD. ALL ON-SITE FLOWS DRAIN SOUTH TO THE EXISTING AREA DRAINS. OFF-SITE FLOWS ARE ALL MANAGED BY THE PRIVATE STORM SEWER SYSTEM AROUND THE SITE PERIMETER. NO OFF-SITE FLOWS ENTER THE SITE.

AS SHOWN BY THE ATTACHED FIRM PANEL, THIS PROPERTY IS LOCATED WITHIN A DESIGNATED ZONE 'X' (500 YEAR) FLOOD HAZARD ZONE.

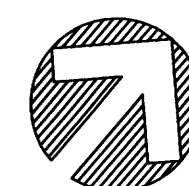
PROPOSED CONDITIONS

IN ACCORDANCE WITH THE DMP, ALL SITE FLOWS WILL DRAIN TO THE EXISTING PRIVATE STORM SEWER AND AREA DRAINS LOCATED AT THE SOUTHERN END OF THE SITE. A PLATTING PROPOSAL WILL ADJUST THE EXISTING PROPERTY LINES TO CREATE A PARCEL FOR RED ROBIN, AND RECONFIGURE THE HOTEL SITE. DUE TO THE LOT LINE ADJUSTMENTS, A PORTION OF THE RED ROBIN SITE WILL DRAIN ONTO THE PROJECT SITE TO AN EXISTING AREA DRAIN. THE EAST LOT LINE ADJUSTMENT PLACES THE PAPPADIAUX'S AREA DRAIN (LOT 3) ON THE SUBJECT SITE. PRIVATE STORM DRAINAGE EASEMENTS EXIST FOR THE EXISTING PRIVATE STORM SEWER. ADDITIONAL EASEMENTS WILL BE GRANTED FOR SURFACE FLOWS.

PROJECT HYDROLOGY							
AHYMO							
ZONE:	2						
P ₂₄ HOUR	2.35						
P ₁₀ DAY	3.95						
EXISTING CONDITIONS							
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)
SITE	1.90	0.00	0.70	0.70	0.50	1.26	6.1
A	1.02	0.00	0.07	0.08	0.87	1.95	4.5
B	4.81	0.00	0.36	0.36	4.09	1.95	21.2
DEVELOPED CONDITIONS							
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)
SITE	1.90	0.00	0.14	0.28	1.48	1.88	8.1
S-1	1.22	0.00	0.09	0.10	0.95	1.88	6.2
S-2	0.88	0.00	0.05	0.10	0.53	1.88	2.9
A	1.02	0.00	0.07	0.08	0.87	1.95	4.5
B	4.81	0.00	0.36	0.36	4.09	1.95	21.2

