

12/28/01

DRAINAGE CERTIFICATION

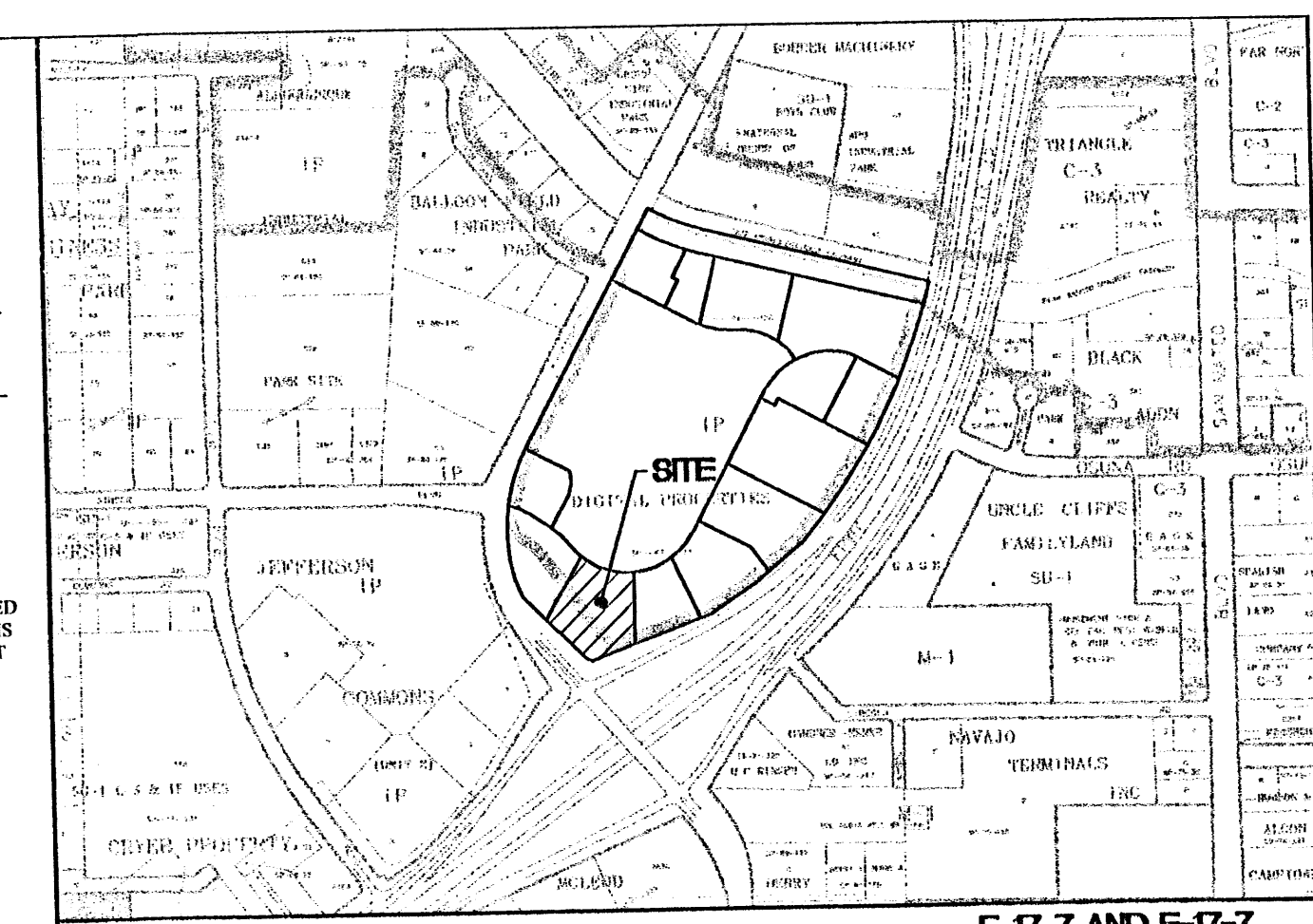
I, RONALD R. BOHANNAN, NMPE 7868, OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/08/01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MEDRANO, NMPS 11993, OF THE FIRM PRECISION SURVEYS.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/26/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THE RECORD INFORMATION ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

