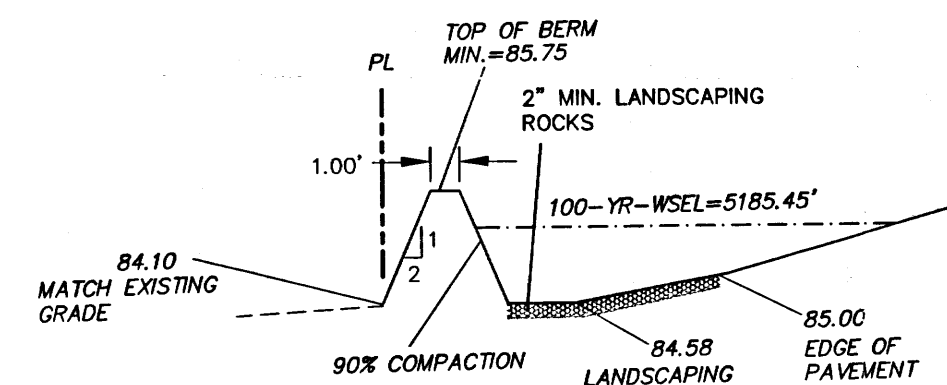


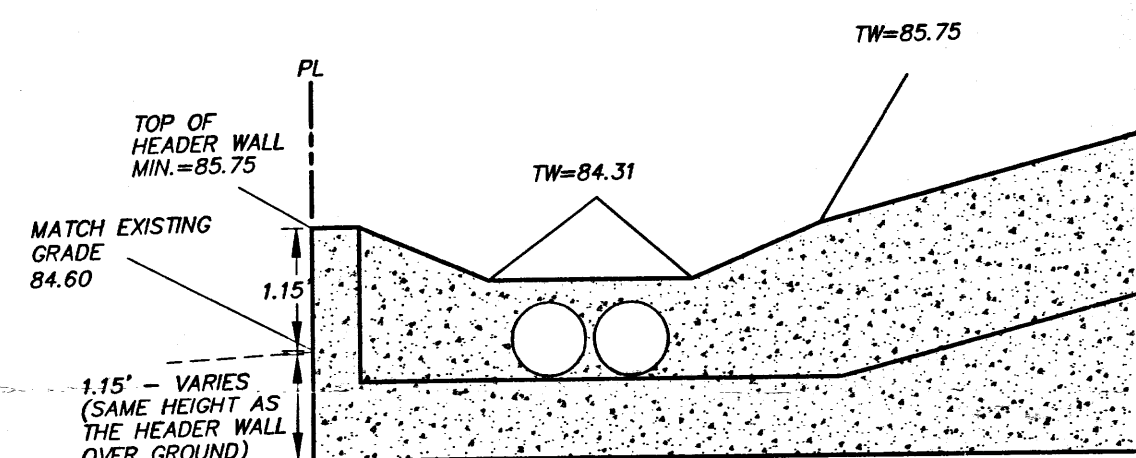
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

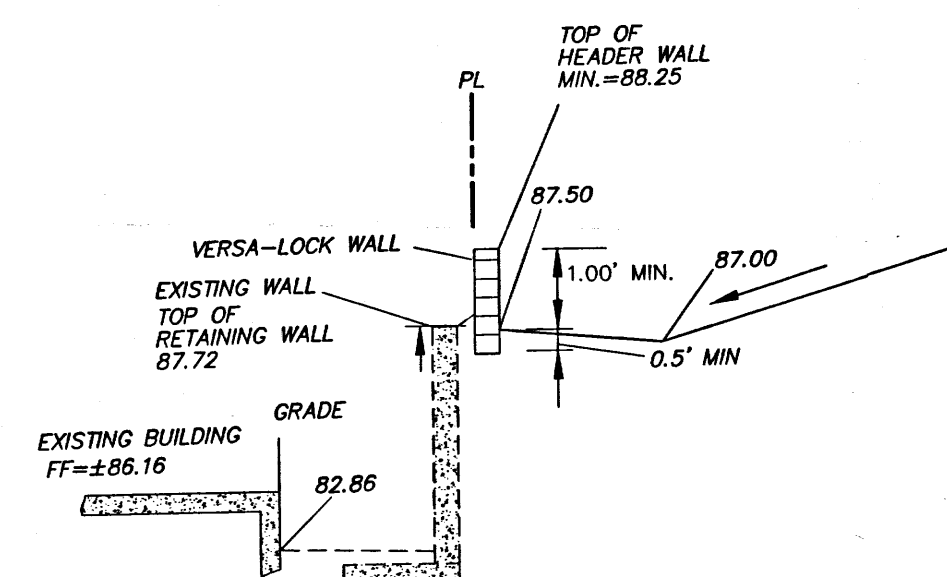
APPROVALS	NAME	DATE
INSPECTOR		



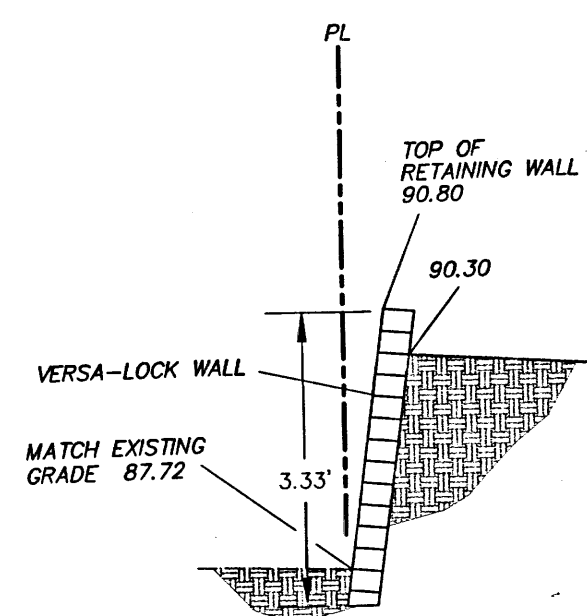
SECTION A-A



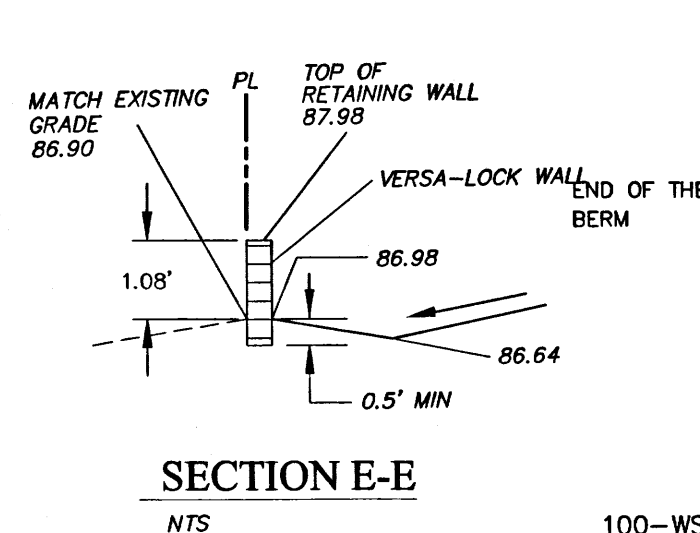
SECTION B-B



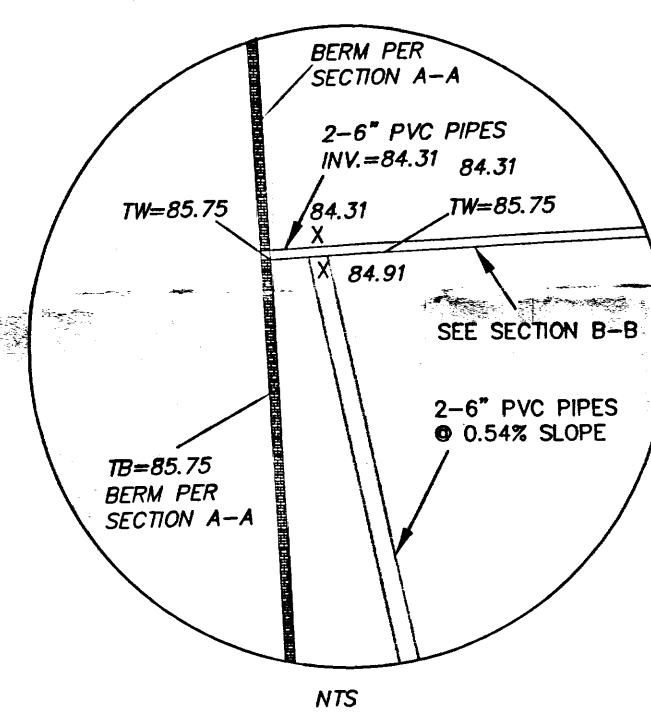
SECTION C-C



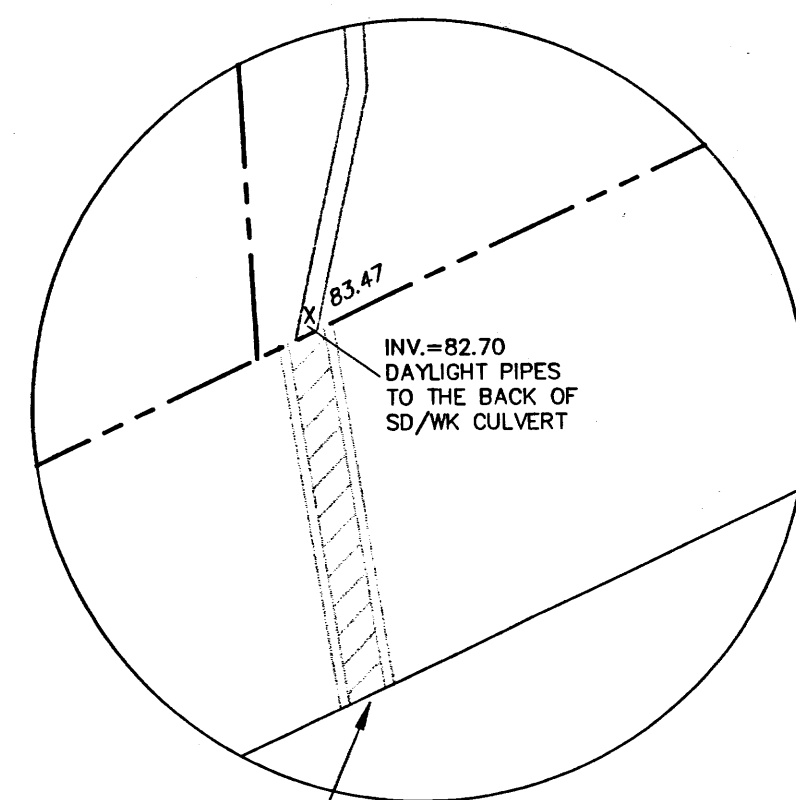
SECTION F-F



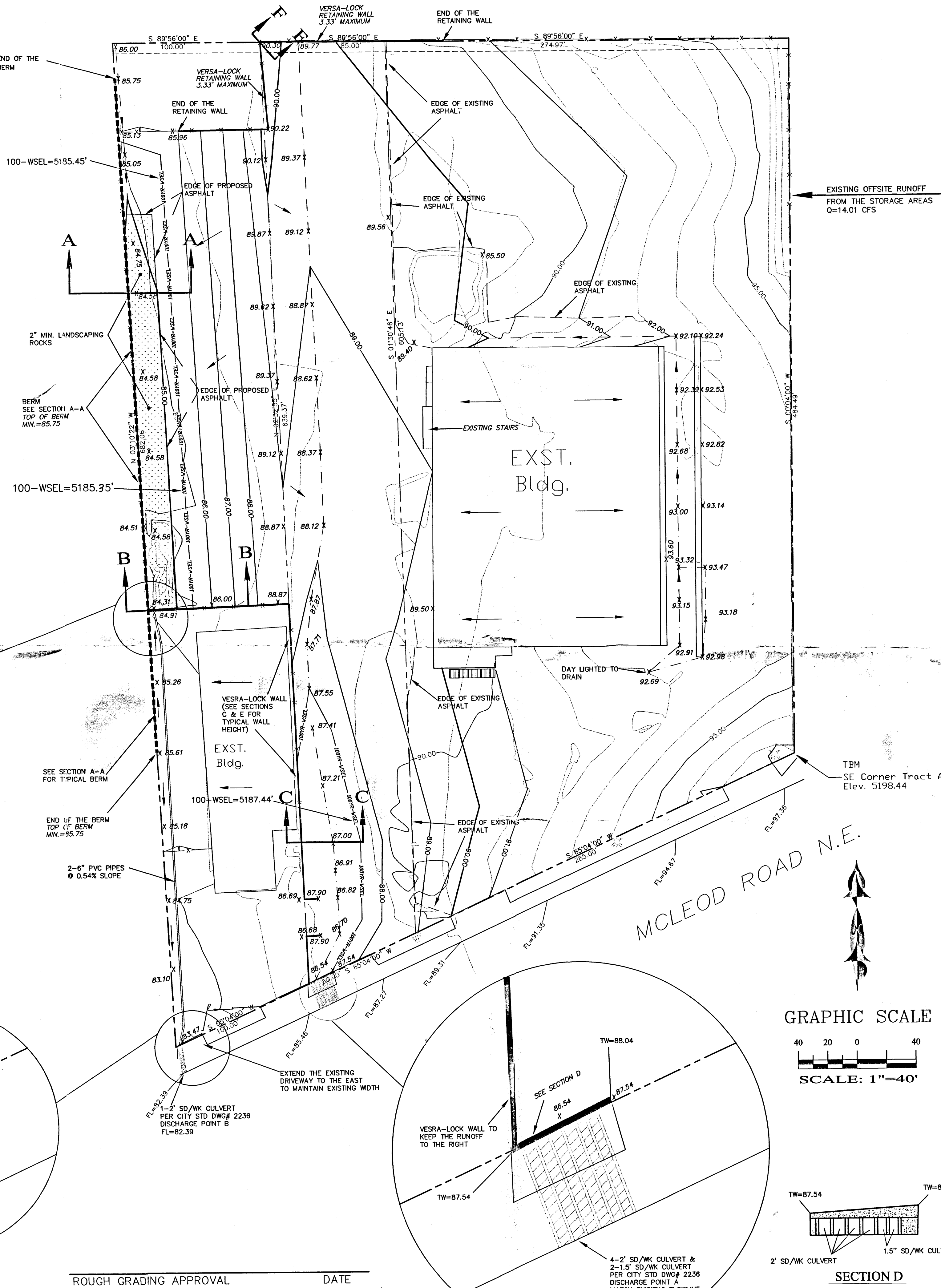
SECTION E-E



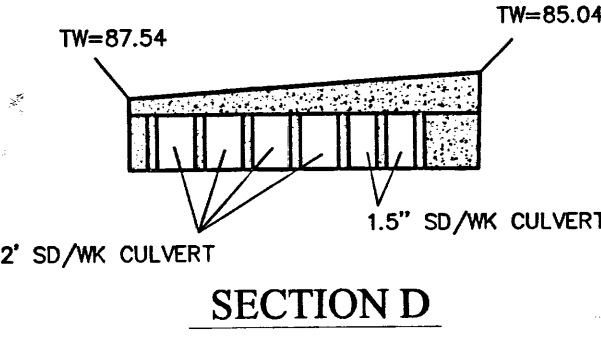
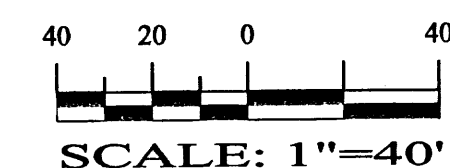
NTS