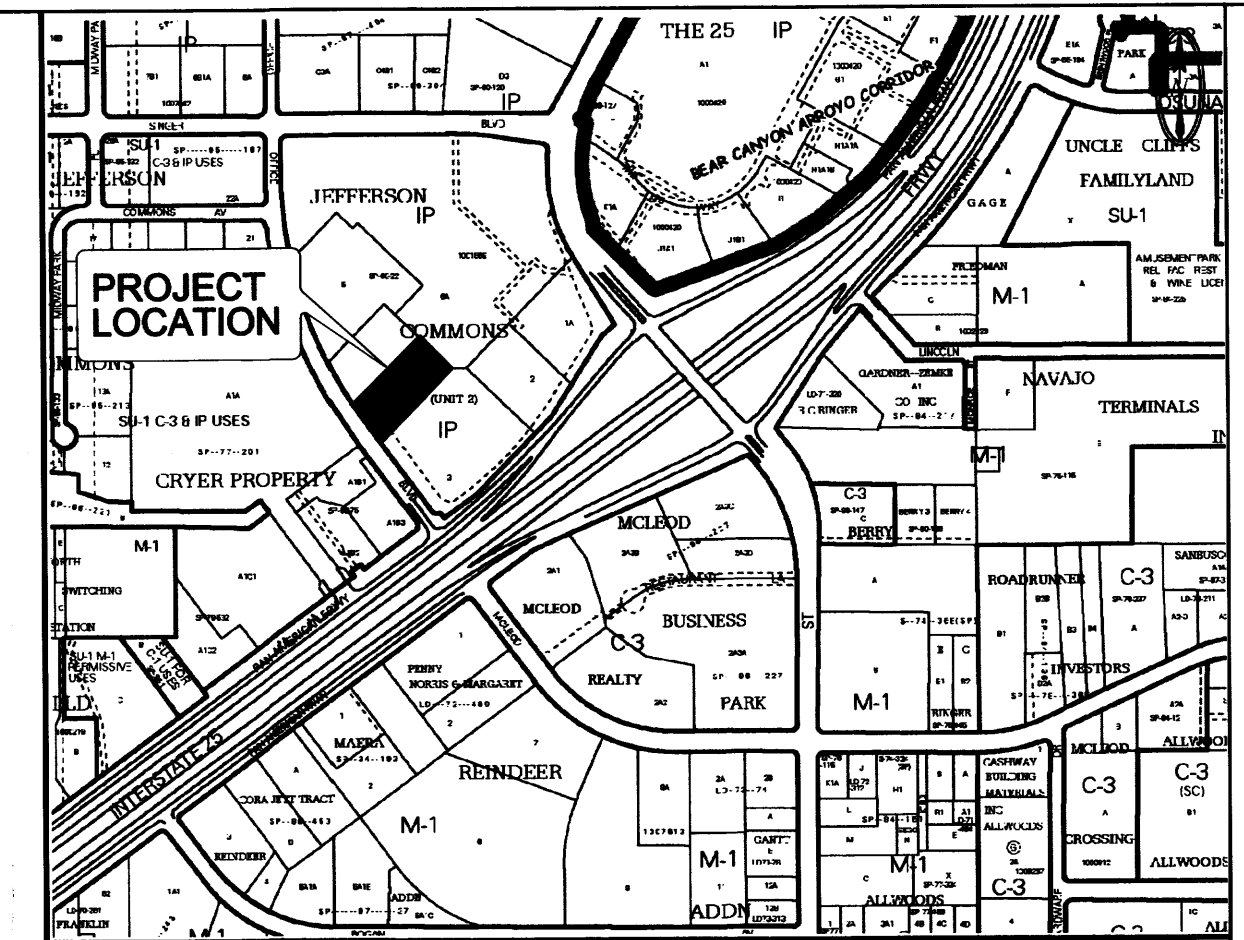
KEYED NOTES

- EXISTING CONCRETE CURB TO REMAIN
- EXISTING ASPHALT TO REMAIN
- EXISTING CONCRETE PAVEMENT TO REMAIN
- REMOVE AND DISPOSE EXISTING CONCRETE CURB
- REMOVE AND DISPOSE EXISTING TEMP AC CURB
- REMOVE AND DISPOSE CONCRETE PAVEMENT TO LIMITS AND GRADES SHOWN
- EXISTING BRICK PEDESTRIAN WALK TO REMAIN
- REMOVE AND DISPOSE EXISTING SIDEWALK AND HC RAMPS
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING HC RAMP TO REMAIN
- NEW 6" CONCRETE CURB
- NEW CONCRETE SIDEWALK
- NEW HANDICAP RAMP. SEE SHEET C104.
- PROPOSED MONUMENT SIGN
- NEW TRANSIT STOP.
- NEW ASPHALT PAVING
- NEW REFUSE ENCLOSURE. SEE SHEET C103.
- NEW 6" WIDE CONCRETE SIDEWALK.
- BICYCLE RACK
- LANDSCAPE AREA
- LOT LINE TO BE ELIMINATED
- PROPOSED LOT LINE
- EX. PARKING TO BE RE-STRIPPED
- NEW PEDESTRIAN WAY
- REMOVE AND DISPOSE EXIST. LIGHT POLE
- NEW 8" SD @ S = 2.0%
- INSTALL ACO-630.F CATCH BASIN. TG = 31.75 INV = 28.50
- INSTALL ACO-630.F CATCH BASIN. TG = 31.75 INV = 28.00
- CONNECT NEW STORM DRAIN TO EXISTING CMP WITH WITH FABRICATED 90° SADDLE.
- CONNECT DOWNSPOUT TO 4" STORM DRAIN WITH DOWNSPOUT ADAPTER - TYP.
- INSTALL 4" X 8" TEE - TYP.
- INSTALL 8" STORM DRAIN AT 1.0% MIN. SLOPE.
- INSTALL 4" STORM DRAIN AT 1.0% MIN. SLOPE.
- CONNECT 4" STORM DRAIN TO CATCH BASIN.
- INSTALL CONDENSATE DRAIN. SEE SHEET C104.

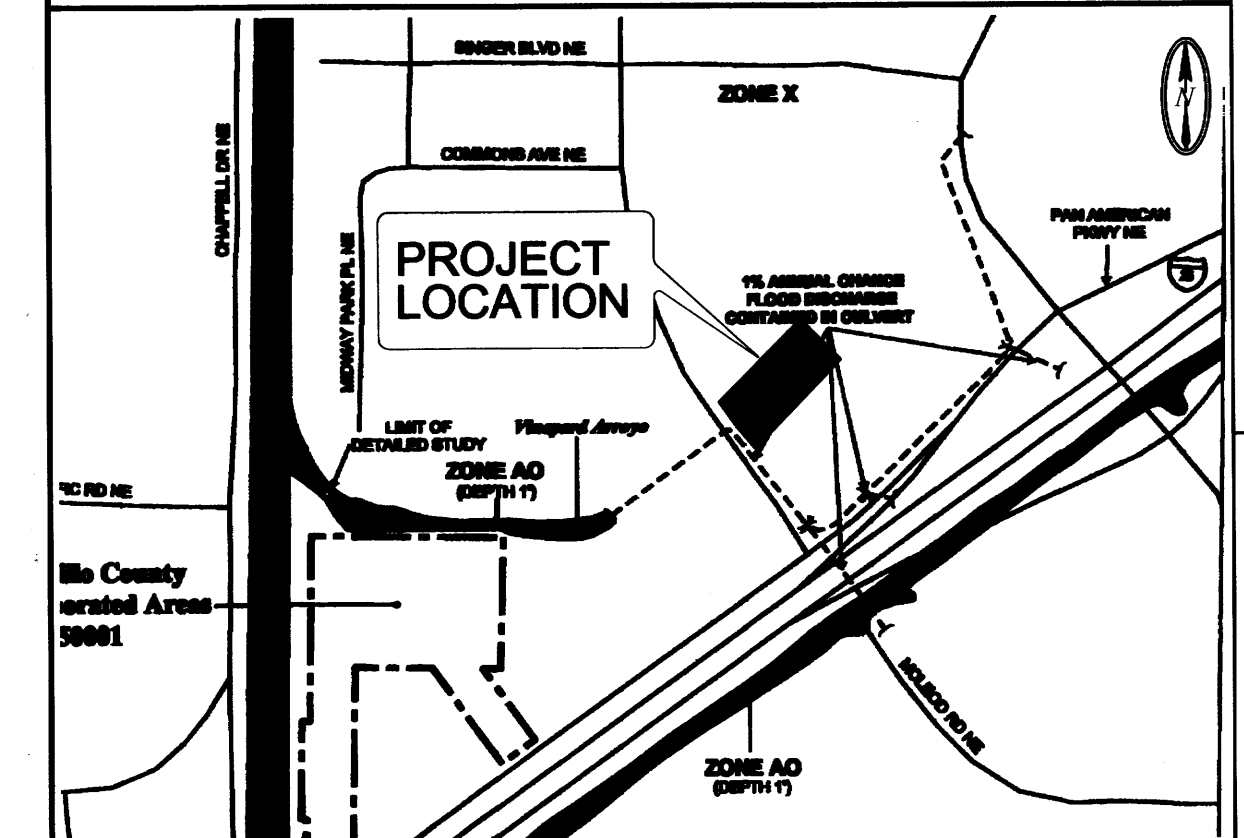


GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'