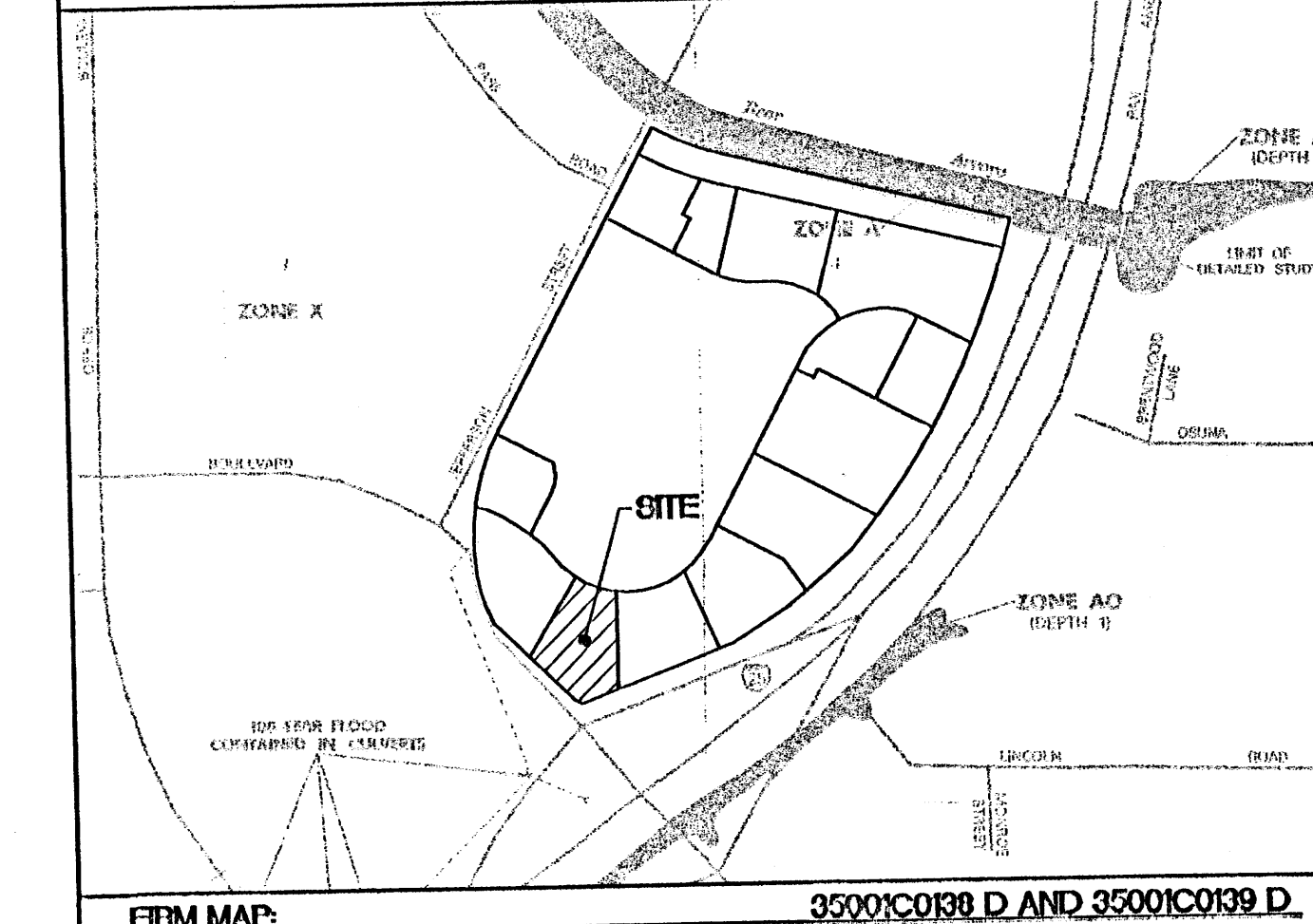
NOTE EXCEPTIONS HERE:

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THE RECORD INFORMATION ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE 5/29/03



VICINITY MAP



FORM MAP

LEGAL DESCRIPTION
TRACT J-1-A THE 25 SUBDIVISION

GENERAL NOTES

1. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
2. SEE ARCHITECTURAL PLANS FOR WHEELCHAIR RAMP DETAILS.
3. TEMPORARY DESILTING PONDS SHALL BE MAINTAINED BY "THE 25 DEVELOPMENT" MANAGEMENT UNTIL ADJACENT TRACTS ARE DEVELOPED AND PONDS ARE REMOVED.
4. THE DRAINAGE SWALE SHALL BE MAINTAINED BY THE OWNER OF TRACT J-1-A.

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION

ROUGH GRADING APPROVAL

ENGINEER'S SEAL	DRURY INN	DRAWN BY JDN
RONALD R. BOHANNAN P.E. #7868	GRADING AND DRAINAGE PLAN	DATE 11-08-01
		2141GR.DWG
		SHEET # C-102
		JOB # 21041

GRAPHIC SCALE
SCALE: 1"=30'

CAUTION:
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SECTION B-B
EROSION CONTROL BERM DETAIL

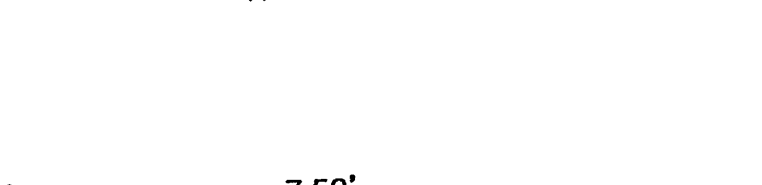
TEMPORARY EROSION CONTROL BERM
COMPACT BERM TO 90% OF OPTIMUM