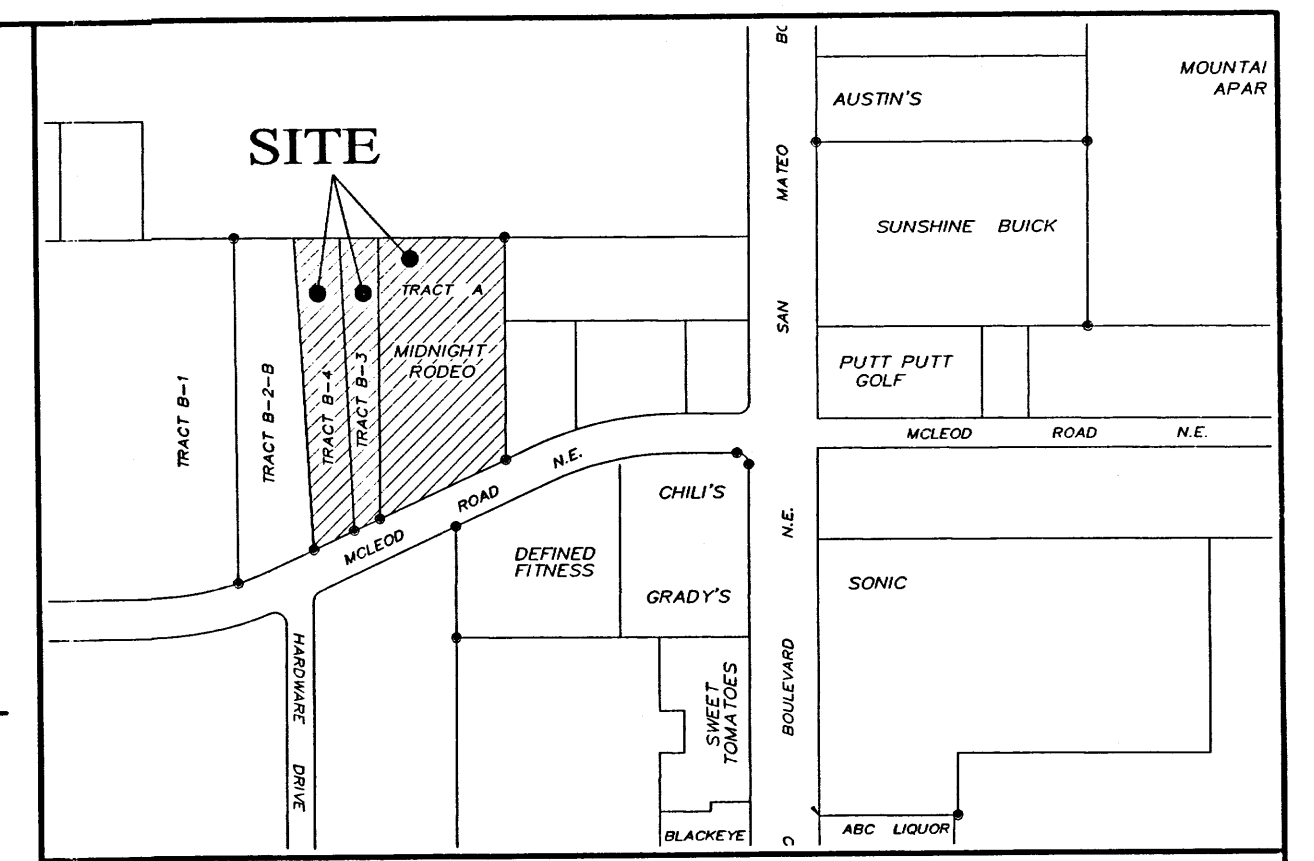
1-2" SD/WK CULVERT PER CITY STD DWG# 2236 DISCHARGE POINT B FL=82.39



GRAPHIC SCALE



SECTION D



VICINITY MAP

F-17-Z

LEGAL DESCRIPTION:

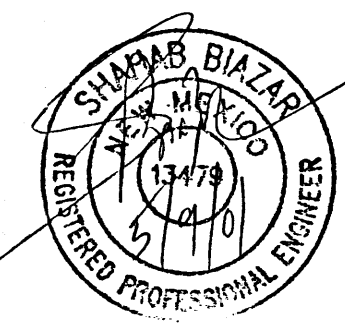
TRACTS A, B-4, B-3, LANDS OF ROAD RUNNER INVESTORS

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX. 8" SAS
- EX. 16" WL
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CURB & GUTTER
- 5005
- 5004
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- 100YR-WSEL
- 100YR-WSEL
- 100-YR WSEL
- TW=
- TB=
- TOP OF WALL
- TOP BERM



SHAHAB BIAZAR
P.E. #13479



ADVANCED
ENGINEERING
and CONSULTING, LLC

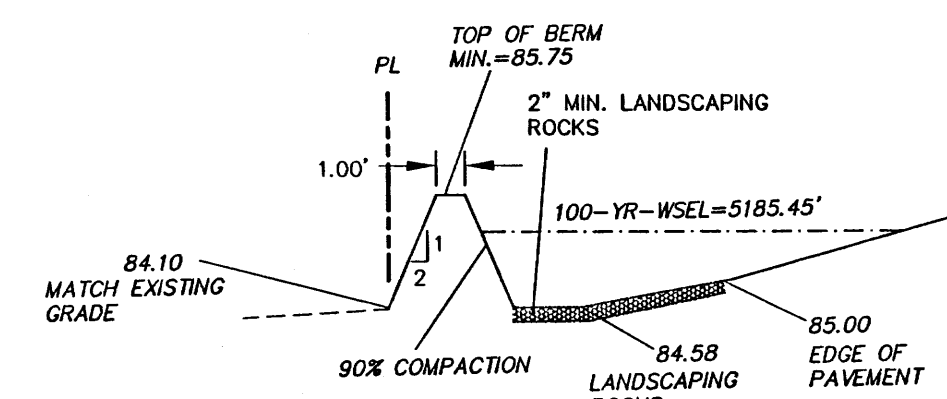
10205 SNOWFLAKE CT. NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

MIDNIGHT RODEO GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
2035-GR.DWG	SBB	01-05-2001	

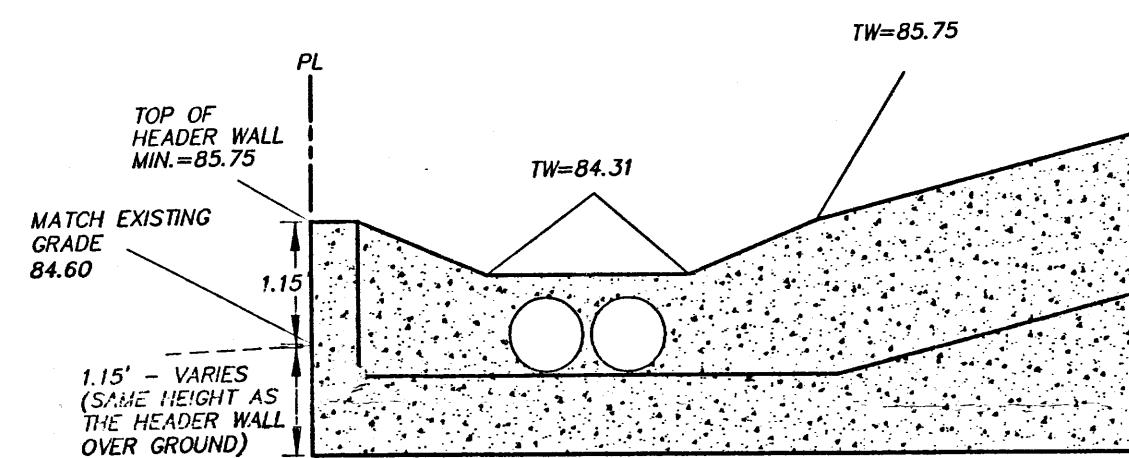
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

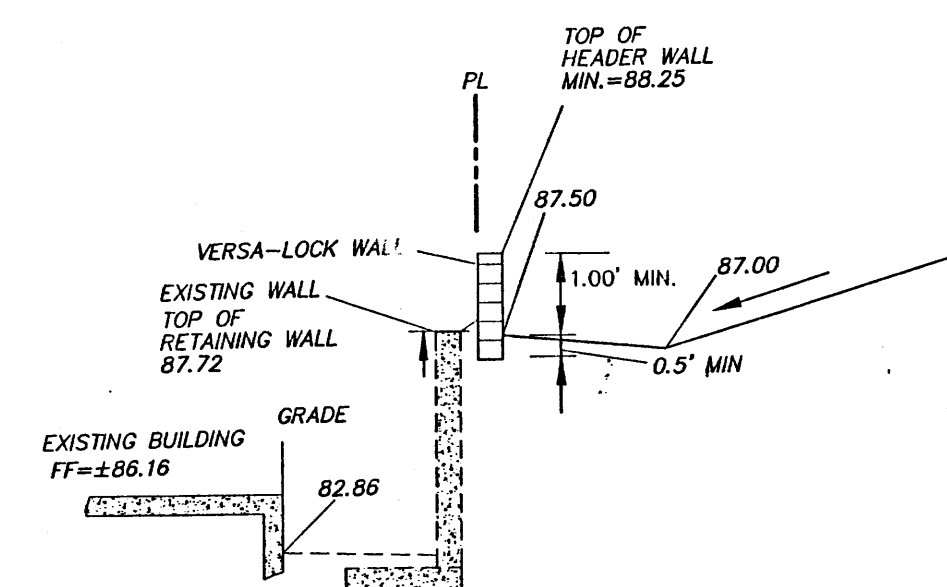
APPROVALS	NAME	DATE
INSPECTOR	COH N. H. Chiu	7/24/01