F-17-Z LOCATION MAP NTS



FIRM PANEL 35001C138E NTS

DRAWING LEGEND	EXISTING	PROPOSED
RETAINING WALL		
DRAINAGE BASIN		
DIVIDE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	X 16.7	X 87.26
CURB		
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.3	TC 99.31
CONTOUR	5166	66
SWALE		
DIRECTION OF FLOW		
STORM SEWER	EX36" CMP SD	24" SD
DROP INLET		
RIGHT OF WAY		
EASEMENT LINE		
PROPERTY LINE		
DOWNSPOUT		

PROJECT DATA

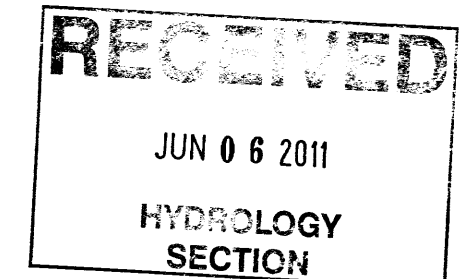
LEGAL DESCRIPTION:
Lot 4, Jefferson Commons II

PROPERTY ADDRESS:
5531 Office Boulevard NE
Albuquerque, New Mexico 87109

SURVEY:
Topographic Mapping prepared by Brasher & Lorenz, Inc.
December 2010.
Lenore Armijo, NMPS 15511

SITE AREA:
1.90 Acres (82,764 Square Feet)

PROJECT BENCHMARK:
ACS Control Station "I-25-18"
Elevation 5128.340 feet
NMSP Central Zone
NAD 83, NAVD 88

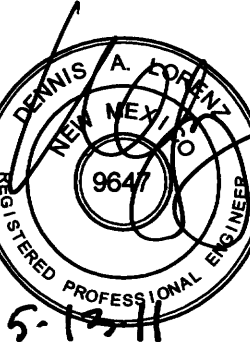


BRASHER & LORENZ
CONSULTING ENGINEERS & SURVEYORS
2201 San Pedro NE, Building 1, Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

Architecture+

Joseph L. Cassiere II,
Architect
Washington Plaza, Suite 400
300 Washington Street
Monroe, Louisiana 71201

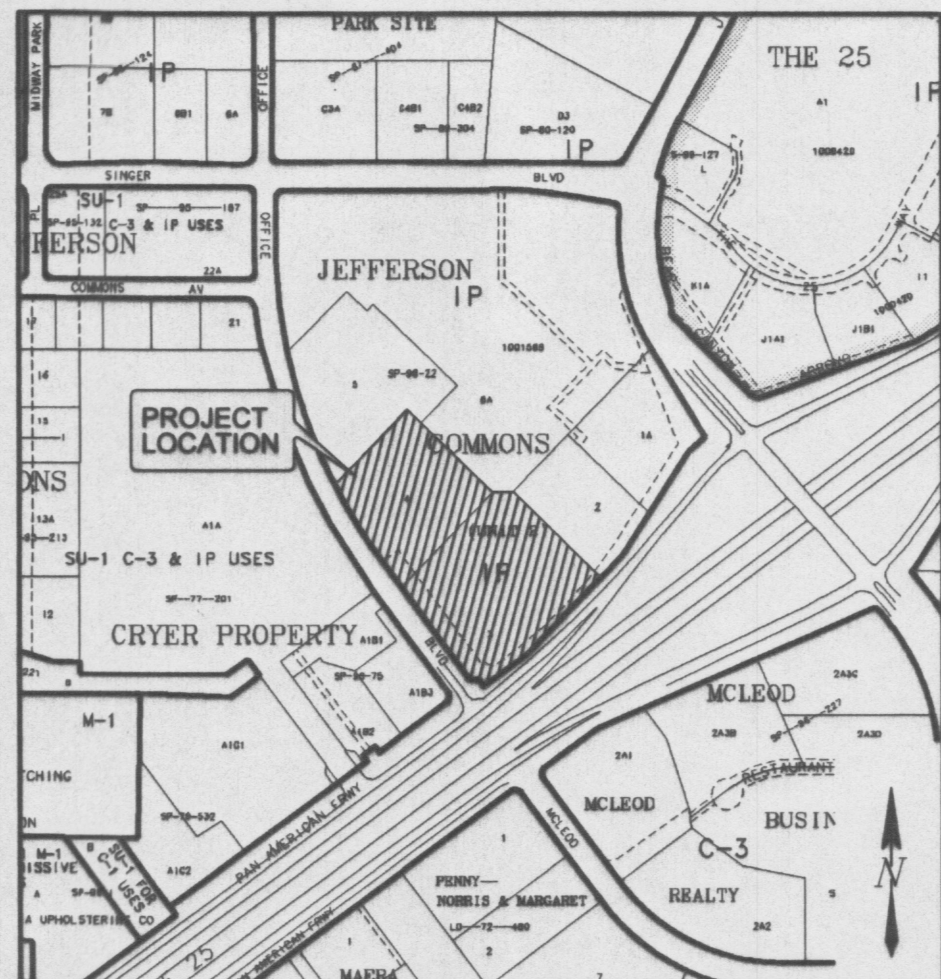
Towneplace Suites By Marriott
91 Unit, 4 Story
Albuquerque, New Mexico



Job No.
Date May 13, 2011
Revisions
No. Date
ISSUED FOR BUILDING PERMIT 3-10-11

Sheet

C101



VICINITY MAP
(NOT TO SCALE)