FINISHED ROUGH GRADE

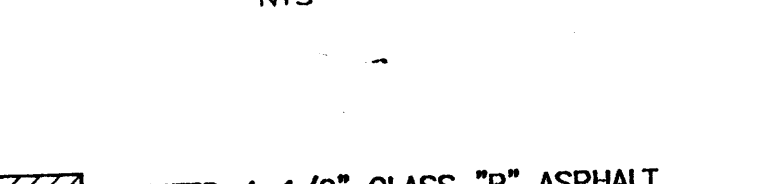
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NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD 1927
Y=1,505,603.74
X=395,426.52
G-G=0.99966733
DELTA ALPHA=-0°12'05"
EL.=5125.7

Benchmark
ACS/SC 27/26/34/35 1965"
CENTRAL STATION DATA
NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD 1927
X=394,315.98
Y=1,508,335.30
G-G=0.9995584
Δ =0°12'18"
ELEV=5110.406

SECTION C-C
NTS



SECTION A-A
NTS

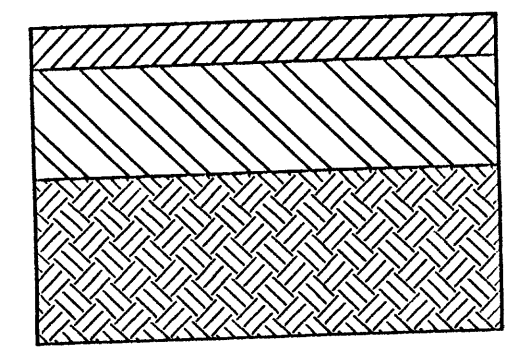
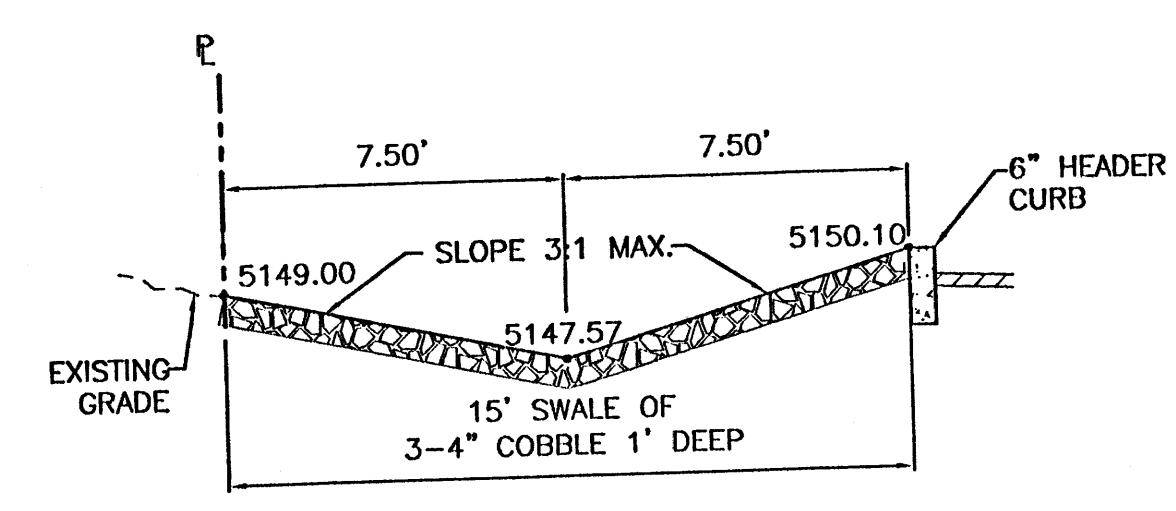
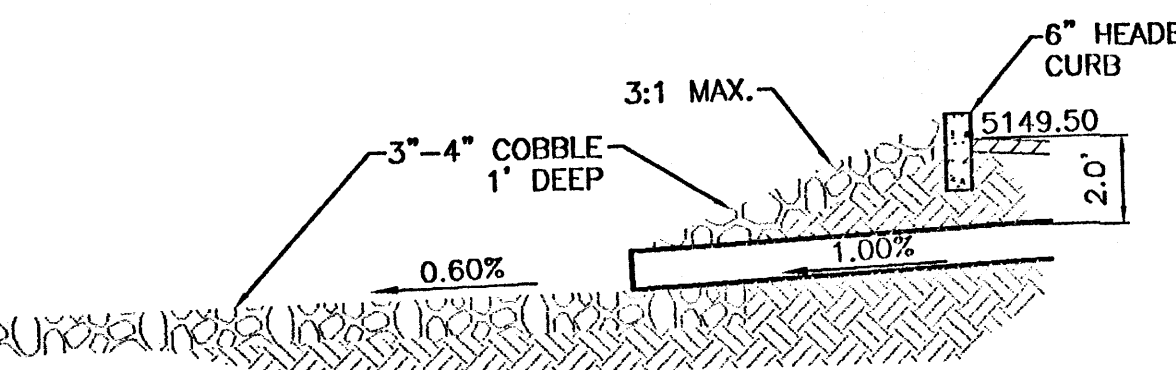
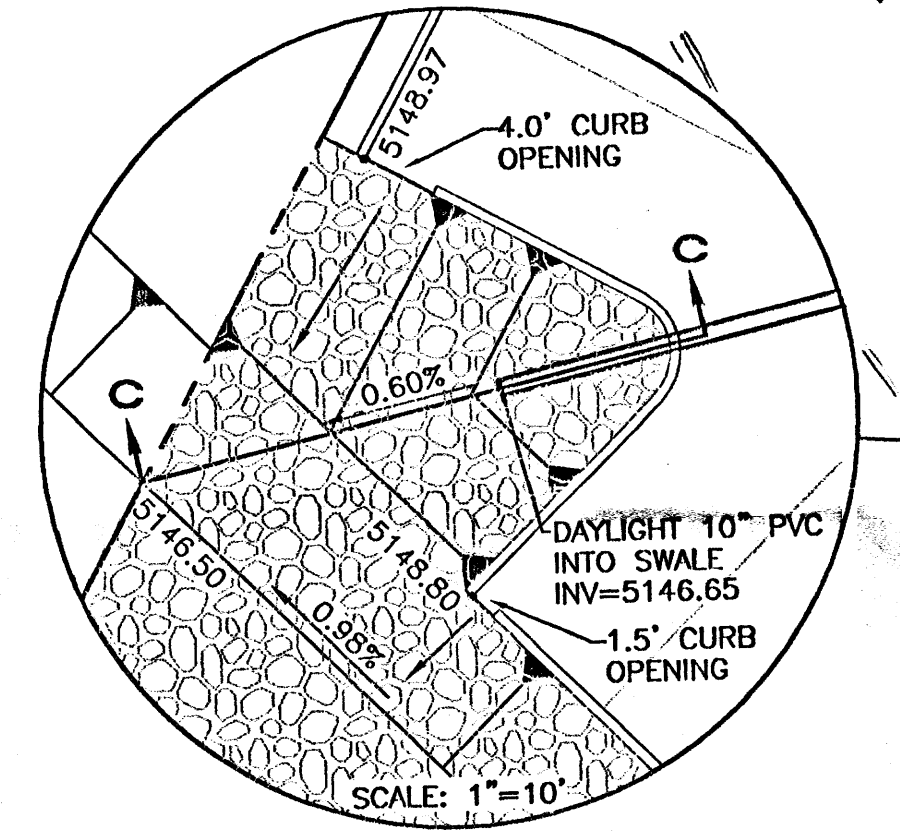