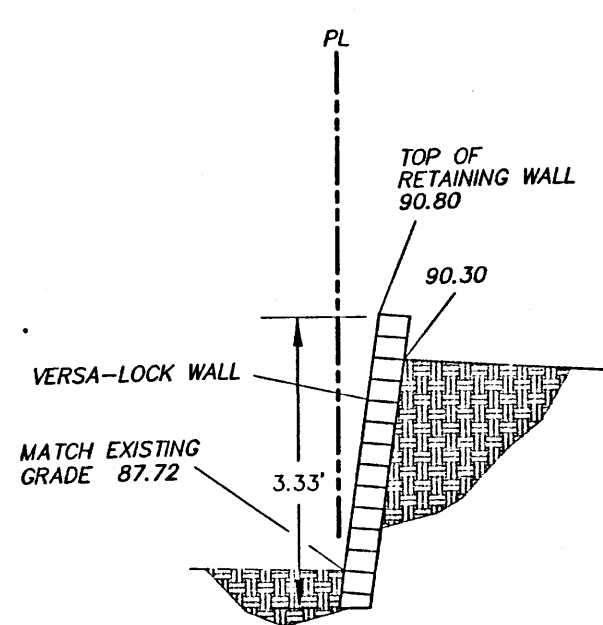
SECTION A-A
NTS



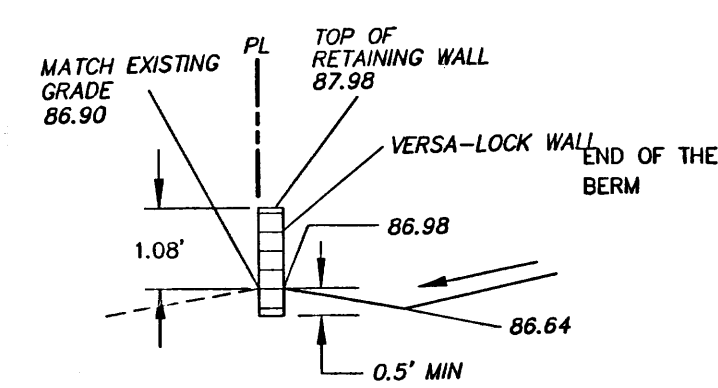
SECTION B-B
NTS



SECTION C-C
NTS

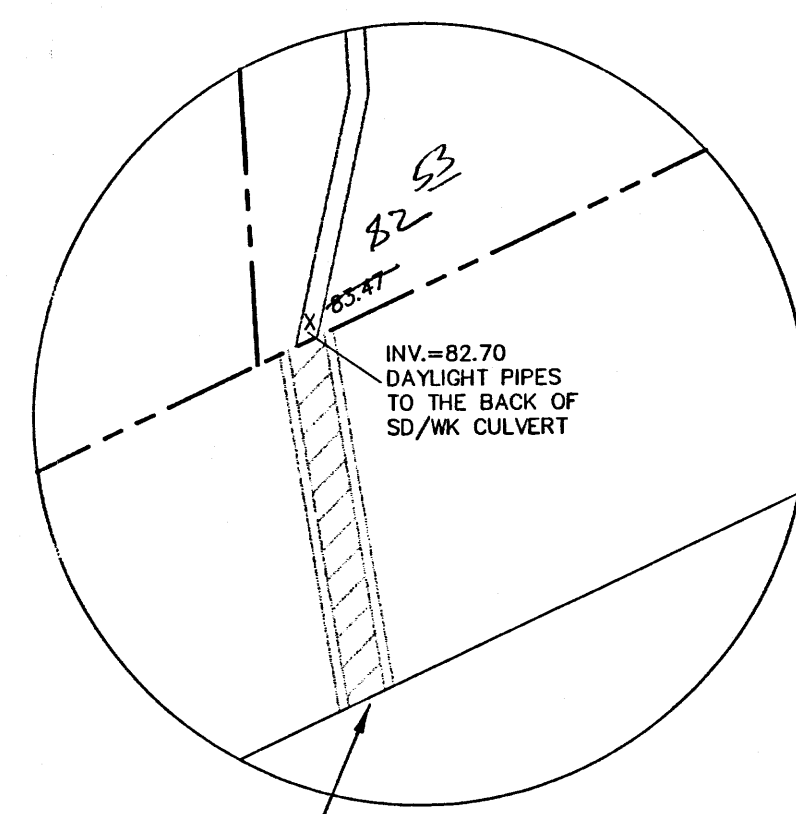


SECTION F-F
NTS

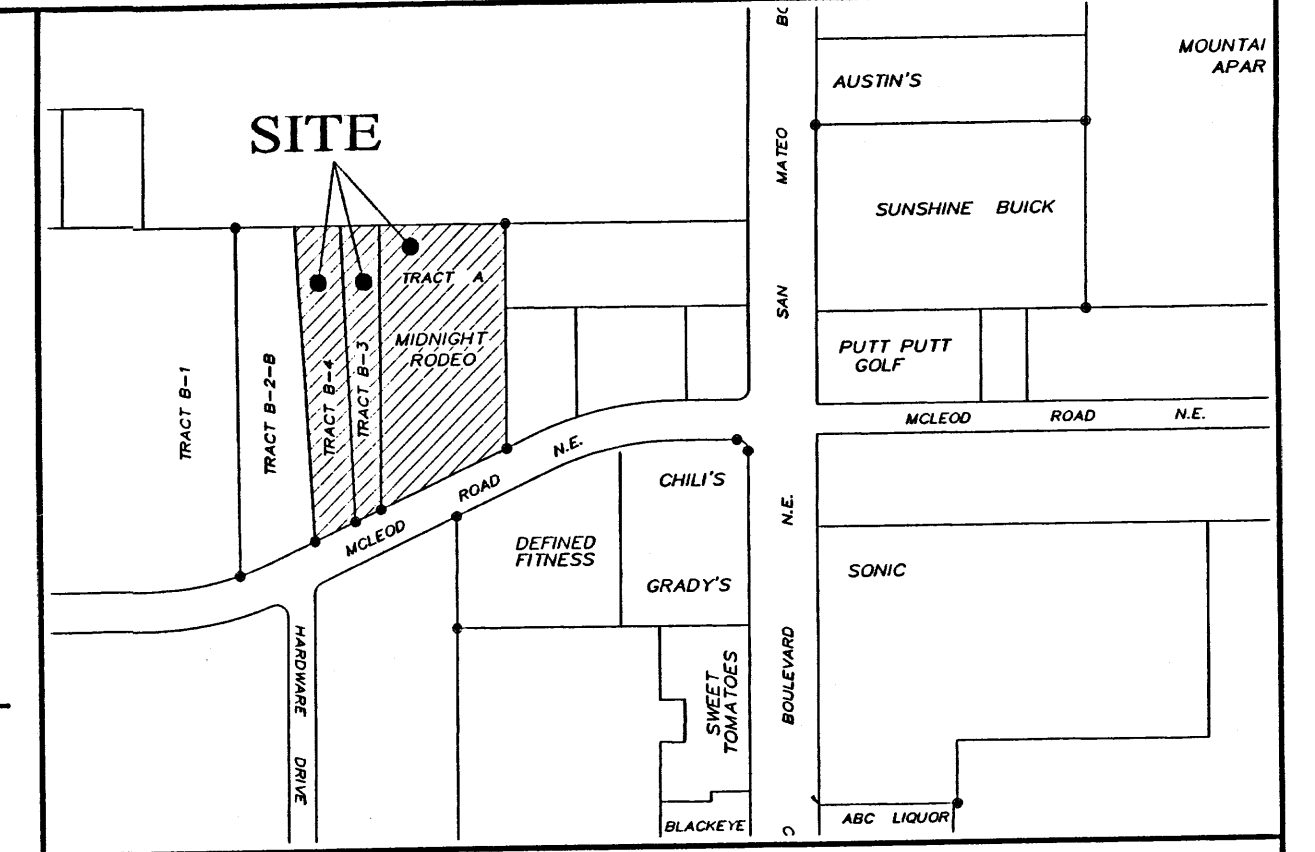
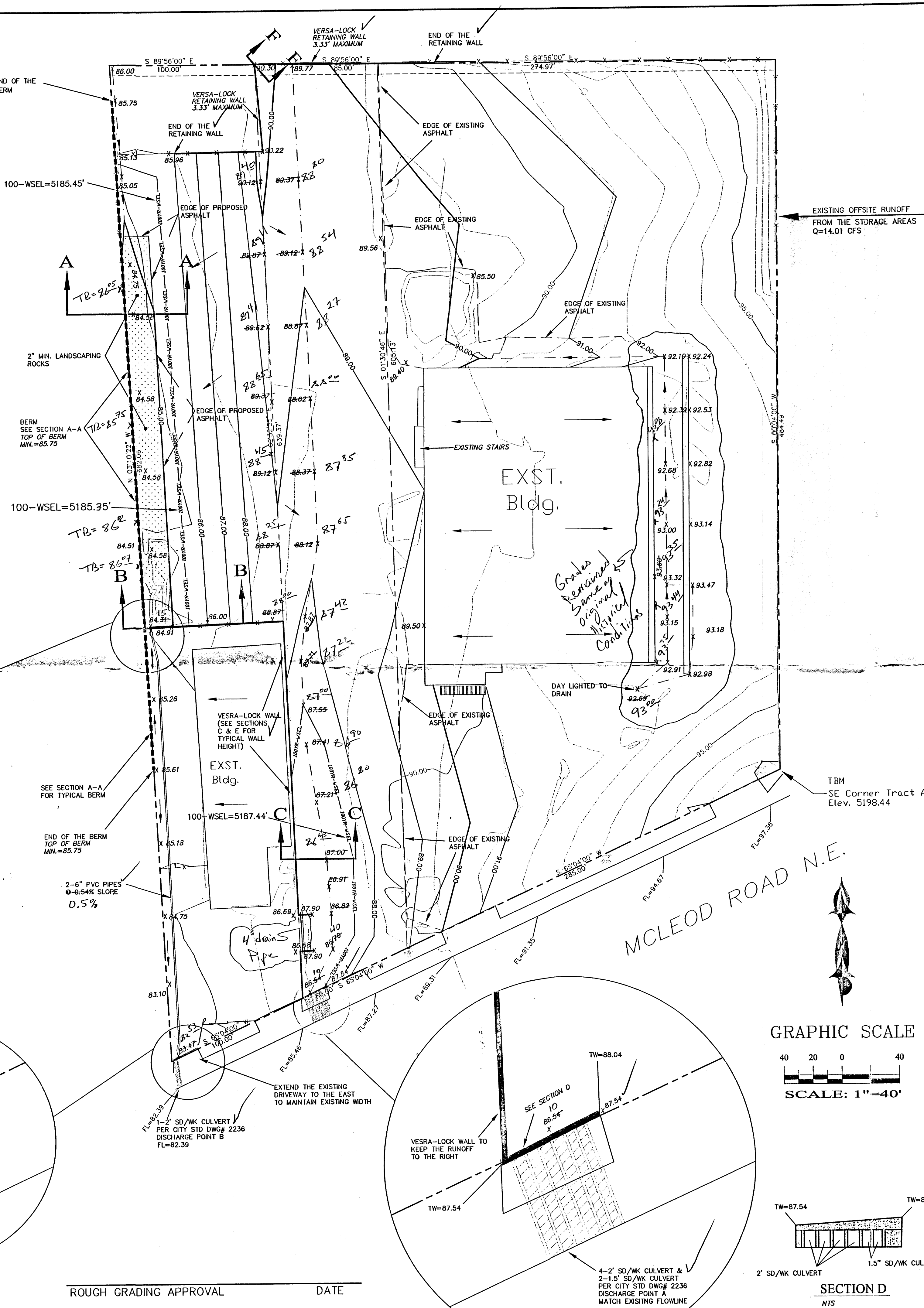


SECTION E-E
NTS

I SHAHAB BIAZAR, A REGISTER ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE APPROVED GRADING PLAN DATED MAY 9, 2001. THE AS-BUILT GRADES WERE PROVIDED BY RIO GRANDE SURVEYING CO., PC ON JULY 5, 2001



SECTION D
NTS



LEGAL DESCRIPTION:
TRACTS A, B-4, B-3, LANDS OF ROAD RUNNER INVESTORS

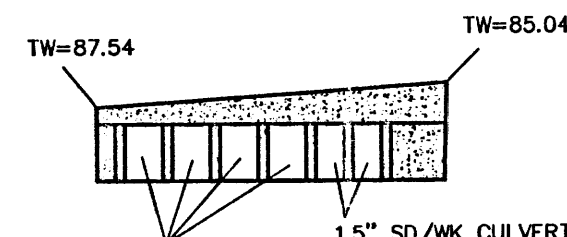
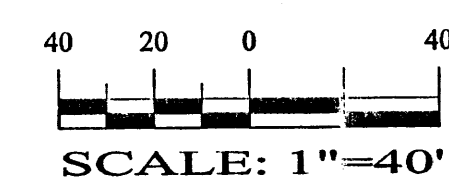
EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

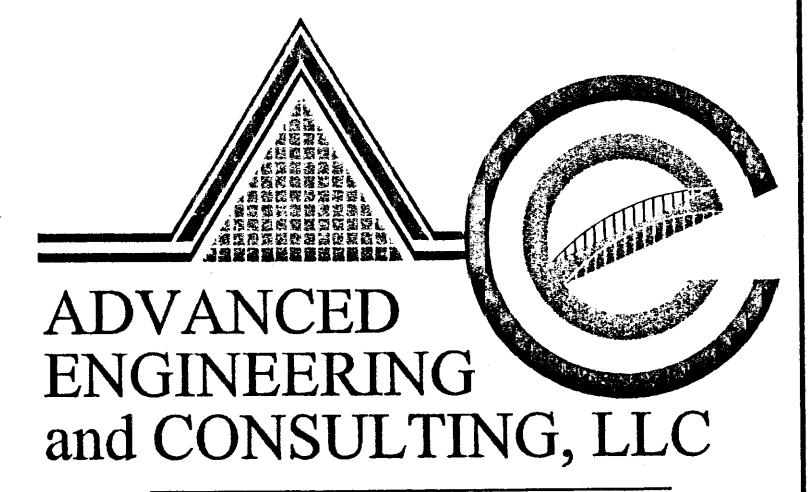
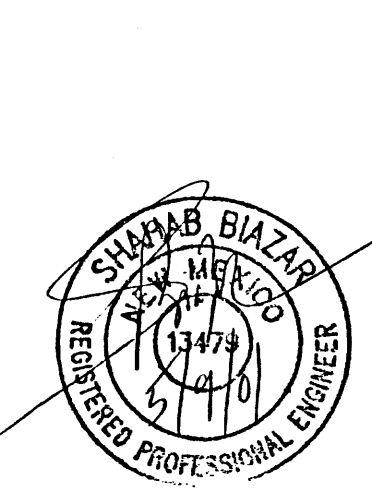
LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX. 8" SAS
- EX. 16" WL
- EXISTING CURB & GUTTER
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- 100-YR WSEL
- 100-YR WSEL
- TOP OF WALL
- TOP BERM

GRAPHIC SCALE



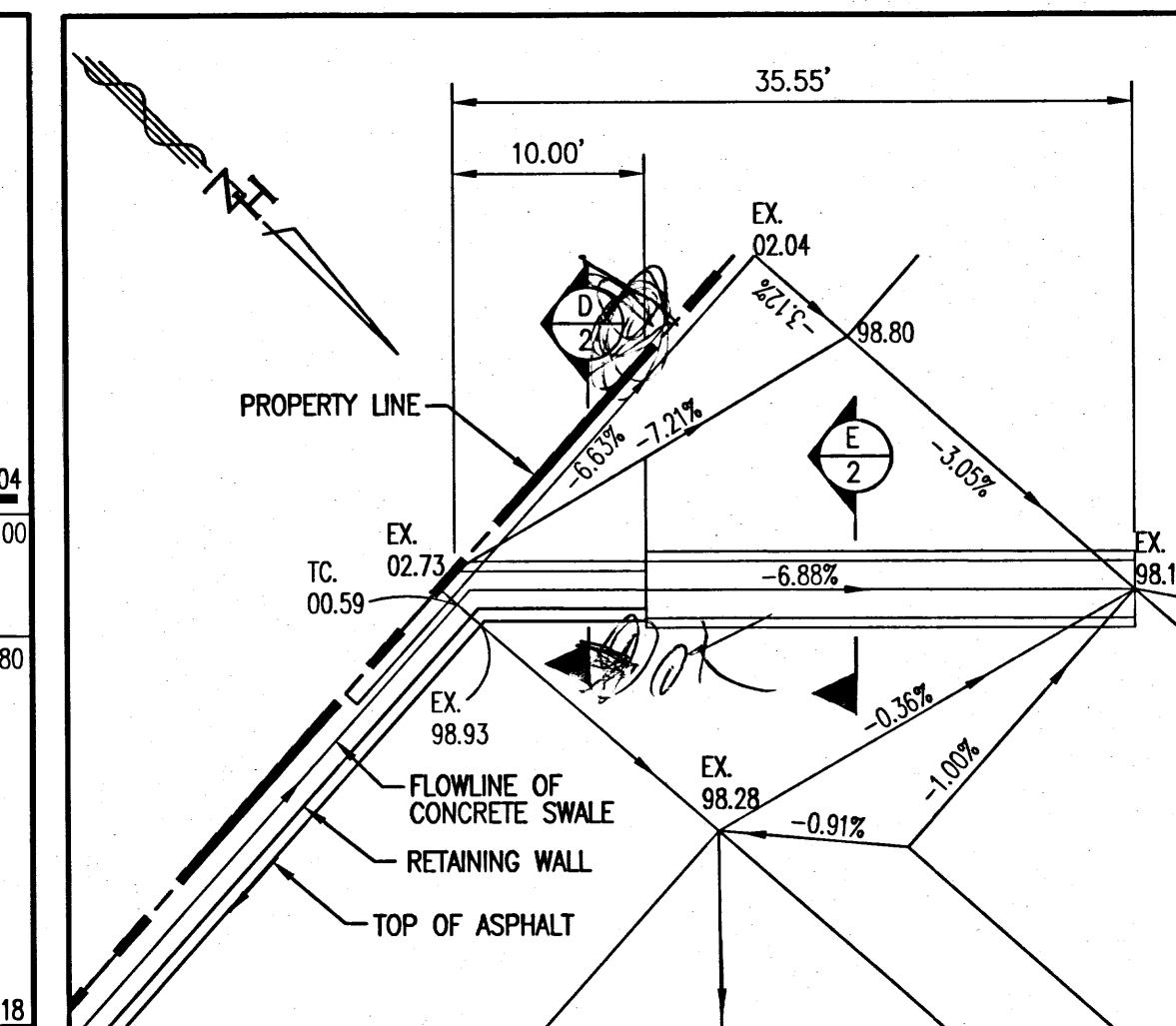
SECTION D
NTS



10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

MIDNIGHT RODEO GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
2035-GR.DWG	SBB	01-05-2001	

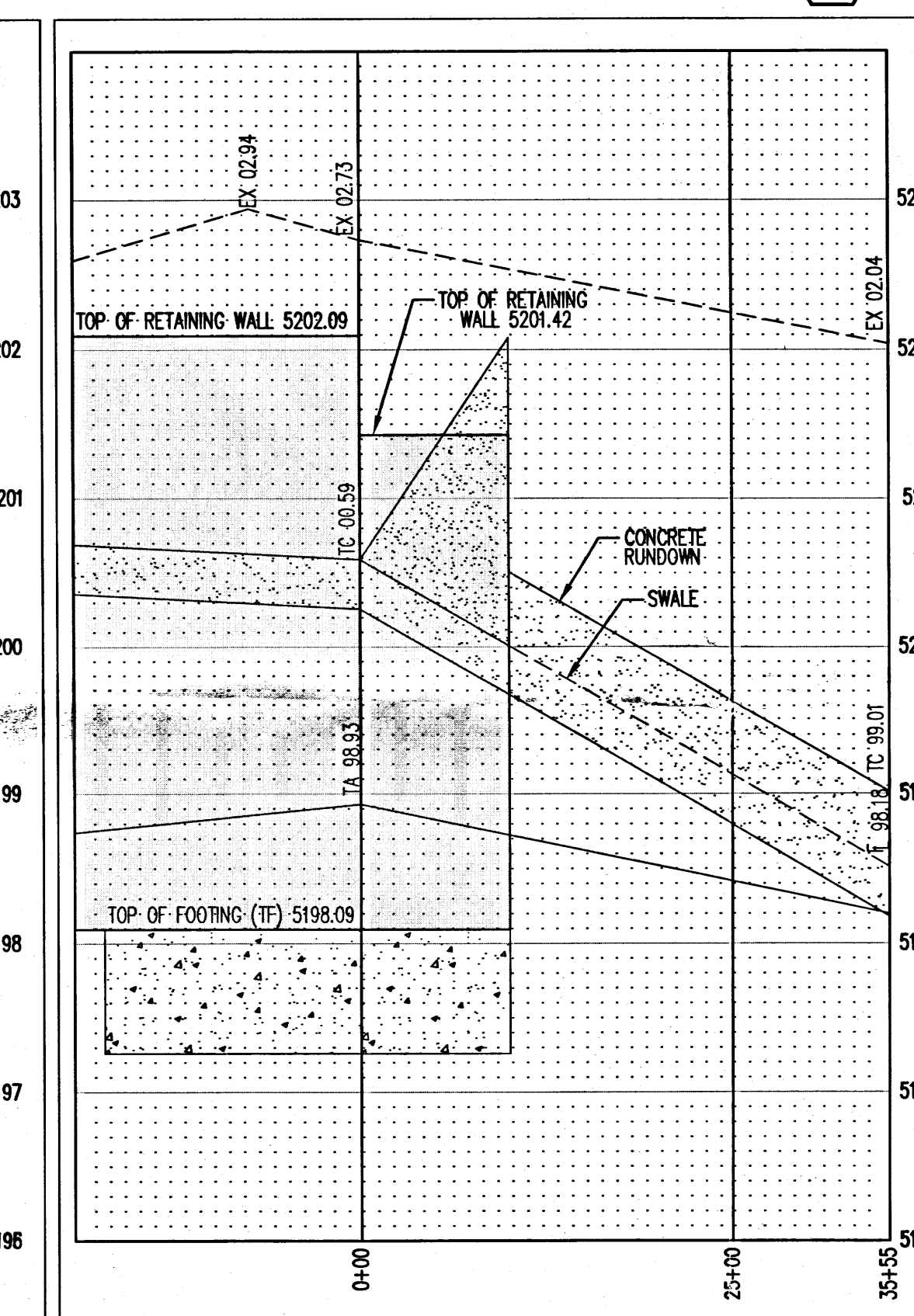
LAST REVISION: 02-26-2001



RETAINING WALL PLAN

SCALE: 1"=10'