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND BEING DESIGNATED AS LOTS 3 AND 4, JEFFERSON COMMONS II, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 26, 1998, IN BOOK 98C, FOLIO 22, SITUATE IN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE WESTERLY CORNER OF THE PROPERTY HEREIN DESCRIBED, SAID POINT BEING THE WESTERLY CORNER OF LOT 4, JEFFERSON COMMONS II, AND LYING ON THE EAST RIGHT OF WAY LINE OF OFFICE BOULEVARD NE, MONUMENTED WITH A FOUND No. 4 REBAR WITH YELLOW CAP MARKED "LS #6126", FROM WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT "S 27_26_34_35_11N_3E" BEARS AN $42^{\circ}11'03''$ W, A DISTANCE OF 1,720.93 FEET;

THENCE, N $44^{\circ}05'05''$ E, ALONG THE NORTH PROPERTY LINE OF SAID LOT 4, JEFFERSON COMMONS II, A DISTANCE OF 342.21 FEET TO THE NORTHERLY CORNER OF THE PROPERTY HEREIN DESCRIBED, SAID POINT ALSO BEING THE NORTHERLY CORNER OF SAID LOT 4, JEFFERSON COMMONS II, MONUMENTED WITH A FOUND No. 4 REBAR WITH YELLOW CAP MARKED "LS #126";

THENCE, S $45^{\circ}56'15''$ E ALONG THE EAST PROPERTY LINE OF SAID LOT 4, JEFFERSON COMMONS II, A DISTANCE OF 389.29 FEET TO A POINT MONUMENTED WITH A CHISELED "X";

THENCE, N $89^{\circ}09'37''$ E, A DISTANCE OF 65.61 FEET;

THENCE, S $45^{\circ}54'35''$ E ALONG THE PROPERTY LINE BETWEEN LOTS 3 AND 2, JEFFERSON COMMONS II, A DISTANCE OF 399.81 FEET, TO A POINT LYING ON THE NORTH RIGHT OF WAY OF NEW MEXICO INTERSTATE 25, MONUMENTED WITH A FOUND No. 4 REBAR, NO CAP;

THENCE, S $44^{\circ}09'14''$ W ALONG SAID NEW MEXICO INTERSTATE 25, A DISTANCE OF 354.48 FEET TO A POINT;

THENCE, S $53^{\circ}28'20''$ W, ALONG SAID NEW MEXICO INTERSTATE 25, A DISTANCE OF 170.92 FEET TO A POINT MONUMENTED WITH A FOUND No. 4 REBAR, NO CAP;

THENCE, LEAVING SAID NEW MEXICO INTERSTATE 25, N $36^{\circ}04'19''$ W, A DISTANCE OF 30.47 FEET TO A POINT MONUMENTED WITH A FOUND No. 4 REBAR, NO CAP;

THENCE, 39.28 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A DELTA ANGLE OF $90^{\circ}00'54''$, A CHORD BEARING OF N $81^{\circ}26'59''$ W AND A CHORD DISTANCE OF 35.36 FEET, TO A POINT LYING ON THE EASTERLY RIGHT OF WAY OF OFFICE BOULEVARD NE, MONUMENTED WITH A FOUND No. 4 REBAR, NO CAP;

THENCE, N $36^{\circ}22'08''$ W, ALONG SAID EASTERLY RIGHT OF WAY OF OFFICE BOULEVARD NE, A DISTANCE OF 470.00 FEET TO A POINT;

THENCE, 294.79 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 1760.00 FEET, A DELTA ANGLE OF $9^{\circ}35'48''$, A CHORD BEARING OF N $31^{\circ}46'00''$ W AND A CHORD DISTANCE OF 294.45 FEET, TO THE POINT OF BEGINNING AND CONTAINING 8.6754 ACRES, MORE OR LESS.

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO:

1. DIVIDE TWO (2) EXISTING LOTS INTO THREE (3) NEW LOTS.
2. TO GRANT EASEMENTS (AS SHOWN HEREON).

GENERAL NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE) NAD 83.
2. DISTANCES ARE GROUND.
3. THE "BASIS OF BEARINGS" IS THE LINE BETWEEN ACS MONUMENTS "S 27_26_34_35_11N_3E" AND "I 25_18", BEARING IS $S22^{\circ}10'00''$ E.
4. RECORD PLAT BEARINGS AND DISTANCES:
 - A) PLAT ENTITLED "LOTS 1-6, JEFFERSON COMMONS II", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 26, 1998, IN BOOK 98C, FOLIO 22.
5. ALL CORNERS SET ARE A 3/4" REBAR WITH RED PLASTIC CAP STAMPED "P.L.S. 15511". UNLESS OTHERWISE INDICATED HEREON.
6. FIELD SURVEYS WERE PERFORMED JANUARY, 2011.
7. DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY ARE AS FOLLOWS:
 - A) "LOTS 1-6, JEFFERSON COMMONS II", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 26, 1998, IN BOOK 98C, FOLIO 22.
8. TOTAL NUMBER OF EXISTING LOTS : 2
9. TOTAL NUMBER OF LOTS CREATED : 3
10. GROSS SUBDIVISION ACREAGE: 8.6754 ACRES
11. TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0
12. CURRENT ZONING: IP
13. CITY OF ALBUQUERQUE ZONE ATLAS PAGE: F-17-Z
14. PRIOR TO CONSTRUCTION AND DEVELOPMENT ON ANY LOT DEPICTED ON THIS PLAT, A SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MUST BE APPROVED BY THE CITY OF ALBUQUERQUE. SUCH APPROVAL SHALL BE CONDITIONED UPON THE GRANTING OF EASEMENTS AT SPECIFIC LOCATIONS
 - A) FOR RECIPROCAL ACCESS FOR INGRESS AND EGRESS FOR MOTOR VEHICLES AND PEDESTRIANS BETWEEN AND AMONG SUCH LOTS,
 - B) FOR WATER AND SEWER SERVICE LINES, AND
 - C) FOR RECIPROCAL DRAINAGE REQUIREMENTS.PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO LOTS 1-6 MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