2 LIFTS-1 1/2" CLASS "B" ASPHALT
8" AGGREGATE BASE COURSE
12" COMPACTED SUBGRADE TO 95% ASTM D-1557

REFER TO SOILS REPORT FOR ACTUAL PAVEMENT SECTION

PAVING SECTION FOR PRIVATE STREETS

NTS



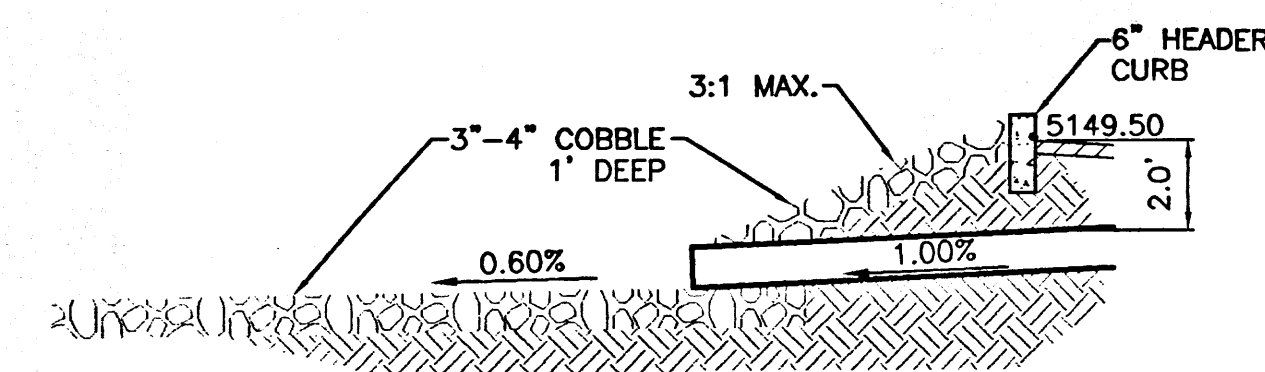
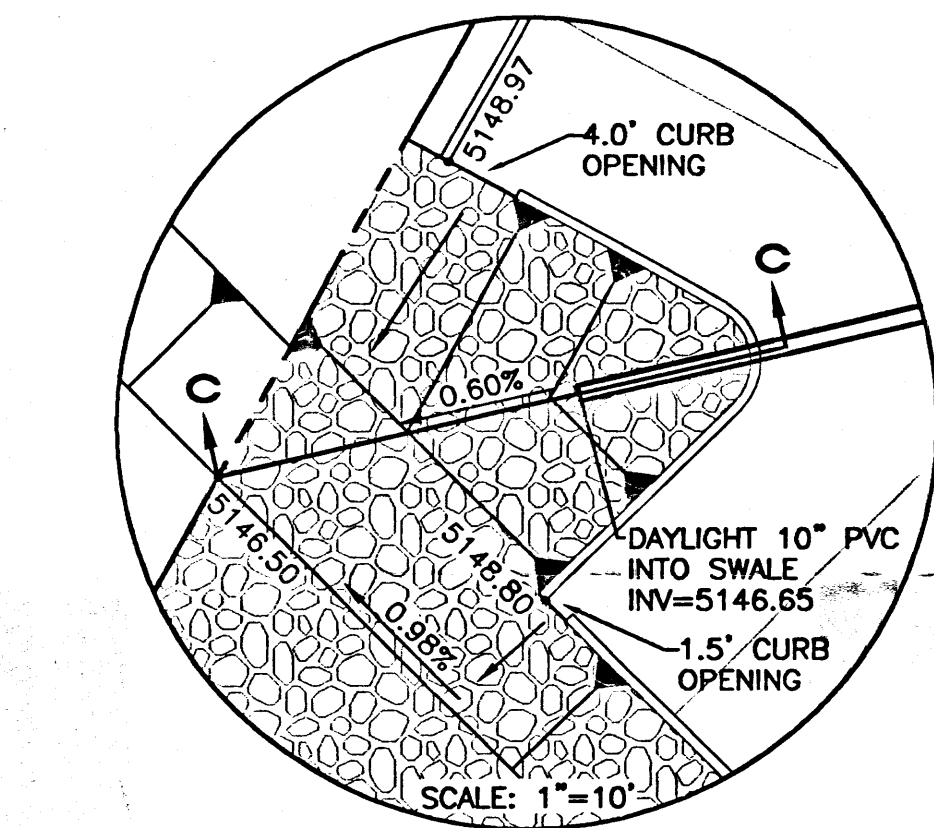
REFER TO SOILS REPORT FOR ACTUAL PAVEMENT SECTION

PAVING SECTION FOR PRIVATE STREETS

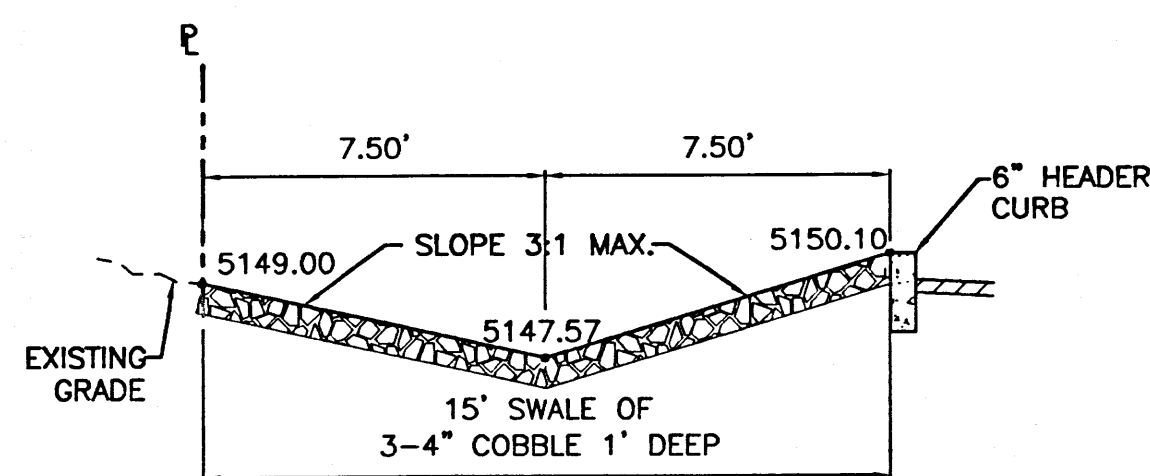
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EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