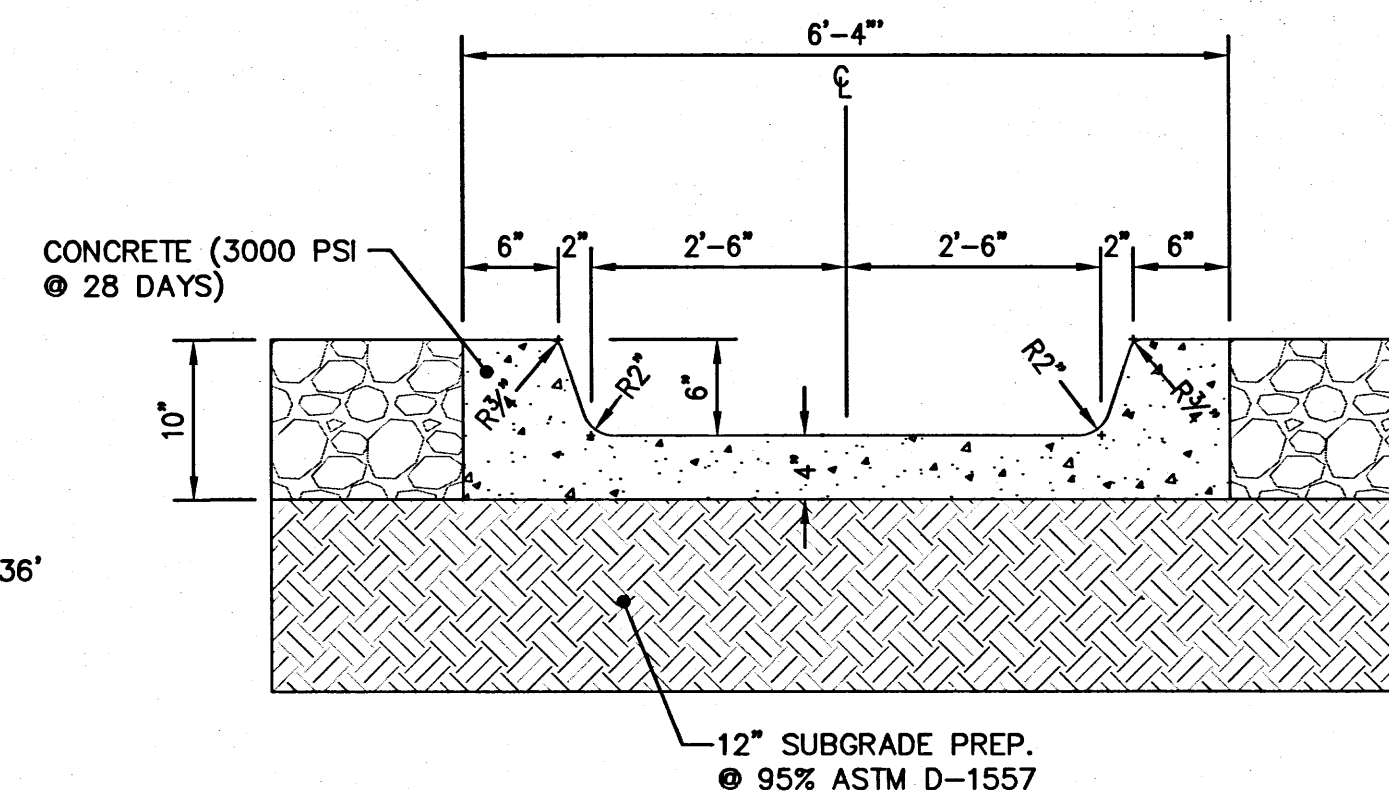
B



RETAINING WALL ELEVATION

SCALE: 1"=10' (HOR.)
SCALE: 1"=1' (VERT.)

B



CONCRETE RUNDOWN

N.T.S.



Designed By:

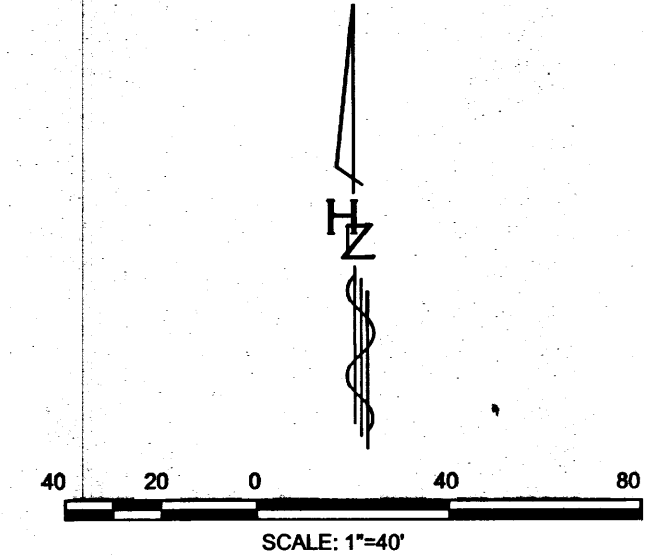
HUITT-ZOLLARS

Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3251

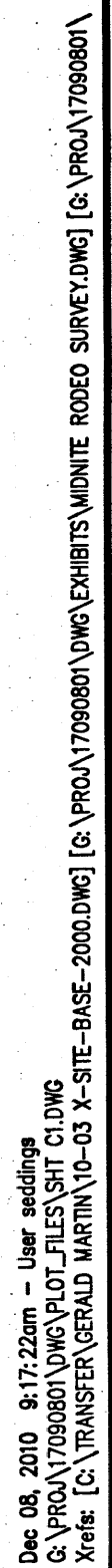
TITLE: RETAINING WALL DETAILS

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.			
City Project No.	6394.83	Zone Map No.	F-17-z	Sheet	C2	Of	2

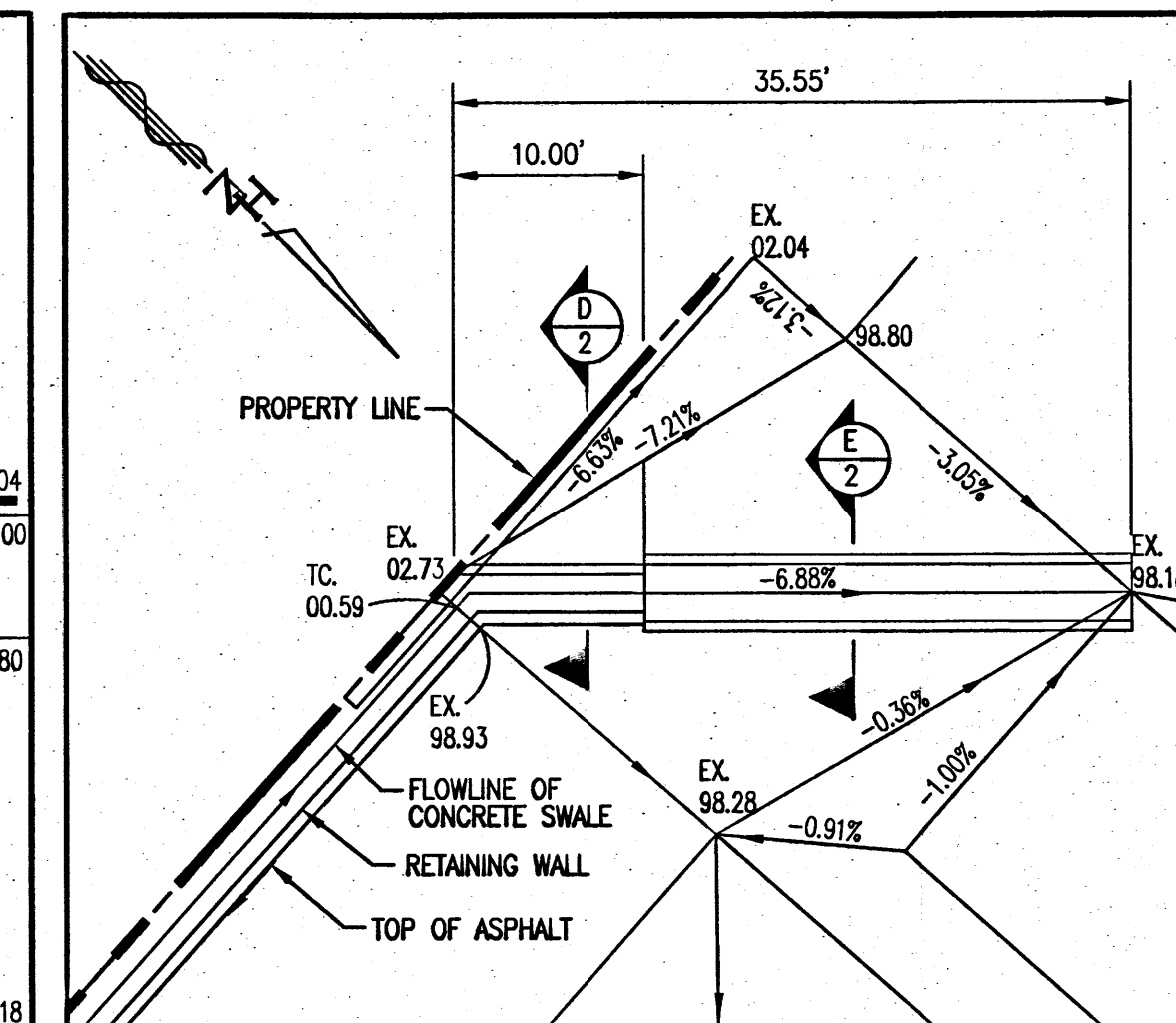
Dec 02, 2010 5:03:07pm - User settings
S:\PROG\17090801\DWG\PILOT FILES\2-2 GRADING.DWG



Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
	DEC 3 2		
	HYDROLOGIC SECTION		
City Project No.	Zone Map No.	Sheet	Of
6394.83	F-17-Z	C1	2



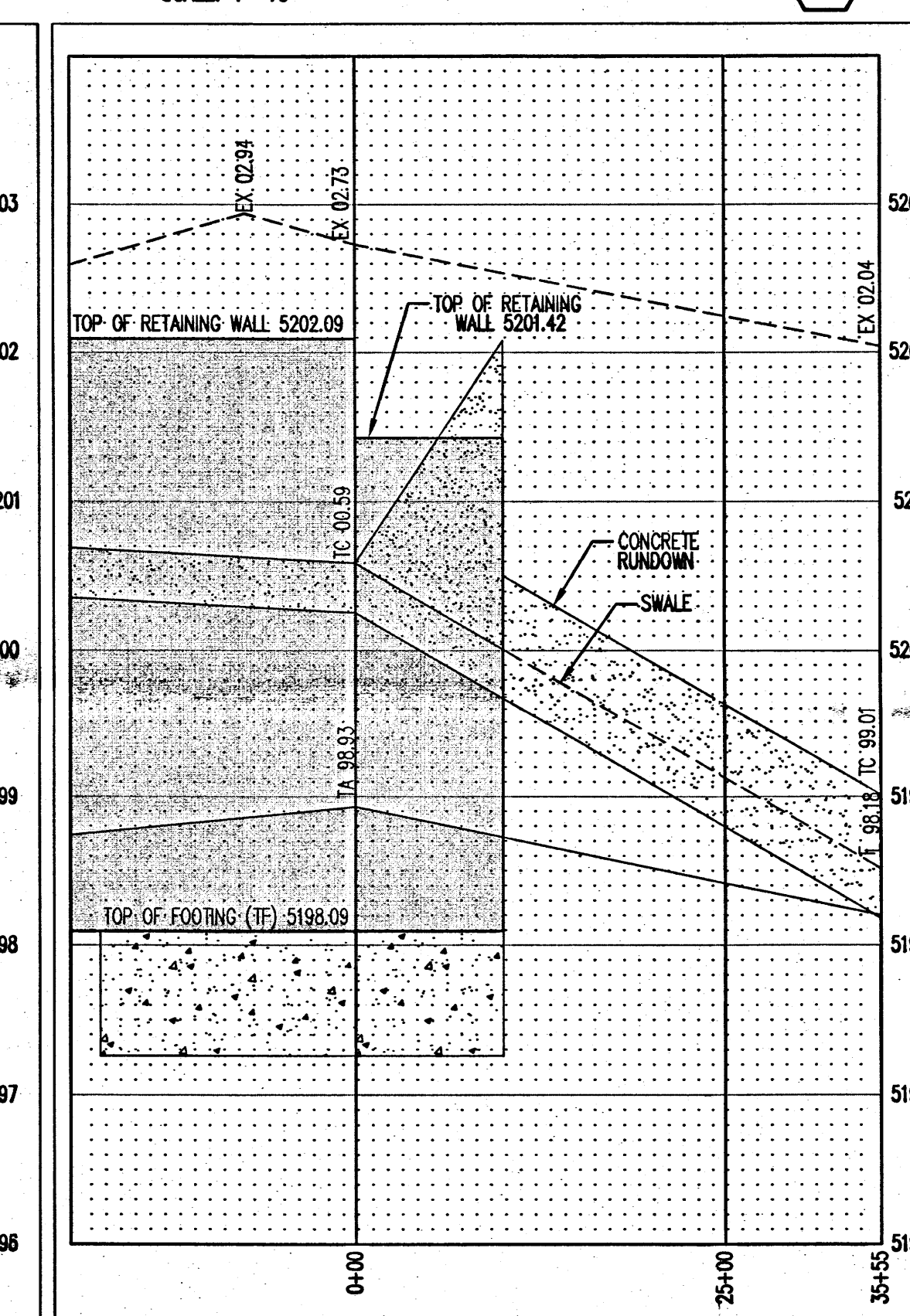
Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
6394.83	F-7-Z	C1	2	



RETAINING WALL PLAN

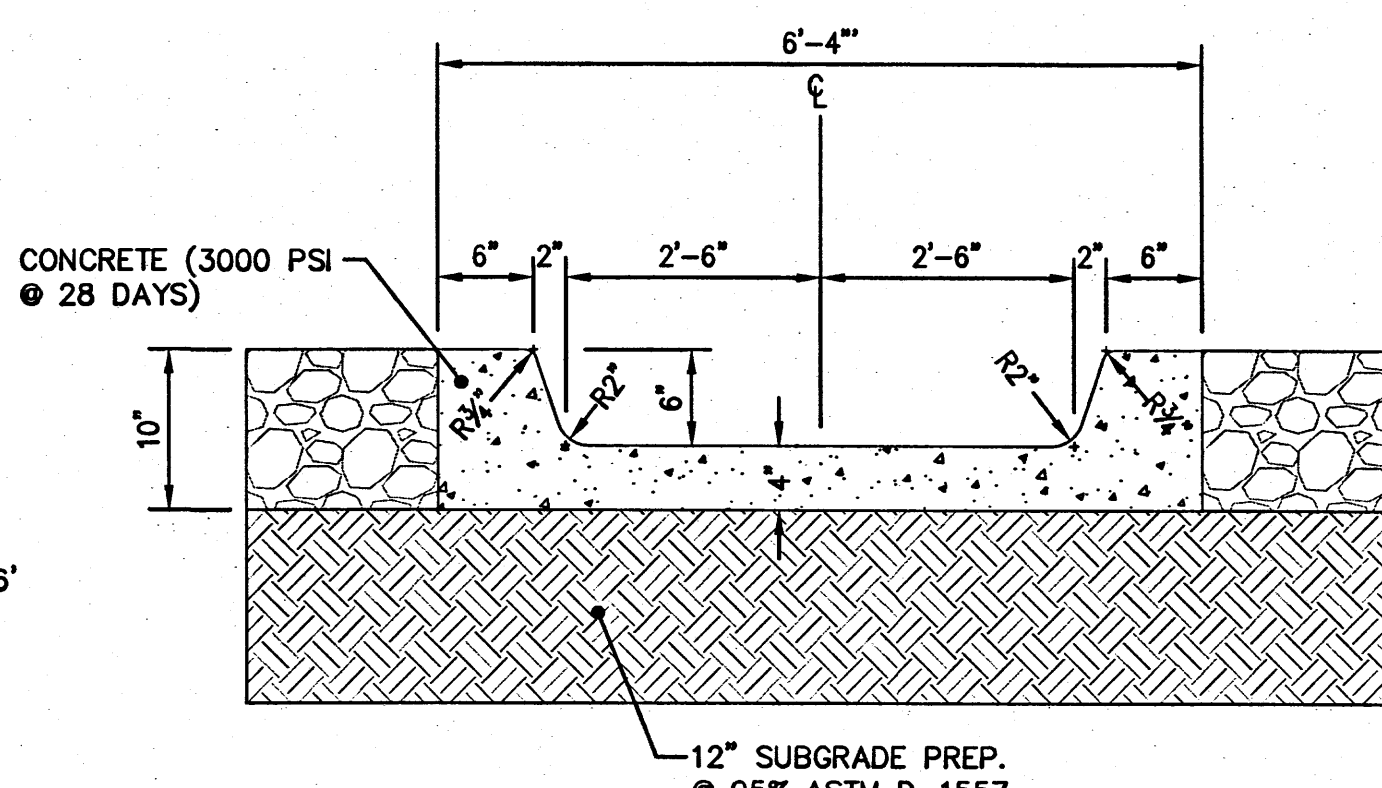
SCALE: 1"=10'

B



RETAINING WALL ELEVATION

SCALE: 1"=10' (HORZ.)
SCALE: 1"=1' (VERT.)