EASEMENT NOTES

- 1) PROPERTY IS SUBJECT TO CROSS-EASEMENT AGREEMENT AS SHOWN ON DOCUMENT NO. 97060659, FILED JUNE 16, 1997 IN BOOK 97-16, PAGES 2411-2424A.
- 2) MAINTENANCE RESPONSIBILITIES: PROVISIONS CONCERNING MAINTENANCE OF CERTAIN PRIVATE IMPROVEMENTS INCLUDING PRIVATE STORM SEWER SYSTEMS, LANDSCAPING, VEHICLE PARKING AREAS AND PEDESTRIAN WAYS (BUT NOT INCLUDING BUILDINGS OR IMPROVEMENTS INSIDE BUILDINGS) ARE IMPOSED ON THE OWNER OF EACH LOT IN THIS SUBDIVISION AS SET FORTH IN "COVENANTS, CONDITIONS AND RESTRICTIONS OF THE JEFFERSON COMMONS II SUBDIVISION", A COPY OF WHICH IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 24, 1997, AS DOCUMENT NO. 97123538 IN BOOK 97-32, PAGES 7555 TO 7563.
- 3) 10' PRIVATE SEWER EASEMENT GRANTED FOR BENEFIT OF LOT 4B, IMPROVEMENTS TO BE MAINTAINED BY LOT 4B.
- 4) 10' PRIVATE SURFACE STORM DRAINAGE EASEMENT GRANTED FOR BENEFIT OF LOTS 4A & 4B TO BE MAINTAINED BY LOTS 4A & 4B.

FREE CONSENT

SURVEYED AND REPLATTED AND NOW COMPRISING LOTS 3-A, 4-A & 4-B, JEFFERSON COMMONS II, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) THEREOF, SAID OWNER(S) AND PROPRIETOR(S) DO HEREBY GRANT TO THE USE OF THE PUBLIC FOREVER, THE PUBLIC UTILITY EASEMENTS AS SHOWN HEREON. SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) AND PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

ACKNOWLEDGMENT

STATE OF TEXAS } SS
COUNTY OF HARRIS }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME
THIS 21st DAY OF March, 2011, BY HARRIS J. Pappas
NOTARY PUBLIC

SURVEYOR'S CERTIFICATION

I, LENORE ARMijo, NEW MEXICO PROFESSIONAL SURVEYOR NUMBER 15511, HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT IT MEETS THE STANDARDS FOR LAND SURVEYS IN THE STATE OF NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS; THAT IT MEETS THE MINIMUM REQUIREMENTS FOR SURVEYS AND MONUMENTATION OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; THAT IT SHOWS ALL EASEMENTS OF RECORD; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

LENORE ARMijo N.M.P.S. 15511
3-28-2011



PLAT OF LOTS 3-A, 4-A & 4-B, JEFFERSON COMMONS II

BEING A REPLAT OF
LOTS 3 & 4
JEFFERSON COMMONS II
ELENA GALLEGOS GRANT,
PROJECTED SECTION 35, T.11N., R.3E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2011

PROJECT NUMBER

APPLICATION NUMBER

CITY APPROVALS

CITY SURVEYOR [Signature] 3-29-11
DATE

REAL PROPERTY DIVISION DATE

ENVIRONMENTAL HEALTH DEPT. DATE

ALB.-BERN. COUNTY WATER UTILITY AUTHORITY DATE

PARKS AND RECREATION DEPT. DATE

A.M.A.F.C.A. DATE

CITY ENGINEER DATE

TRANSPORTATION DEVELOPMENT DATE

DRB CHAIRPERSON, PLANNING DEPT. DATE

UTILITY APPROVALS

PNM ELECTRIC SERVICES DATE

NEW MEXICO GAS COMPANY DATE

QWEST CORPORATION DATE

COMCAST DATE

TREASURERS CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:
UPC # 101706117537220205 AND UPC # 101706114839820203
PROPERTY OWNERS OF RECORD:

BERNALILLO COUNTY TREASURER DATE
SHEET 1 OF 2

BRASHER & LORENZ
CONSULTING ENGINEERS & SURVEYORS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: KRH/LGM JOB No. 10543

LINE TABLE		
LINE	BEARING	LENGTH
L1	S45°54'55"E	37.01
L2	N44°03'08"E	15.00
L3	S45°54'55"E	35.00
L4	N44°05'05"E	35.00
L5	S45°54'55"E	51.99
L6	N44°03'08"E	70.08
L7	S45°55'11"E	236.73
L9	N45°55'11"W	182.77
L10	S88°29'48"W	77.05
L11	N44°03'08"E	14.28
L12	S88°29'48"W	64.06
L13	S45°55'11"E	44.86
L14	N44°04'49"E	10.00
L15	S45°49'45"E	40.31
L16	S44°10'15"W	10.00
L17	S45°49'45"E	40.29
L18	S44°04'49"W	10.00
L19	S44°28'17"W	2.17
L20	N45°45'25"W	31.21
L21	N44°10'15"E	368.09
L22	N47°26'01"W	30.80
L23	N43°56'49"E	10.00
L24	N47°26'01"W	20.83
L25	N44°10'15"E	348.38
L26	N45°45'25"W	21.26
L27	N44°28'17"E	10.00

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	LENGTH
C1	1760.00 (1760.00)	294.79 (294.83)	09°35'48" (09°35'53")	N31°46'00"W (N31°36'16"W)	294.45 (294.48)
C2	1760.00	234.62	7°38'16"	S30°47'14"E	234.44
C3	1760.00	60.17	1°57'32"	S35°35'08"E	60.17
C4	25.00 (25.00)	39.28 (39.27)	90°00'54" (90°00'00")	N81°26'59"W (S81°24'12"E)	35.36 (35.36)
C5	1760.00	20.38	0°39'48"	S34°56'16"E	20.38