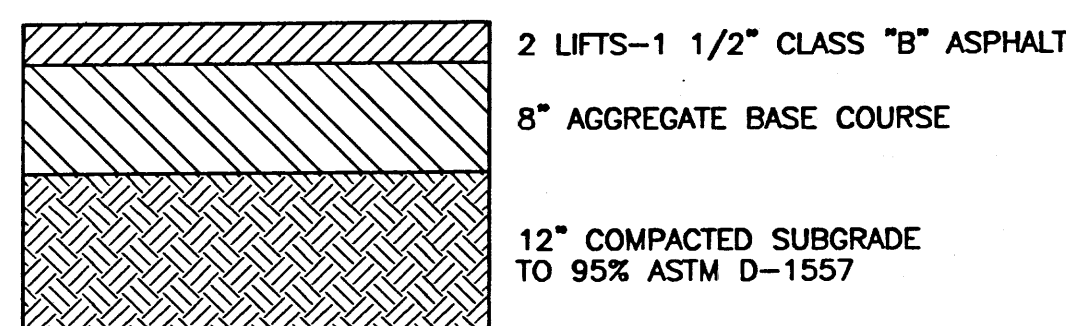
- ☐ Water disturbed area as frequently as necessary to control particulate matter during surface disturbance, construction traffic, wind events, etc.
 - ☐ Water site access or haul roads during periods of active use associated with the project. (Includes interior or access roads, yard or parking areas of material storage or assembly, piled excavated material, trench work area, area disturbed by trespass traffic, etc).
 - ☐ Cover, tarp, or otherwise contain all loads of loose material entering or leaving the site.
 - ☐ Halt surface disturbance when soil or wind conditions prevent or limit effective particulate matter control. (No "transported material").
 - ☐ Restore all off-site or excess surface disturbance areas to near pre-existing condition.
 - ☐ Reseeding undeveloped disturbed area either on site or off-site to City of Albuquerque Specifications #1012-"Native Grass Seeding"