CONCRETE RUNDOWN

N.T.S.

Designed By:

HUITT-ZOLLARS

Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

RETAINING WALL DETAILS

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
6394.83	F-17-Z	C2	2	

PROJECT DATA

PROJECT TITLE: GERALD A. MARTIN, LTD. SHOP BUILDING

CITY ADDRESS: 4901 MCLEOD RD. NE

LEGAL DESCRIPTION: LOTS A & B-4, LANDS OF ROADRUNNER INVESTORS, BERNALILLO COUNTY, NEW MEXICO

ZONE ATLAS PAGE: F-17

OWNER
GERALD A. MARTIN, LTD
PO BOX 23084
SANTA FE, NM 87502
(505) 983-3400
(505) 983-3402 FAX

ARCHITECT
JUDSON CERVENAK ARCHITECTS
PO BOX 23084
SANTA FE, NM 87502
(505) 983-3400
(505) 983-3402 FAX

GENERAL CONTRACTOR
GERALD MARTIN CONSTRUCTION
8501 JEFFERSON ST. NE
ALBUQUERQUE, NM 87113
(505) 828-1144
(505) 828-4947 FAX

PROJECT SUMMARY

A. PLANNING HISTORY

THE PROPOSED PROJECT IS A STAND-ALONE DEVELOPMENT, NOT SUBJECT TO A MASTER PLAN, SECTOR DEVELOPMENT PLAN. THE PROPERTY PREVIOUSLY CONTAINED A SINGLE STORY, PRECAST CONCRETE BUILDING WITH THE REMAINDER OF THE SITE ASPHALT PARKING. THE PREVIOUS BUILDING WAS DEMOLISHED IN 2010 UNDER SEPARATE DEMOLITION PERMIT. CONCURRENT WITH THIS PROPOSED DEVELOPMENT, A PUBLIC UTILITY AND RIGHT-OF-WAY CORRELATION SUBMITTAL IS BEING REVIEWED THROUGH DRC. THE CITY PROJECT NUMBER IS 6394.83. THAT PROPOSAL WILL GOVERN ALL WORK WITHIN THE RIGHT-OF-WAY. ON-SITE TRANSPORTATION IMPROVEMENTS DEPICTED IN THESE PLANS CONNECT DIRECTLY TO THE PUBLIC WORK ORDER IMPROVEMENTS.

A DRAINAGE SUBMITTAL FOR THIS PROJECT HAS BEEN PREVIOUSLY SUBMITTED AND APPROVED. THE CITY PROJECT NUMBER IS 6394.83.

B. DESCRIPTION

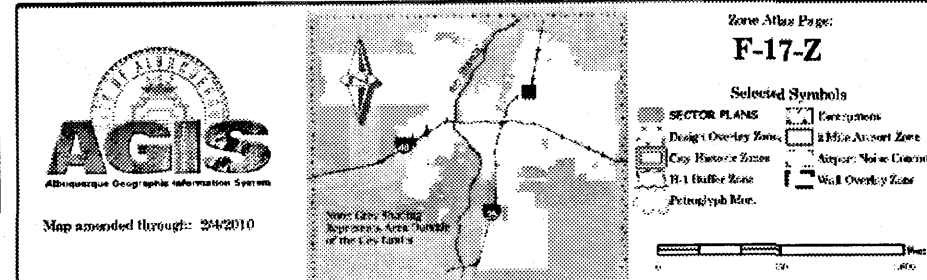
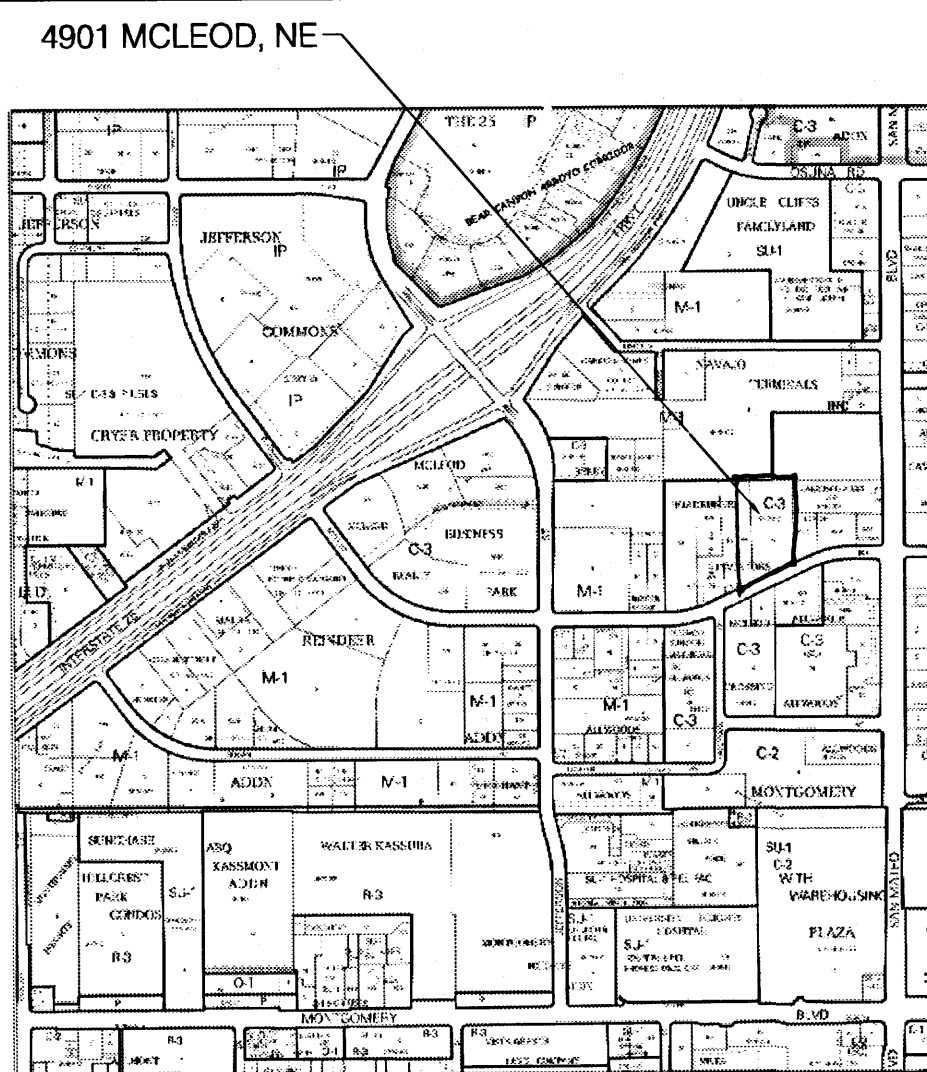
THE IMPROVEMENTS PROPOSED IN THIS SUBMITTAL COMPRISE PHASE 1 OF A MULTI-PHASE OFFICE PARK DEVELOPMENT. PHASE 1 CONSISTS OF A SHOP BUILDING AND RELATED PARKING AND SITE IMPROVEMENTS, INCLUDING PARKING FOR A PHASE 1B OFFICE BUILDING, TO BE LOCATED AT THE SOUTHEAST CORNER OF THE SITE. A PHASE 1B BUILDING PERMIT SUBMITTAL WILL FOLLOW THIS SUBMITTAL IN THE SPRING OF 2011. PHASE 2 COMPRISES THE WEST HALF OF THE PROPERTY, TO BE DEVELOPED IN THE FUTURE. PHASE 2 IS ANTICIPATED TO BE 2-3 SMALL OFFICE BUILDINGS AND ASSOCIATED PARKING AND SITE IMPROVEMENTS, CONSISTENT WITH THE CHARACTER OF PHASE 1 AND 1B.

PROPERTY DESCRIPTION, SITE AND PARKING RELATED DATA AND CALCULATIONS ARE INCLUDED IN THESE DRAWINGS. NO VARIANCES ARE REQUIRED FOR THE PROPOSED IMPROVEMENTS.

ALL IMPROVEMENTS PROPOSED ARE WITHIN THE SUBJECT PROPERTY AND ADJACENT RIGHT-OF-WAY. NO CROSS-ACCESS EASEMENTS EXIST WITH ADJACENT PROPERTY.

VICINITY MAP

PG. F-17 NO SCALE



Drainage Easement upon Tr. B-3 (grantor) to benefit Tr. B-4 and Tr. A (grantee) by Doc. #2001-031209 filed March 21, 2001.

TRACT B-3
LANDS OF ROAD RUNNER INVESTORS
Plat C13-130, rcd'd. June 21, 1978

TRACT B-4
LANDS OF ROAD
RUNNER INVESTORS
1.1338 ACRES

PHASE 2 - NOT INCLUDED
IN THIS PERMIT

TRACT A
LANDS OF ROADRUNNER INVESTORS
3.3464 ACRES

PHASE 1b (BLDG & SITE
IMPROVMENTS) - NOT
INCLUDED IN THIS PERMIT

GM OFFICES

GM SHOP

Traffic Circulation Layout

SCALE: 1"=30'

GENERAL NOTES

- A1.1] TYPICAL STANDARD PARKING SPACES SHALL BE 8'-6" W X 18'-0" L
- A1.2] HANDICAP PARKING SPACES SHALL BE 8'-6" W X 18'-0" L W/ 4'-0" W (MIN) ADJACENT ACCESS AISLE (8'-0" WIDE FOR VAN ACCESSIBLE SPACES). SPACES SHALL BE IDENTIFIED WITH ADA/ANSI PAVEMENT MARKING AND POLE OR BUILDING MOUNTED SIGN
- A1.3] TYPICAL SMALL CAR PARKING SPACES SHALL BE 8'-6" W X 16'-0" L
- A1.3] PUBLIC UTILITIES SHALL BE INSTALLED IN RIGHT OF WAY AND CENTRAL ACCESS DRIVE CONCURRENT WITH THE SCOPE OF WORK DESCRIBED IN THESE DRAWINGS. SUCH WORK WILL BE CONSTRUCTED UNDER SEPARATE WORK ORDER.
- A1.4] PREPARE ROUGH GRADING FOR PHASE 1B AREA PER GRADING AND DRAINAGE PLANS. PHASE 1B BUILDING AND SITE IMPROVEMENTS SHALL BE CONSTRUCTED UNDER SEPARATE BUILDING PERMIT.

KEYED NOTES

- 1] STANDARD ASPHALT PAVED SURFACE - SEE DETAIL C3/C102
- 2] HEAVY ASPHALT PAVED SURFACE - SEE DETAIL D3/C102
- 3] CONCRETE CURBS & GUTTER - SEE DETAIL A4/C102
- 4] CONCRETE SIDEWALK - SEE DETAIL B4/C102
- 5] PARKING SPACE STRIPING - WHITE ALKYD PAINT
- 6] HANDICAP ACCESSIBLE CURB RAMP - SEE DETAIL C4/C102
- 7] HANDICAP ACCESSIBLE PARKING SPACE W/ HC SYMBOL PAVEMENT MARKING, HC SIGNAGE & STRIPED ACCESS AISLE
- 8] HANDICAP PARKING SPACE SIGN - SEE DETAIL A3/C102
- 9] MOTORCYCLE PARKING SPACE SIGN - SEE DETAIL A2/C102
- 10] 6" H EXTRUDED ASPHALT TEMPORARY CURB - TYPICAL @ PERIMETER OF PHASE 1 CONSTRUCTION SITE
- 11] CONCRETE DUMPSTER ENCLOSURE W/ RECYCLING AREA - SEE DETAILS C2 & D2/C102
- 12] TRANSFORMER ON CONCRETE PAD PER PNM REQUIREMENTS
- 13] 6", 4,000 PSI (3/4" AGGREGATE) CONC. SLAB ON 6" COMPACTED SUBGRADE W/ 6" 10/10 WWF - SLOPE 1/8" FT AWAY FROM BLDG/OPENING
- 14] CONCRETE DRAINAGE SWALE - SEE GRADING & DRAINAGE PLAN FOR DETAILS
- 15] 6'-0" H. CONCRETE YARD WALL - SEE DETAIL XX/C501. ADDITIONAL FENCING ON TOP OF WALL BY OWNER
- 16] CONCRETE RETAINING WALL - SEE GRADING & DRAINAGE PLANS
- 17] ROLLING STEEL GATE - PROVIDE FIRE DEPARTMENT ACCESS AS REQUIRED BY FIRE MARSHALL. GATE DESIGN BY OWNER
- 18] NEW CURB CUT - SEE CIVIL DRAWINGS FOR RIGHT-OF-WAY WORK ORDER SCOPE OF WORK
- 19] INFILL EXISTING/DEMOLISHED CURB CUTS AND DRIVE PADS W/ LANDSCAPE PLANTER MATERIAL - SEE LANDSCAPE PLAN
- 20] COMPACT SUBGRADE AND INSTALL AGGREGATE BASE COURSE PER DETAIL C3/A102 (NO ASPHALT IN PHASE 1)
- 21] LANDSCAPE PLANTER AREA
- 22] NEW FIRE HYDRANT PER SEPARATE PUBLIC UTILITIES WORK ORDER SCOPE OF WORK
- 23] CONCRETE PARKING BUMPER ANCHORED THROUGH PAVEMENT W/ (2) #4 REBAR. FACE OF BUMPER SHALL BE 2'-0" OFF HEAD OF PARKING SPACE
- 24] STRIPED ACCESS AISLE - WHITE ALKYD PAINT

PARKING CALCULATIONS

PARKING REQUIRED (PHASE 1)	
OFFICE	858 SF/200 = 5
WAREHOUSE	5,205 SF/2,000 = 3
TOTAL PKG ROD:	8 SPACES
HC PKG ROD:	1 SPACE
MC PKG ROD:	1 SPACE
BIKE RACK:	1 BIKE
PARKING PROVIDED:	
8 SPACES	
1 HANDICAP SPACE W/ VAN ACCESSIBLE AISLE	
1 MOTORCYCLE SPACE	
BIKE RACK PROVIDED INSIDE	
WAREHOUSE	
PARKING REQUIRED (PHASE 1b - FOR REFERENCE ONLY)	
1ST FLR OFFICE	10,467 SF/200 = 52
2ND FLR OFFICE	18,474 SF/300 = 62
TOTAL PKG ROD:	68 SPACES
HC PKG ROD:	4 SPACE
MC PKG ROD:	3 SPACE
BIKE RACK ROD:	5 BIKES
PARKING PROVIDED:	
68 SPACES	
4 HANDICAP SPACES (1 VAN ACCESSIBLE)	
3 MOTORCYCLE SPACES	
5 BIKE RACK (INSTALLED IN PHASE 1b)	