NOTE:

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

EASEMENT NOTES

- PROPERTY IS SUBJECT TO CROSS-EASEMENT AGREEMENT AS SHOWN ON DOCUMENT NO. 97060659, FILED JUNE 16, 1997 IN BOOK 97-16, PAGES 2411-2424A.
- MAINTENANCE RESPONSIBILITIES: PROVISIONS CONCERNING MAINTENANCE OF CERTAIN PRIVATE IMPROVEMENTS INCLUDING PRIVATE STORM SEWER SYSTEMS, LANDSCAPING, VEHICLE PARKING AREAS AND PEDESTRIAN WAYS (BUT NOT INCLUDING BUILDINGS OR IMPROVEMENTS INSIDE BUILDINGS) ARE IMPOSED ON THE OWNER OF EACH LOT IN THIS SUBDIVISION AS SET FORTH IN "COVENANTS, CONDITIONS AND RESTRICTIONS OF THE JEFFERSON COMMONS II SUBDIVISION", A COPY OF WHICH IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 24, 1997, AS DOCUMENT NO. 97123538 IN BOOK 97-32, PAGES 7555 TO 7563.
- 10' PRIVATE SANITARY SEWER EASEMENT GRANTED FOR BENEFIT OF LOT 4B, IMPROVEMENTS TO BE MAINTAINED BY LOT 4B.
- 10' PRIVATE SURFACE STORM DRAINAGE EASEMENT GRANTED FOR BENEFIT OF LOTS 3A & 4B TO BE MAINTAINED BY LOTS 3A & 4B.

RECORD PLAT BEARINGS AND DISTANCES:

A) SHOWN IN PARENTHESIS () ARE FROM PLAT OF LOTS 1-6, JEFFERSON COMMONS II, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 26, 1998, IN BOOK 98C, FOLIO 22.

ACS CONTROL
STATION "S_27_26_34_35_11N_3E"
N=1508397.940
E=1534561.674
ELEV.=NONE PUBLISHED
GRD TO GRID=0.999672139
MAPPING ANGLE=0°12'13.83"
NMSP(CENTRAL ZONE)
NAD 83, NAVD 88

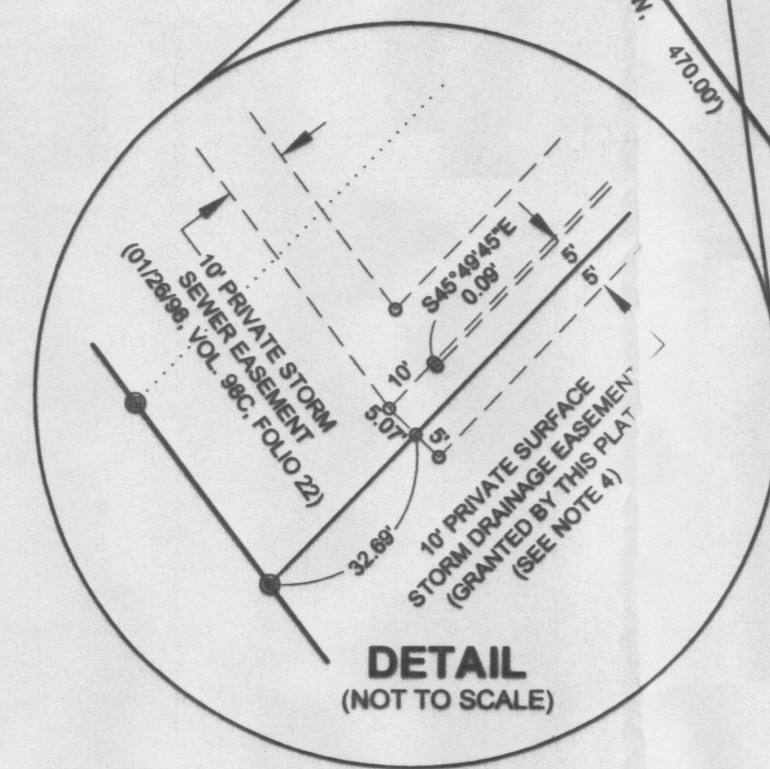
ACS CONTROL
STATION "I_25_18"
N=1505666.336
E=1535672.415
ORTHOMETRIC HEIGHT=5128.340
GRD TO GRID=0.999671141
MAPPING ANGLE=0°12'05.92"
NMSP(CENTRAL ZONE)
NAD 83, NAVD 88

LEGEND

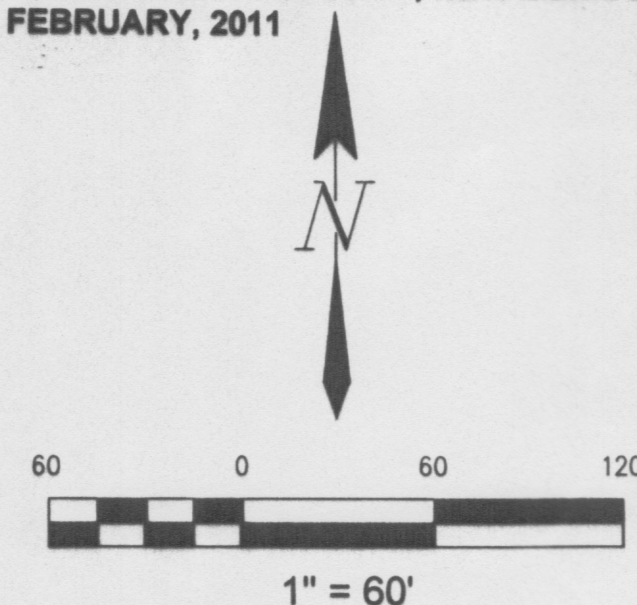
- No. 4 REBAR WITH YELLOW PLASTIC CAP LS# 6126
- △ ALBUQUERQUE CONTROL MONUMENT (AS NOTED)
- SET No. 4 REBAR WITH RED PLASTIC CAP STAMPED "PLS 15511"
- No. 4 REBAR (NO CAP)
- ⊕ CHISELED "X" ON CONCRETE
- No. 4 REBAR WITH YELLOW PLASTIC CAP (ILLEGIBLE)