 - ☐ Clean-up particulate and transported material from nearby property and the public right-of-way.
 - ☐ Construction of temporary erosion control fencing.
 - ☐ Special measures required.
 - ☐ Control of alternate access route or trespass traffic.
 - ☐ Stabilization of area proposed for future sale or future development.
1. Contractor is responsible for obtaining a topsoil disturbance permit prior to beginning work.
 2. Contractor is responsible for cleaning all sediment out of the existing right-of-way.
 3. Repair of damaged facilities and clean-up of sediment accumulated on adjacent properties and in public facilities is the responsibility of the contractor.
 4. All exposed earth surfaces must be protected from wind and water erosion prior to final acceptance of any project.
 5. Contractor is responsible for maintaining all storm sewer run off on site.



SECTION C-C
NTS



SECTION A-A
NTS

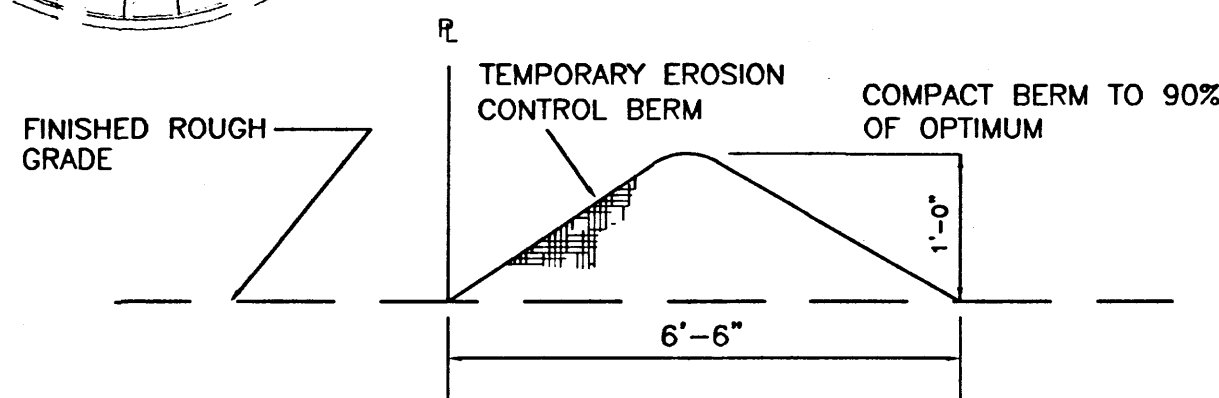
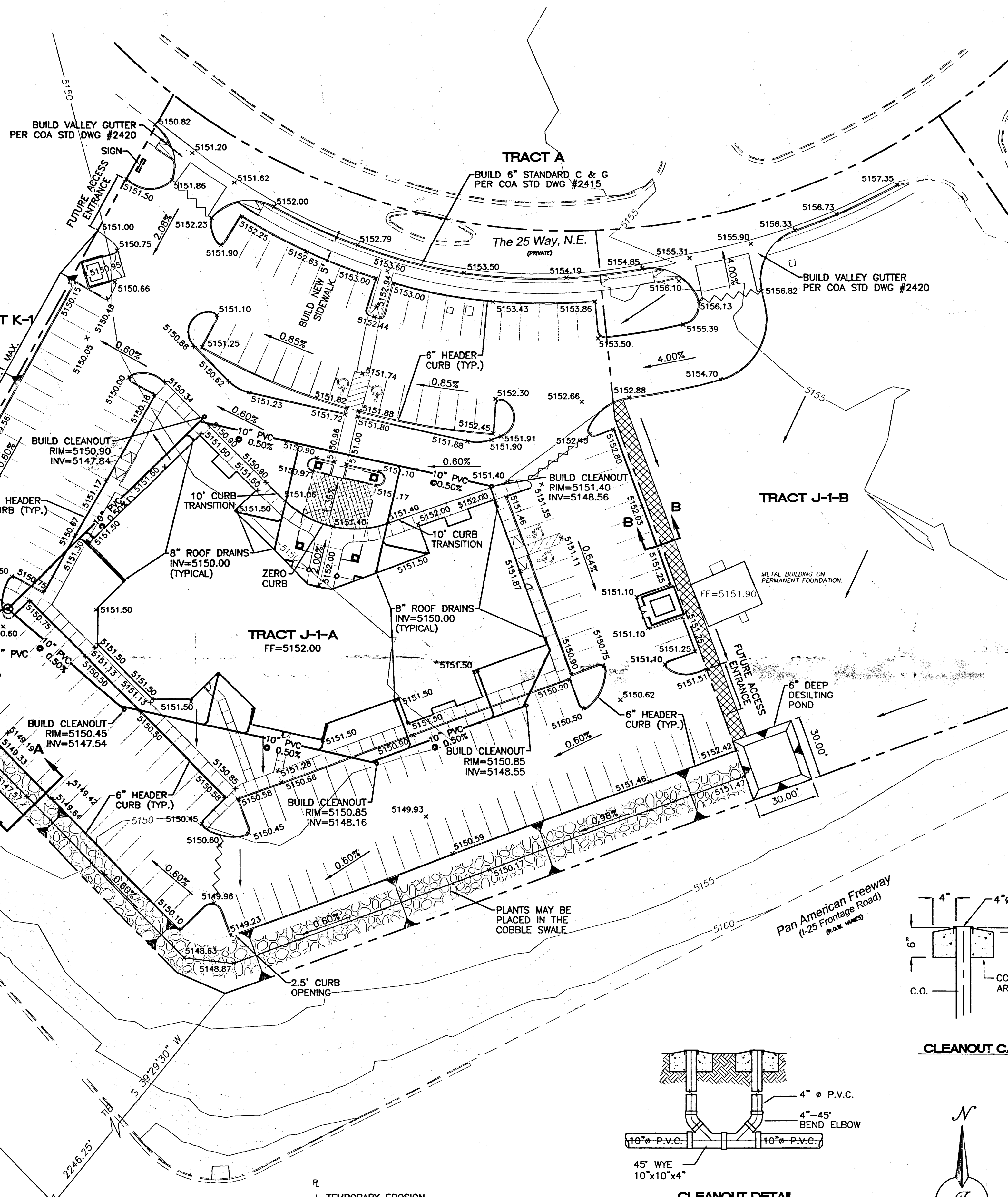