Need Legend
defining linetypes, hatching
Label details
on sheet C102

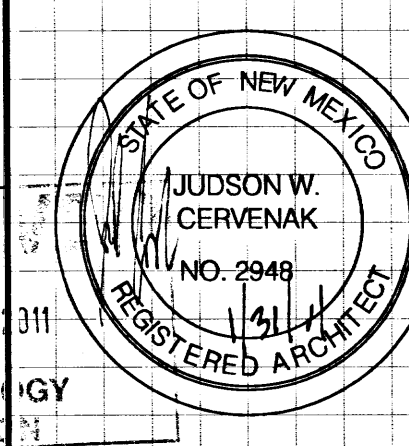
ADA path from
big to street
- clarify phasing

Gerald A. Martin, Ltd. - Shop

4901 McLeod Rd. NE
Albuquerque, NM 87112

Title: Traffic Circulation Layout

Scale: 1"=30'
Edition: For Construction
Issue Date: 1.31.11
Revision: 00/00/00
Project ID: 10-03
File Name: 10-03 C-101.dwg
Drawing By: JWC
Consultant: JCA



TCL

OPEN
SCALE: 1"=1"

MOTORCYCLE PARKING SIGN
SCALE: 1/2"=1'-0"

HANDICAP PARKING SIGN
SCALE: 1/2"=1'-0"

CURB & GUTTER SECTION
SCALE: 1 1/2"=1'-0"

OPEN
SCALE: 1"=1"

OPEN
SCALE: 1"=1"

BOLLARD DETAIL
SCALE: 3/4"=1'-0"

SIDEWALK SECTION
SCALE: 3/4"=1'-0"

OPEN
SCALE: 1"=1"

DUMPSTER ENCLOSURE GATE
SCALE: 1/4"=1'-0"

ASPHALT PAVING - STANDARD
SCALE: 3/4"=1'-0"

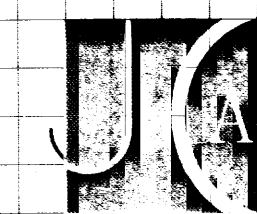
HC SIDEWALK RAMP
SCALE: 1/4"=1'-0"

OPEN
SCALE: 1"=1"

DUMPSTER ENCLOSURE
SCALE: 1/4"=1'-0"

ASPHALT PAVING - HEAVY
SCALE: 3/4"=1'-0"

SITE WALL SECTION
SCALE: 1/2"=1'-0"



Judson
Cervenak
Architects

P.O. Box 23084
Santa Fe, NM 87502
Tel 505.983.3400
Fax 505.983.3402
jud@jwcervenak.com

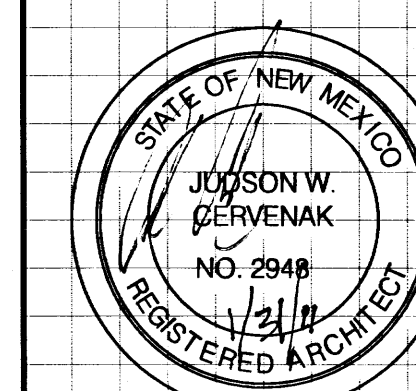
All concepts, designs and plans directly or indirectly
uncompensated by this document are hereby copyrighted,
and are for use only in connection with the project
specified in this document. None of such concepts,
designs or plans shall be used by or disclosed to any
person, firm or corporation without the prior written
permission of Judson Cervenak Architects.

Gerald A. Martin, Ltd. - Shop

4901 Mcleod Rd. NE
Albuquerque, NM 87112

Title: Site Details

Scale: Varies
Edition: For Construction
Issue Date: 1.31.11
Revision: 00/00/00
Project ID: 10-03
File Name: 10-03 C-102.dwg
Drawing By: JWC
Consultant: JCA



C-102

OWNER
GERALD A. MARTIN, LTD
PO BOX 23084
SANTA FE, NM 87502
(505) 983-3400
(505) 983-3402 FAX

ARCHITECT
JUDSON CPERNAK ARCHITECTS
PO BOX 23084
SANTA FE, NM 87502
(505) 983-3400
(505) 983-3402 FAX

GENERAL CONTRACTOR
GERALD MARTIN GENERAL CONTRACTOR
8501 JEFFERSON ST. NE
ALBUQUERQUE, NM 87113
(505) 828-1144
(505) 828-4947 FAX

AGIS
Advanced Geographic Information System

Map extended through: 2/24/00

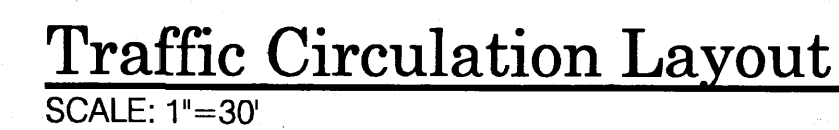
Zone Alpha Pages
F-17-Z

Selected Symbols

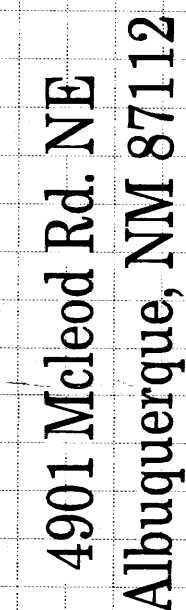
SELECTED PLACES

- Urban areas
- Major Overlay Zones
- City Limits Overlay
- H-H Buffer Zone
- Interagency Map

Scale: 0 100 Miles



Signed _____ Date 03-01-11



TCL

A1 OPEN
SCALE: 1"=1"

A2 MOTORCYCLE PARKING SIGN
SCALE: 1/2"=1'-0"

A3 HANDICAP PARKING SIGN
SCALE: 1/2"=1'-0"

A4 CURB & GUTTER SECTION
SCALE: 1 1/2"=1'-0"

B1 OPEN
SCALE: 1"=1"

B2 OPEN
SCALE: 1"=1"

B3 BOLLARD DETAIL
SCALE: 3/4"=1'-0"

B4 SIDEWALK SECTION
SCALE: 3/4"=1'-0"

C1 OPEN
SCALE: 1"=1"

C2 DUMPSTER ENCLOSURE GATE
SCALE: 1/4"=1'-0"

C3 ASPHALT PAVING - STANDARD
SCALE: 3/4"=1'-0"

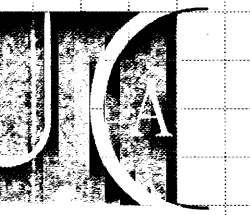
C4 HC SIDEWALK RAMP
SCALE: 1/4"=1'-0"

D1 OPEN
SCALE: 1"=1"

D2 DUMPSTER ENCLOSURE
SCALE: 1/4"=1'-0"

D3 ASPHALT PAVING - HEAVY
SCALE: 3/4"=1'-0"

D4 SITE WALL SECTION
SCALE: 1/2"=1'-0"



Judson
Cervenak
Architects

P.O. Box 23084
Santa Fe, NM 87502
Tel 505.983.3400
Fax 505.983.3402
jud@jwcervenak.com

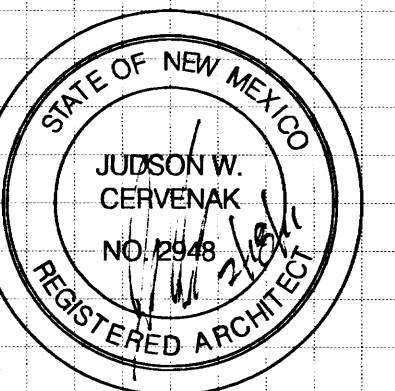
All concepts, designs and plans directly or indirectly
accompanied by this document are hereby copyrighted,
and are for use on and in connection with the project
specified in this document. None of such concepts,
designs or plans shall be used by or disclosed to any
person, firm or corporation without the prior written
permission of Judson Cervenak Architects.

Gerald A. Martin, Ltd. - Shop

4901 Mcleod Rd. NE
Albuquerque, NM 87112

Title: Site Details

Scale: Varies
Edition: For Construction
Issue Date: 1.31.11
Revision: 2/18/11
Project ID: 10-03
File Name: 10-03 C-102.dwg
Drawing By: JWC
Consultant: JCA



C-102

PROJECT DATA

PROJECT TITLE: GERALD A. MARTIN, LTD. SHOP BUILDING
CITY ADDRESS: 4901 MCLEOD RD. NE
LEGAL DESCRIPTION: LOTS A & B-4, LANDS OF ROADRUNNER INVESTORS, BERNALILLO COUNTY, NEW MEXICO
ZONE ATLAS PAGE: F-17

OWNER
GERALD A. MARTIN, LTD.
PO BOX 23084
SANTA FE, NM 87502
(505) 983-3400
(505) 983-3402 FAX
8501 JEFFERSON ST NE ALBUQUERQUE, NM 87113 (505) 828-1144

ARCHITECT
JUDSON CERVENAK ARCHITECTS
PO BOX 23084
SANTA FE, NM 87502
(505) 983-3400
(505) 983-3402 FAX

GENERAL CONTRACTOR
GERALD MARTIN GENERAL CONTRACTOR
8501 JEFFERSON ST. NE
ALBUQUERQUE, NM 87113
(505) 828-1144
(505) 828-4947 FAX

PROJECT SUMMARY

A. PLANNING HISTORY

THE PROPOSED PROJECT IS A STAND-ALONE DEVELOPMENT, NOT SUBJECT TO A MASTER PLAN, SECTOR DEVELOPMENT PLAN. THE PROPERTY PREVIOUSLY CONTAINED A SINGLE STORY, PRECAST CONCRETE BUILDING WITH THE REMAINDER OF THE SITE ASPHALT PARKING. THE PREVIOUS BUILDING WAS DEMOLISHED IN 2010 UNDER SEPARATE DEMOLITION PERMIT. CONCURRENT WITH THIS PROPOSED DEVELOPMENT, A PUBLIC UTILITY AND RIGHT-OF-WAY CURB CUT SUBMITTAL IS BEING REVIEWED THROUGH DRC. THE CITY PROJECT NUMBER IS 6394.83. THAT PROPOSAL WILL GOVERN ALL WORK WITHIN THE RIGHT-OF-WAY. ON-SITE TRANSPORTATION IMPROVEMENTS DEPICTED IN THESE PLANS CONNECT DIRECTLY TO THE PUBLIC WORK ORDER IMPROVEMENTS.

A DRAINAGE SUBMITTAL FOR THIS PROJECT HAS BEEN PREVIOUSLY SUBMITTED AND APPROVED. THE CITY PROJECT NUMBER IS 6394.83.

B. DESCRIPTION

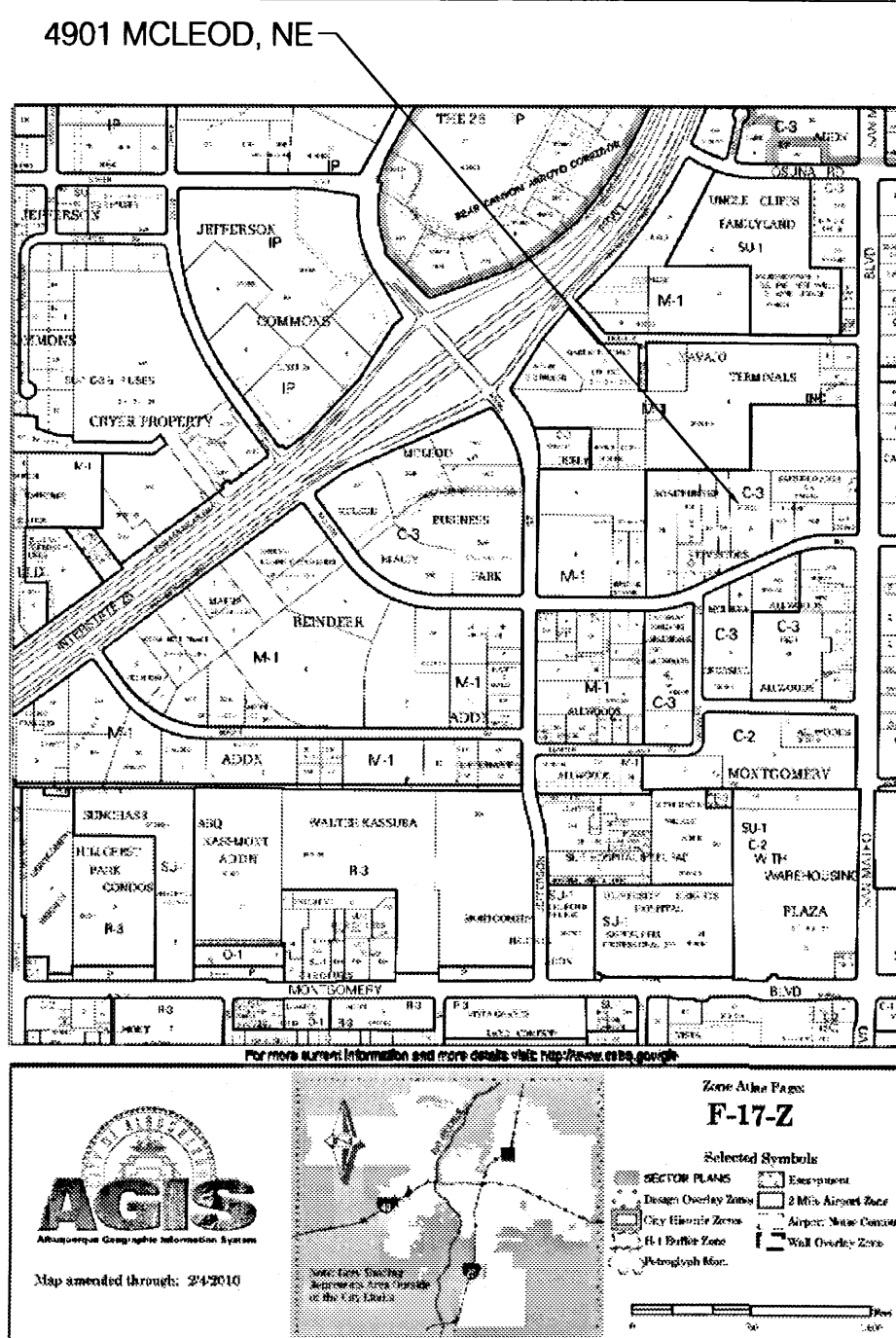
THE IMPROVEMENTS PROPOSED IN THIS SUBMITTAL COMPRISE PHASE 1 OF A MULTI-PHASE OFFICE PARK DEVELOPMENT. PHASE 1 CONSISTS OF A SHOP BUILDING AND RELATED PARKING AND SITE IMPROVEMENTS, INCLUDING PARKING FOR A PHASE 1B OFFICE BUILDING, TO BE LOCATED AT THE SOUTHEAST CORNER OF THE SITE. A PHASE 1B BUILDING PERMIT SUBMITTAL WILL FOLLOW THIS SUBMITTAL IN THE SPRING OF 2011. PHASE 2 COMPRISES THE WEST HALF OF THE PROPERTY, TO BE DEVELOPED IN THE FUTURE. PHASE 2 IS ANTICIPATED TO BE 2-3 SMALL OFFICE BUILDINGS AND ASSOCIATED PARKING AND SITE IMPROVEMENTS, CONSISTENT WITH THE CHARACTER OF PHASE 1 AND 1B.

PROPERTY DESCRIPTION, SITE AND PARKING RELATED DATA AND CALCULATIONS ARE INCLUDED IN THESE DRAWINGS. NO VARIANCES ARE REQUIRED FOR THE PROPOSED IMPROVEMENTS.

ALL IMPROVEMENTS PROPOSED ARE WITHIN THE SUBJECT PROPERTY AND ADJACENT RIGHT-OF-WAY. NO CROSS-ACCESS EASEMENTS EXIST WITH ADJACENT PROPERTY. A CROSS ACCESS AGREEMENT BETWEEN TRACTS A AND B-4 WILL BE CREATED CONCURRENT WITH PHASE 2 DEVELOPMENT UNDER SEPARATE T.C.L. SUBMISSION. TRACTS A AND B-4 ARE OWNED BY THE SAME ENTITY.

VICINITY MAP

PG. F-17 NO SCALE



Drainage Easement upon Tr. B-3 (grantor) to benefit Tr. B-4 and Tr. A (grantee) by Doc. #2001-031209 filed March 21, 2001.