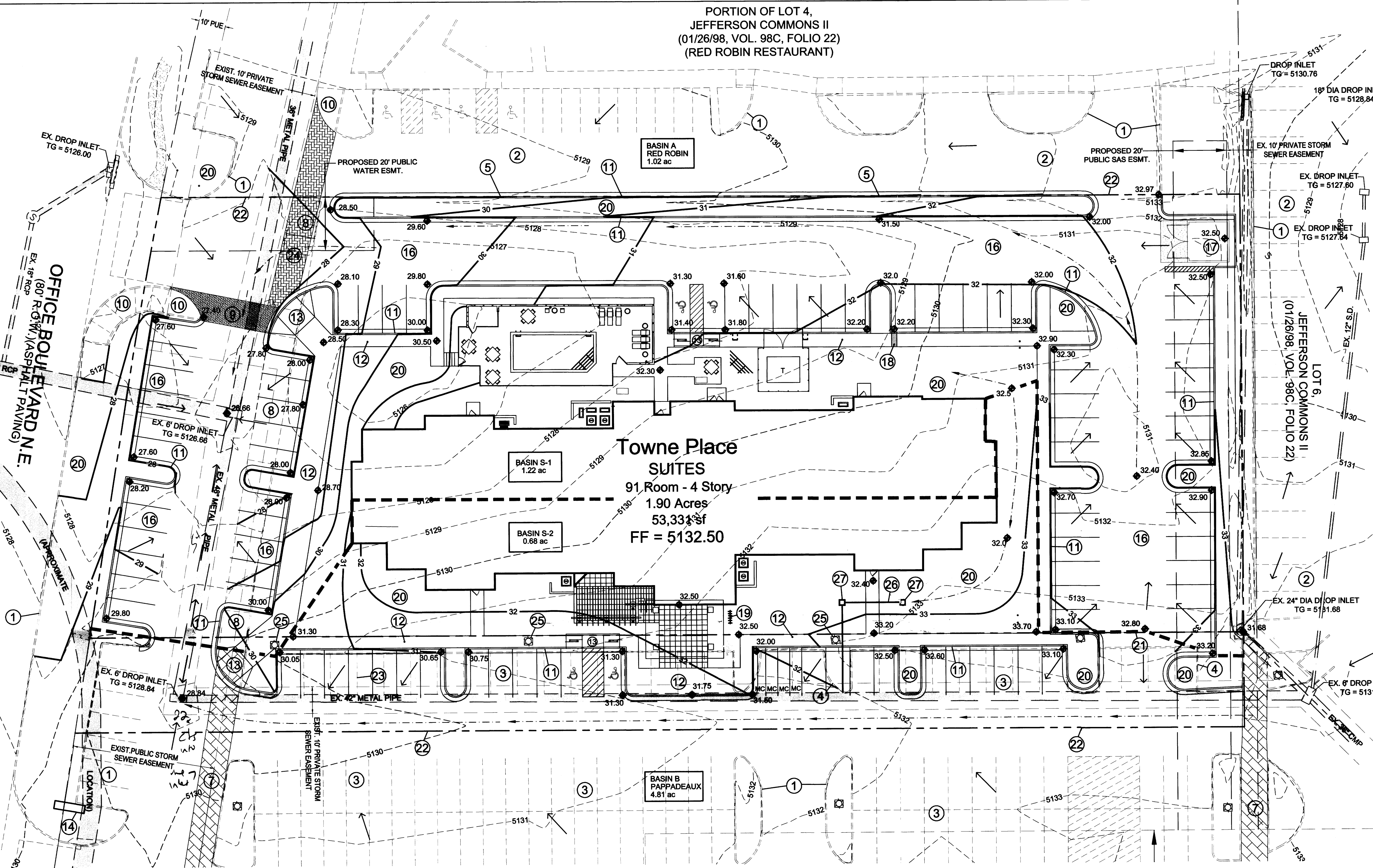


NEW EASEMENTS BY THIS PLAT



PLAT OF
**LOTS 3-A, 4-A & 4-B,
JEFFERSON COMMONS II**
BEING A REPLAT OF
LOTS 3 & 4
JEFFERSON COMMONS II
ELENA GALLEGOS GRANT,
PROJECTED SECTION 35, T.11N., R.3E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2011





CONCEPTUAL GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

THIS CONCEPTUAL GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 91 ROOM TOWNEPLACE SUITES HOTEL AND RELATED IMPROVEMENTS FOR JW MARRIOTT. PROPOSED SITE IMPROVEMENTS TO SUPPORT THE PROJECT INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS. THIS PLAN IS PRESENTED TO ILLUSTRATE CONCEPTUAL GRADING AND DRAINAGE CRITERIA IN SUPPORT OF A SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

DRAINAGE MASTER PLAN

THE DRAINAGE CRITERIA FOR THIS SITE WAS ESTABLISHED BY THE JEFFERSON COMMONS II DRAINAGE REPORT, PREPARED BY C.L. WEISS ENGINEERING, NOV 1997. THE DMP IMPROVEMENTS INCLUDED PRIVATE INTERNAL SOTEM SEWER SYSTEM DESIGNED TO ACCEPT FULLY DEVELOPED FLOWS FROM THE MASTERPLAN AREA. FREE DISCHARGE WAS FACILITATED BY THE EXISTING STORM DRAINAGE SYSTEM AND CBC THAT SERVES THE JEFFERSON COMMONS II INTERCHANGE AND SURROUNDING PROPERTIES. THE DRAINAGE SYSTEM CULMINATES IN A 8X12' CBC THAT DISCHARGES TO THE VINEYARD CHANNEL, A TRIBUTARY TO THE NORTH DIVERSION CHANNEL. THE PROJECT SITE IS PROGRAMMED TO DRAIN TO THE PRIVATE INTERNAL STORM SEWER SYSTEM.