REFER TO SOILS REPORT FOR ACTUAL PAVEMENT SECTION

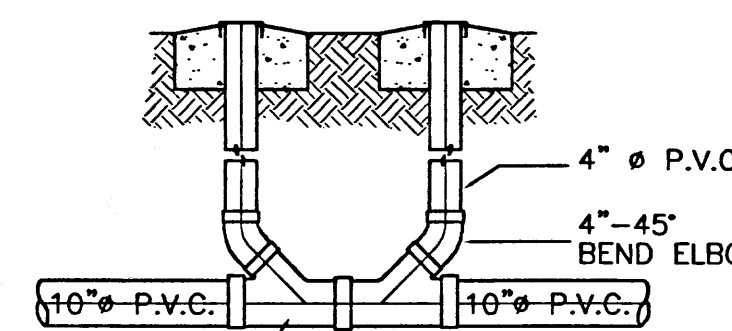
PAVING SECTION FOR PRIVATE STREETS
NTS

NM SHC MONUMENT "STA 1-25-18"
(FOUND IN PLACE)
NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD 1927
Y=1,505,603.74
X=395,426.52
G=0.99966733
DELTA ALPHA=-0.12'05"
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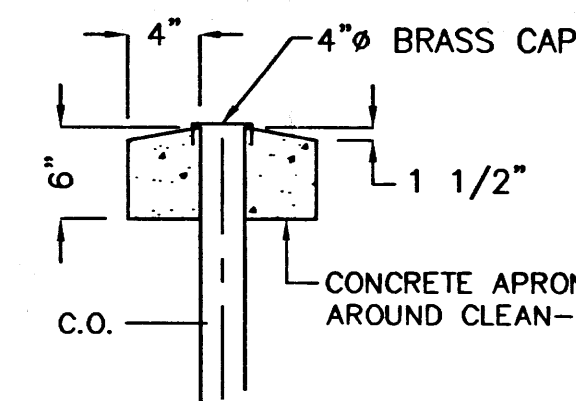
Benchmark
ACS SC 27/26/34/35 1965"
CENTRAL STATION DATA
NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD1927
X=394,315.98
Y=1,508,335.30
G-G= 0.9995584
Δ =00° 12'18"
ELEV= 5110.406