TRACT B-3
LANDS OF ROAD RUNNER INVESTORS
Plat C13-130, retd. June 21, 1978

TRACT B-4
LANDS OF ROAD RUNNER INVESTORS
1.1338 ACRES

PHASE 2 - NOT INCLUDED IN THIS PERMIT

PHASE 1b (BLDG & SITE IMPROVEMENTS) - NOT INCLUDED IN THIS PERMIT

McCLEOD ROAD N.E.
86 R/W CROWNED ROADWAY

Traffic Circulation Layout

SCALE: 1"=30'

GENERAL NOTES

- [A1.1] TYPICAL STANDARD PARKING SPACES SHALL BE 8'-6" W X 18'-0" L.
- [A1.2] HANDICAP PARKING SPACES SHALL BE 8'-6" W X 18'-0" L W 4'-0" W (MIN) ADJACENT ACCESS AISLE (8'-0" WIDE FOR VAN ACCESSIBLE SPACE). SPACES SHALL BE IDENTIFIED WITH ADA/ANSI PAVEMENT MARKING AND POLE OR BUILDING MOUNTED SIGN.
- [A1.3] PUBLIC UTILITIES SHALL BE INSTALLED IN RIGHT OF WAY AND CENTRAL ACCESS DRIVE CONCURRENT WITH THE SCOPE OF WORK DESCRIBED IN THESE DRAWINGS. SUCH WORK WILL BE CONSTRUCTED UNDER SEPARATE PUBLIC WORK ORDER.
- [A1.4] PREPARE ROUGH GRADING FOR PHASE 1B AREA PER GRADING AND DRAINAGE PLANS. PHASE 1B BUILDING AND SITE IMPROVEMENTS SHALL BE CONSTRUCTED UNDER SEPARATE BUILDING PERMIT.
- [A1.5] ALL SITE LIGHTING SHALL BE FULL CUTOFF TYPE

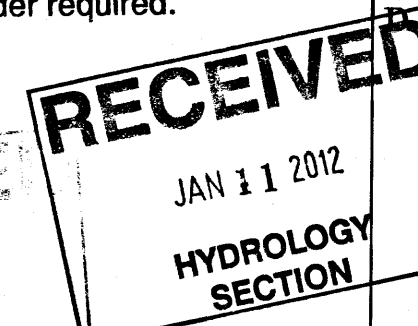
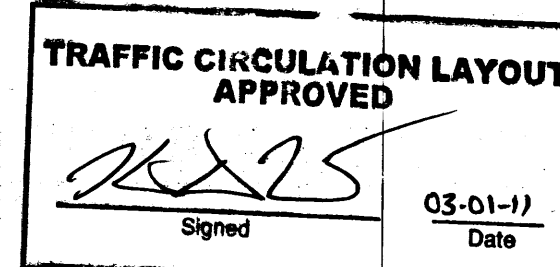
KEYED NOTES

- [1] STANDARD ASPHALT PAVED SURFACE - SEE DETAIL C3/C102
- [2] HEAVY ASPHALT PAVED SURFACE - SEE DETAIL D3/C102
- [3] CONCRETE CURB & GUTTER - SEE DETAIL AA/C102
- [4] CONCRETE SIDEWALK - SEE DETAIL BA/C102
- [5] TYPICAL PARKING SPACE STRIPING - WHITE ALKYD PAINT
- [6] HANDICAP ACCESSIBLE CURB RAMP - SEE DETAIL CA/C102
- [7] HANDICAP ACCESSIBLE PARKING SPACE W/ HC SYMBOL PAVEMENT MARKING, HC SIGNAGE & STRIPED ACCESS AISLE
- [8] HANDICAP PARKING SPACE SIGN - SEE DETAIL A3/C102
- [9] MOTORCYCLE PARKING SPACE SIGN - SEE DETAIL A2/C102
- [10] 6" H EXTRUDED ASPHALT TEMPORARY CURB - TYPICAL @ JUNCTURE OF PHASE 1 AND PHASE 2 BOUNDARY
- [11] CONCRETE DUMPSTER ENCLOSURE W/ RECYCLING AREA - SEE DETAILS C2 & D2/C102
- [12] TRANSFORMER ON CONCRETE PAD PER PNM REQUIREMENTS
- [13] 6" 4,000 PSI (3/4" AGGREGATE) CONC. SLAB ON 6" COMPACTED SUBGRADE W/ 6X6 10/10 WWF - SLOPE 1/8" FT AWAY FROM BLDG/OPENING
- [14] CONCRETE DRAINAGE SWALE - SEE GRADING & DRAINAGE PLAN FOR DETAILS
- [15] 6'-0" H. CONCRETE YARD WALL - SEE DETAIL D4/C102. ADDITIONAL FENCING ON TOP OF WALL BY OWNER
- [16] CONCRETE RETAINING WALL - SEE GRADING & DRAINAGE PLANS
- [17] ROLLING STEEL GATE - PROVIDE FIRE DEPARTMENT ACCESS AS REQUIRED BY FIRE MARSHALL. GATE DESIGN BY OWNER
- [18] NEW CURB CUT - SEE PUBLIC WORK ORDER DRAWINGS FOR RIGHT-OF-WAY SCOPE OF WORK
- [19] INFILL EXISTING/DEMOLISHED CURB CUTS AND DRIVE PADS W/ LANDSCAPE PLANTER MATERIAL - SEE LANDSCAPE PLAN
- [20] COMPACT SUBGRADE AND INSTALL AGGREGATE BASE COURSE PER DETAIL C3/A102 (NO ASPHALT IN PHASE 1)
- [21] LANDSCAPE PLANTER AREA
- [22] NEW FIRE HYDRANT PER SEPARATE PUBLIC UTILITIES WORK ORDER SCOPE OF WORK
- [23] CONCRETE PARKING BUMPER ANCHORED THROUGH PAVEMENT W/ (2) #4 REBAR. FACE OF BUMPER SHALL BE 2'-0" OFF HEAD OF PARKING SPACE
- [24] 6" WIDE PEDESTRIAN ACCESS AISLE W/ DIAGONAL HATCH PAVEMENT MARKINGS ON ASPHALT PAVING - WHITE ALKYD PAINT
- [25] EXISTING SIDEWALK CULVERT TO REMAIN
- [26] PROVIDE 6' WIDE MIN. SIDEWALK CLEARANCE AROUND FIRE HYDRANT

PARKING CALCULATIONS

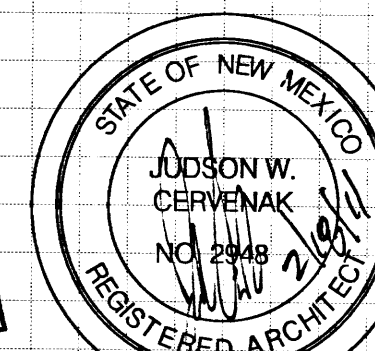
PARKING REQUIRED (PHASE 1)	
OFFICE	858 SF/200 = 5
WAREHOUSE	5,205 SF/2,000 = 3
TOTAL PKG REQ:	8 SPACES
HC PKG REQ:	1 SPACE
MC PKG REQ:	1 SPACE
BIKE RACK	1 BIKE
PARKING PROVIDED:	10 SPACES
	1 HANDICAP SPACE
	2 MOTORCYCLE SPACES
	3 BICYCLE STORAGE SPACES PROVIDED INSIDE BLDG.
	3 SMALL CAR SPACES
PARKING REQUIRED (PHASE 1b - FOR REFERENCE ONLY)	
1ST FLR OFFICE	10,467 SF/200 = 53
2ND FLR OFFICE	10,474 SF/200 = 53
TOTAL PKG REQ:	88 SPACES
HC PKG REQ:	4 SPACES
MC PKG REQ:	3 SPACES
BIKE RACK REQ:	5 BIKES
PARKING PROVIDED:	83 SPACES
	4 HANDICAP SPACES (2 VAN ACCESSIBLE)
	2 MOTORCYCLE SPACES
	5 BICYCLE RACK SPACES (INSTALLED IN PHASE 1b)

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



Title: Traffic Circulation Layout

Scale: 1"=30'
Edition: For Construction
Issue Date: 1.31.11
Revision: 2/18/11
Project ID: 10-03
File Name: 10-03 C-101.dwg
Drawing By: JWC
Consultant: JCA



TCL

A1 OPEN
SCALE: 1"=1"

A2 MOTORCYCLE PARKING SIGN
SCALE: 1/2"=1'-0"

A3 HANDICAP PARKING SIGN
SCALE: 1/2"=1'-0"

A4 CURB & GUTTER SECTION
SCALE: 1 1/2"=1'-0"

B1 OPEN
SCALE: 1"=1"

B2 OPEN
SCALE: 1"=1"

B3 BOLLARD DETAIL
SCALE: 3/4"=1'-0"

B4 SIDEWALK SECTION
SCALE: 3/4"=1'-0"

C1 OPEN
SCALE: 1"=1"

C2 DUMPSTER ENCLOSURE GATE
SCALE: 1/4"=1'-0"

C3 ASPHALT PAVING - STANDARD
SCALE: 3/4"=1'-0"

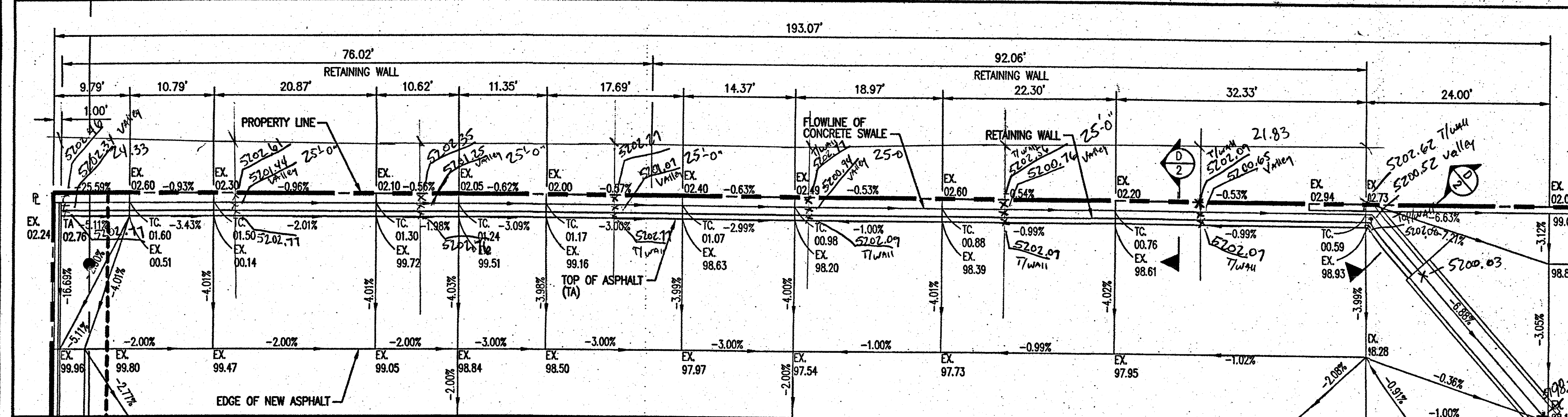
C4 HC SIDEWALK RAMP
SCALE: 1/4"=1'-0"

D1 OPEN
SCALE: 1"=1"

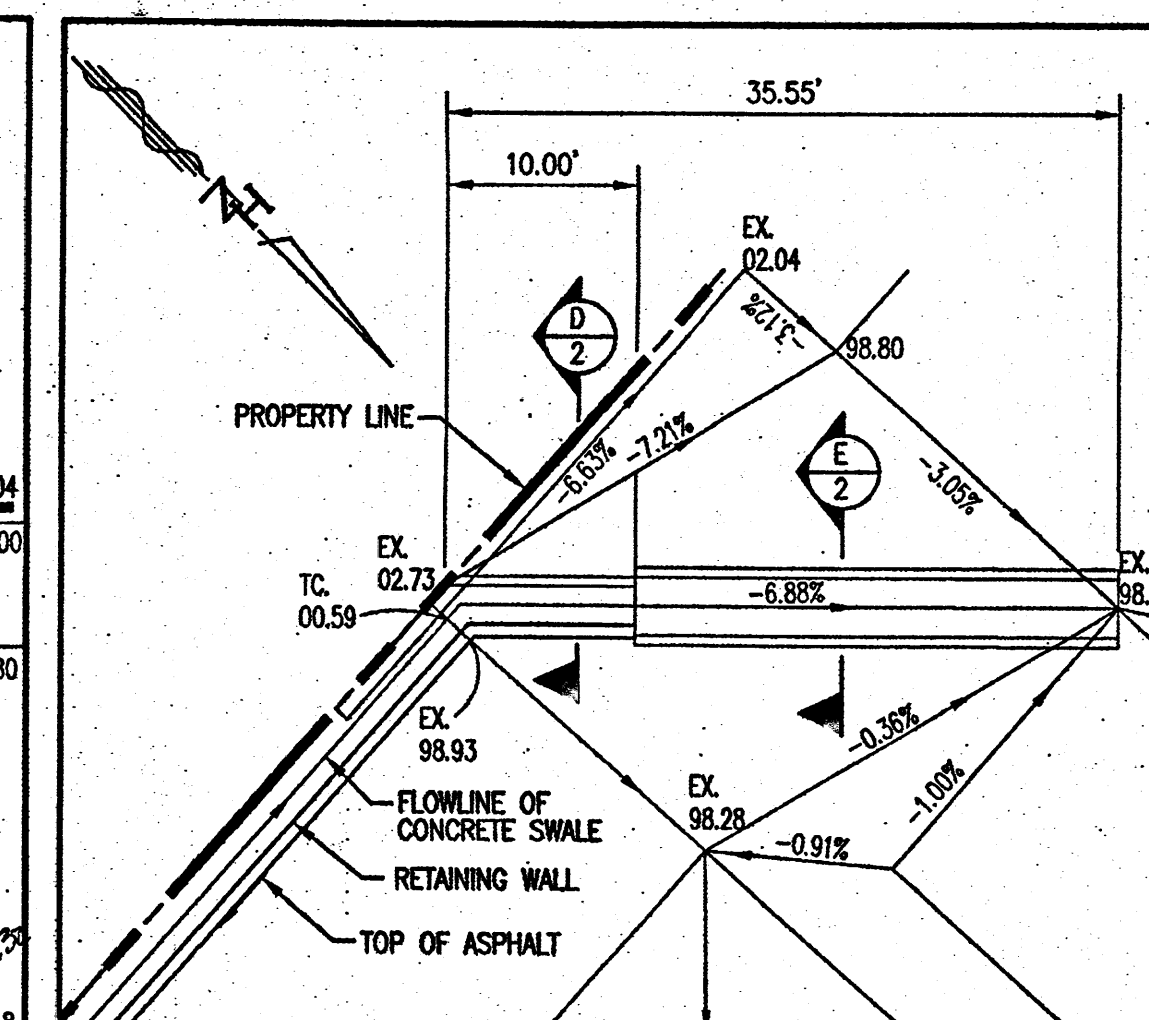
D2 DUMPSTER ENCLOSURE
SCALE: 1/4"=1'-0"

D3 ASPHALT PAVING - HEAVY
SCALE: 3/4"=1'-0"