EXISTING CONDITIONS

THE SITE IS A PORTION OF LOT 4, JEFFERSON COMMONS II. AN EXISTING RED ROBIN RESTAURANT IS LOCATION ON THE NORTHWESTERN PORTION OF THE PROPERTY. THE SITE IS PRESENTLY UNDEVELOPED WITH THE EXCEPTION OF THE EXISTING PRIVATE STORM SEWER SYSTEM AND THE PAVED FRONTAGE ROAD ALONG OFFICE BLVD. ALL ONSITE FLOWS DRAIN SOUTH TO THE EXISTING AREA DRAINS. OFF-SITE FLOWS ARE ALL MANAGED BY THE PRIVATE STORM SEWER SYSTEM AROUND THE SITE PERIMETER. NO OFF-SITE FLOWS ENTER THE SITE.

AS SHOWN BY THE ATTACHED FIRM PANEL, THIS PROPERTY IS LOCATED WITHIN A DESIGNATED ZONE 'X' (500 YEAR) FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

IN ACCORDANCE WITH THE DMP, ALL SITE FLOWS WILL DRAIN TO THE EXISTING PRIVATE STORM SEWER AND AREA DRAINS LOCATED AT THE SOUTHERN END OF THE SITE. A PLATTING PROPOSAL WILL ADJUST THE EXISTING PROPERTY LINES TO CREATE A PARCEL FOR RED ROBIN, AND RECONFIGURE THE HOTEL SITE. DUE TO THE LOT LINE ADJUSTMENTS, A PORTION OF THE RED ROBIN SITE WILL DRAIN ONTO THE PROJECT SITE TO AN EXISTING AREA DRAIN. THE EAST LOT LINE ADJUSTMENT PLACES THE PAPPADEAUX'S AREA DRAIN (LOT 3) ON THE SUBJECT SITE. PRIVATE STORM DRAINAGE EASEMENTS EXIST FOR THE EXISTING PRIVATE STORM SEWER. ADDITION EASEMENTS WILL BE GRANTED FOR SURFACE FLOWS.

PROJECT HYDROLOGY								
AHYMO								
ZONE:	2							
P ₂ HOUR	2.35							
P ₁₀ DAY	3.95							
EXISTING CONDITIONS								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	1.90	0.00	0.14	0.28	1.48	1.88	8.1	0.032
A	1.02	0.00	0.07	0.09	0.87	1.95	4.5	0.166
B	4.81	0.00	0.36	0.36	4.09	1.95	21.2	0.782
DEVELOPED CONDITIONS								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	1.90	0.00	0.14	0.28	1.48	1.88	8.1	0.032
S-1	1.22	0.00	0.09	0.18	0.95	1.88	5.2	0.021
S-2	0.68	0.00	0.05	0.10	0.53	1.88	2.9	0.011
A	1.02	0.00	0.07	0.09	0.87	1.95	4.5	0.166
B	4.81	0.00	0.36	0.36	4.09	1.95	21.2	0.782

KEYED NOTES

- EXISTING CONCRETE CURB TO REMAIN
- EXISTING ASPHALT TO REMAIN
- EXISTING CONCRETE PAVEMENT TO REMAIN
- REMOVE AND DISPOSE EXISTING CONCRETE CURB
- REMOVE AND DISPOSE EXISTING TEMP AC CURB
- REMOVE AND DISPOSE EXISTING BRICK PEDESTRIAN WALK
- EXISTING BRICK PEDESTRIAN WALK TO REMAIN
- REMOVE AND DISPOSE EXISTING SIDEWALK AND HC RAMPS
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING HC RAMP TO REMAIN
- NEW 6" CONCRETE CURB
- NEW CONCRETE SIDEWALK
- NEW HANDICAP RAMP
- PROPOSED MONUMENT SIGN
- NEW PARKING LOT LIGHT. SEE SHEET 7.
- NEW ASPHALT PAVING
- NEW REFUSE ENCLOSURE. SEE SHEET 7
- SIDEWALK CULVERT
- BICYCLE RACK
- LANDSCAPE AREA
- LOT LINE TO BE ELIMINATED
- PROPOSED LINE LINE
- EX. PARKING TO BE RE-STRIPED
- NEW PEDESTRIAN WAY
- REMOVE AND DISPOSE EXIST. LIGHT POLE
- NEW 18" SD
- NEW AREA DRAIN. TG 31.50

PROJECT DATA

LEGAL DESCRIPTION:
Lot 4, Jefferson Commons II

PROPERTY ADDRESS:
5531 Office Boulevard NE
Albuquerque, New Mexico 87109

SURVEY:
Topographic Mapping prepared by Brasher & Lorenz, Inc. December 2010.
Lenore Armijo, NMPS 15511

SITE AREA:
1.90 Acres (82,764 Square Feet)

PROJECT BENCHMARK:
ACS Control Station "I-25-18"
Elevation 5128.340 feet
NMSP Central Zone
NAD 83, NAVD 88

DRAWING LEGEND	EXISTING	PROPOSED
RETAINING WALL	-----	-----
DRAINAGE BASIN	-----	-----
DIVIDE	-----	-----
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	X 16.7	X 87.26
CURB	-----	-----
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.3	TC 99.31
CONTOUR	5166	66
SWALE	-----	-----
DIRECTION OF FLOW	----->	----->
WATER BLOCK	-----	-----
STORM SEWER	36"SD	24" SD
DROP INLET	-----	-----
RIGHT OF WAY	-----	-----
EASEMENT LINE	-----	-----
PROPERTY LINE	-----	-----

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