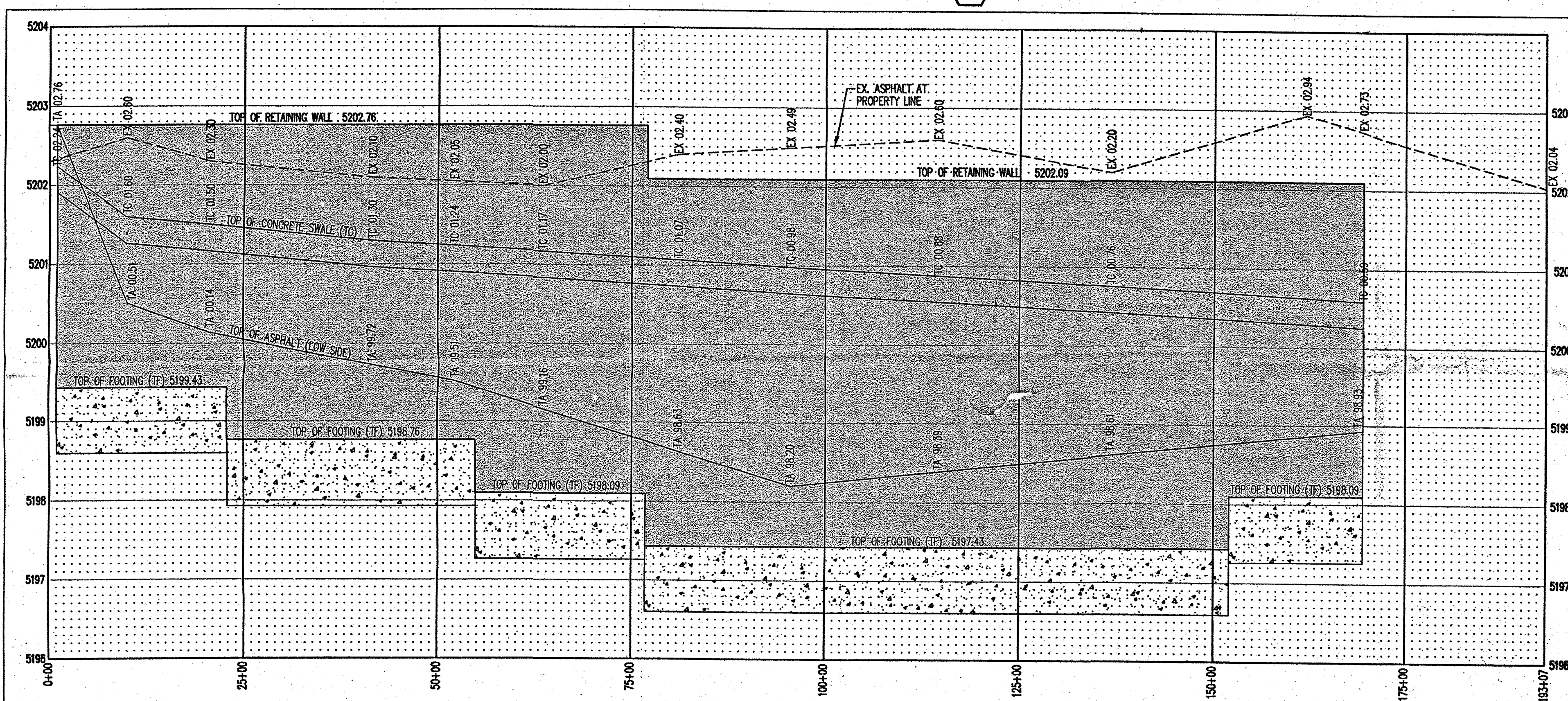
D4 SITE WALL SECTION
SCALE: 1/2"=1'-0"



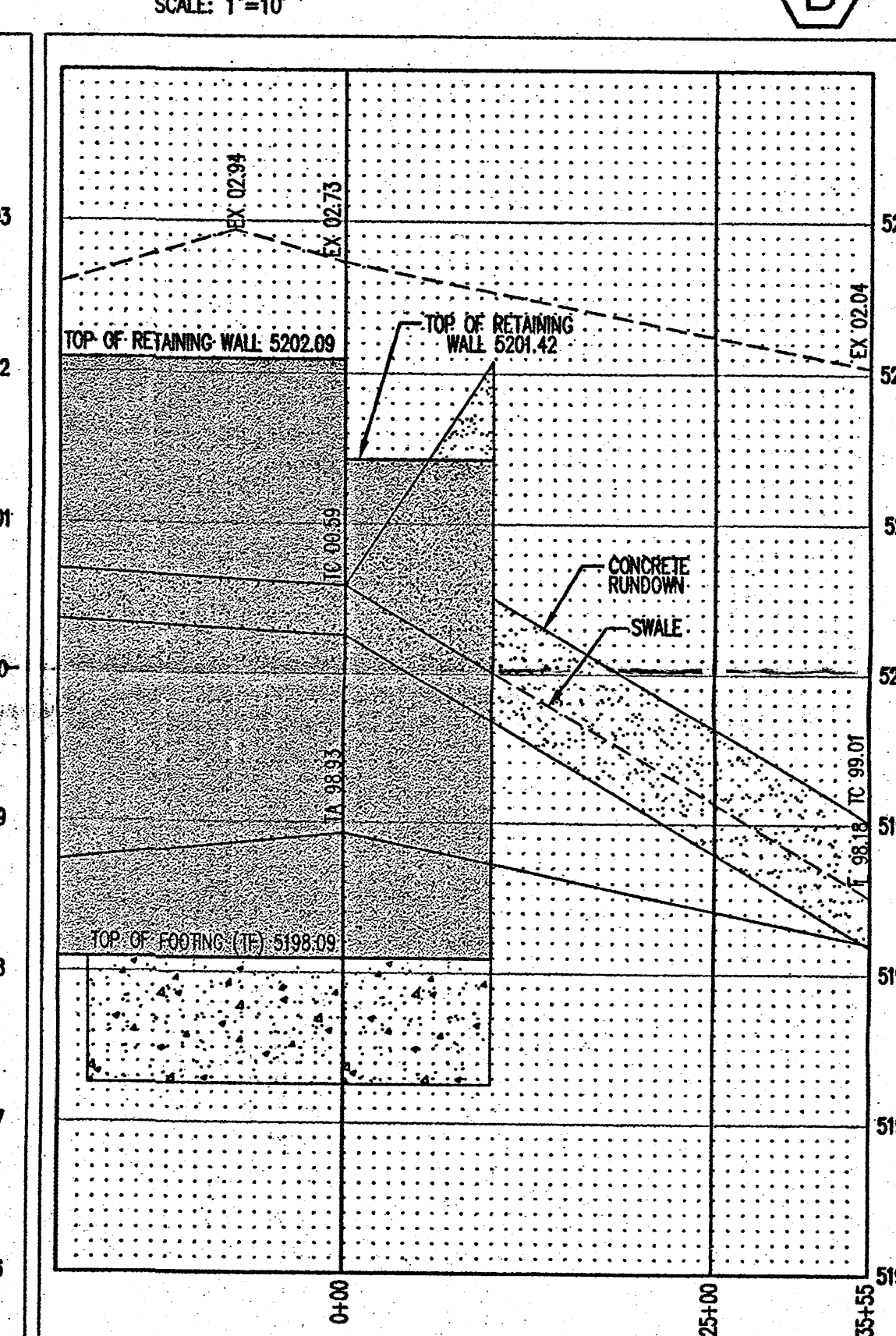
RETAINING WALL PLAN A
SCALE: 1"=10'



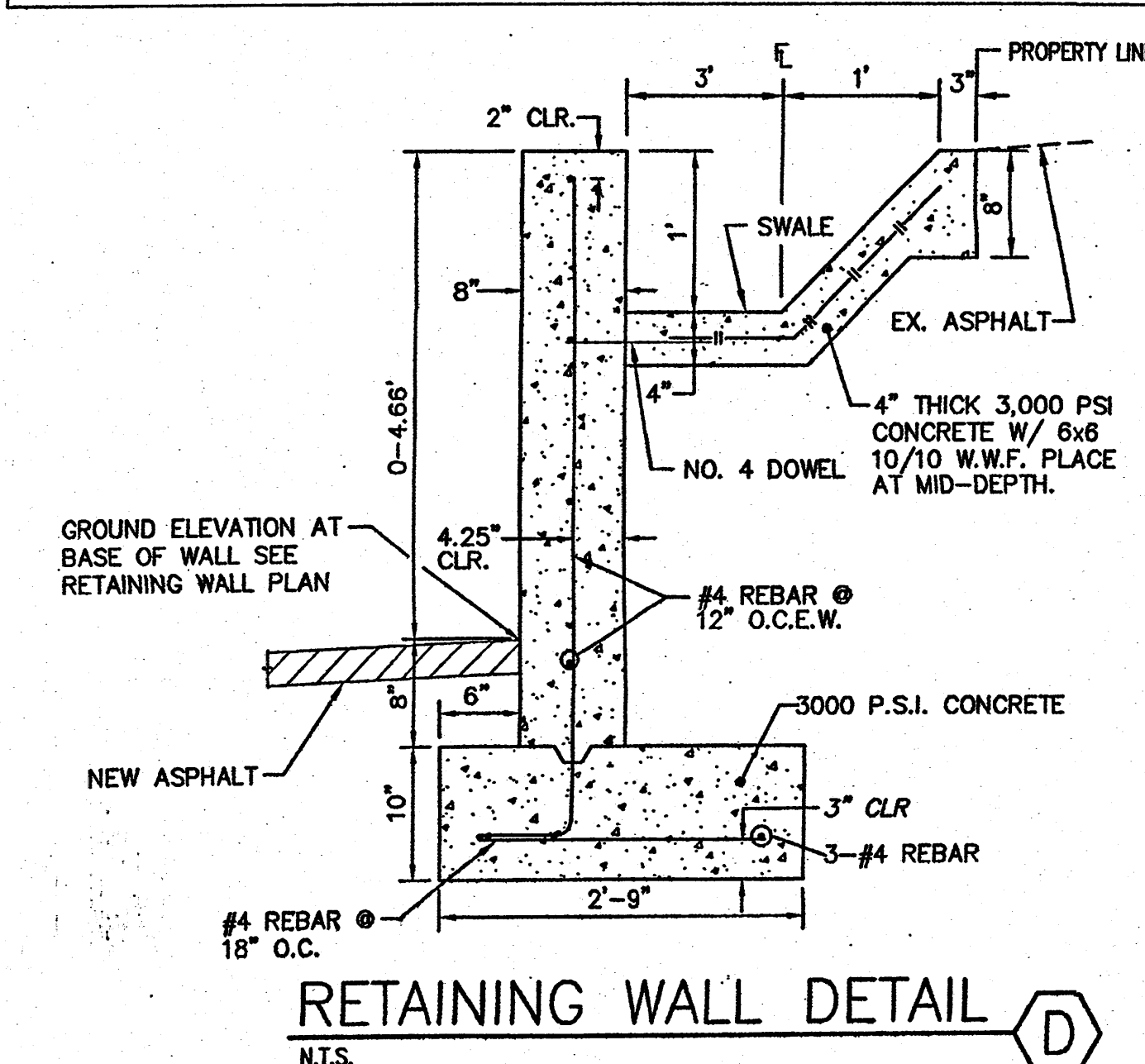
RETAINING WALL PLAN B
SCALE: 1"=10'



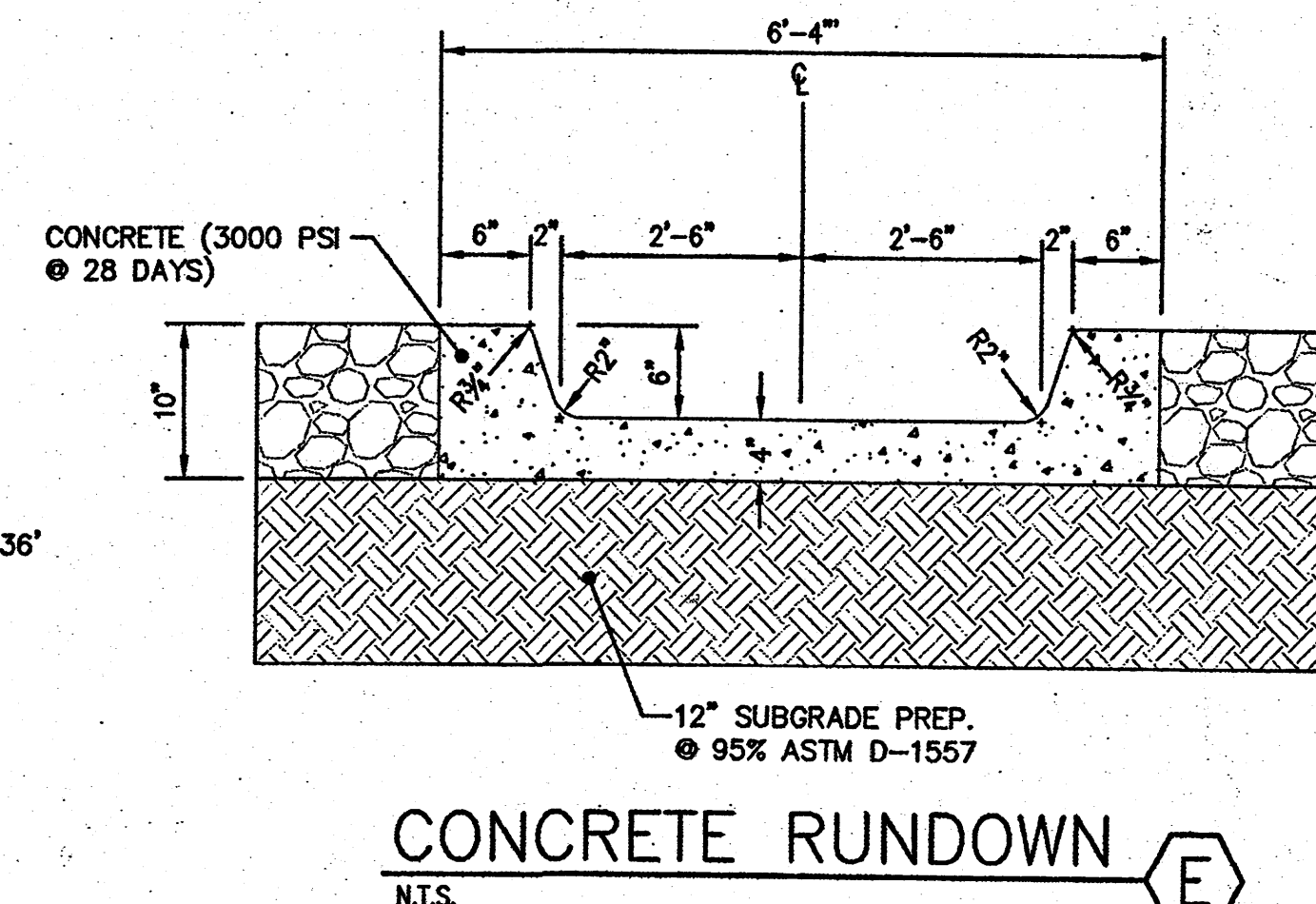
RETAINING WALL ELEVATION A
SCALE: 1"=10' (HORZ.)
SCALE: 1"=1' (VERT.)



RETAINING WALL ELEVATION B
SCALE: 1"=10' (HORZ.)
SCALE: 1"=1' (VERT.)



RETAINING WALL DETAIL D
N.T.S.



CONCRETE RUNDOWN E
N.T.S.

DRAINAGE CERTIFICATION

I, SCOTT EDDINGS, NMPE 12856 OF THE FIRM HUITT-ZOLLARS, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/07/10. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY STEPHEN COBB, NMPS 10472, OF THE FIRM HUITT-ZOLLARS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DEC 15, 2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY FOR BUILDING A.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT EDDINGS
NMPE 12856
1/20/11
DATE

AS BUILT INFORMATION			
CONTRACTOR	DATE	INSPECTOR'S	DATE
FOUND MONUMENT 9-F18 1986	DATE	FLUSH IN THE TOP OF CURB AND IS STAMPED	DATE
9-F18 1986. LOCATED ON SE QUADRANT OF SAN MATEO	DATE	LANE & SAN MATEO BLVD. NE	DATE
ELEVATION: 5212.228 (NAVD 1988)	DATE		DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	NO.	

SURVEY INFORMATION			
FIELD NOTES	DATE	BY	
NO.			

ENGINEER'S SEAL			
DATE	REVISIONS	BY	
DESIGNED BY: SAE	DATE:		
DRAWN BY: LRT	DATE:		
DWG NAME:	PROJ #:	17-0908-01	
CHECKED BY:	DATE:		

Designed By:
HUITT-ZOLLARS
Huitt-Zollars, Inc.
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5411 Fax (505) 892-3259

PUENTE AZUL, LLC			
RETAINING WALL DETAILS			
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
6394.83	F-7-Z	C2	

RECEIVED
JAN 23 2012
HYDROLOGY SECTION