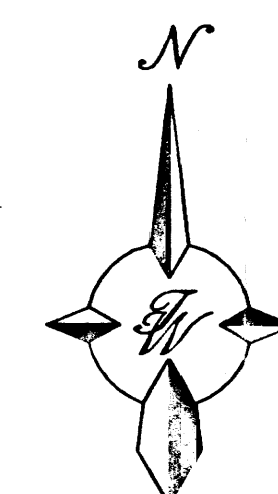
SECTION B-B
EROSION CONTROL BERM DETAIL
NTS



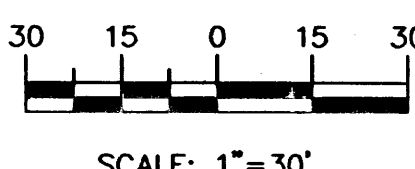
CLEANOUT DETAIL
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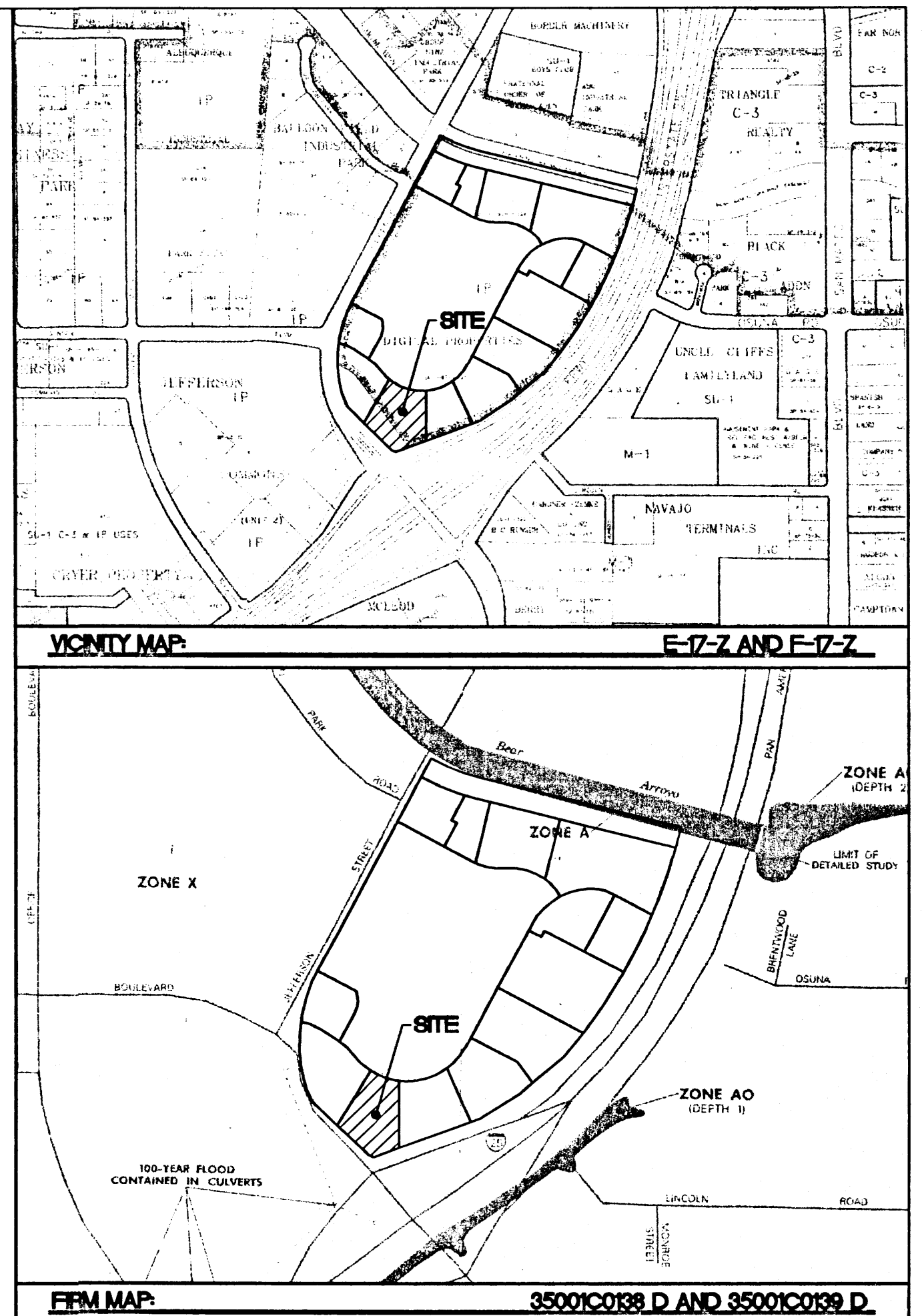
CLEANOUT CAP DETAIL
NTS



GRAPHIC SCALE



CAUTION:
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ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



LEGAL DESCRIPTION:
TRACT J-1-A THE 25 SUBDIVISION

GENERAL NOTES

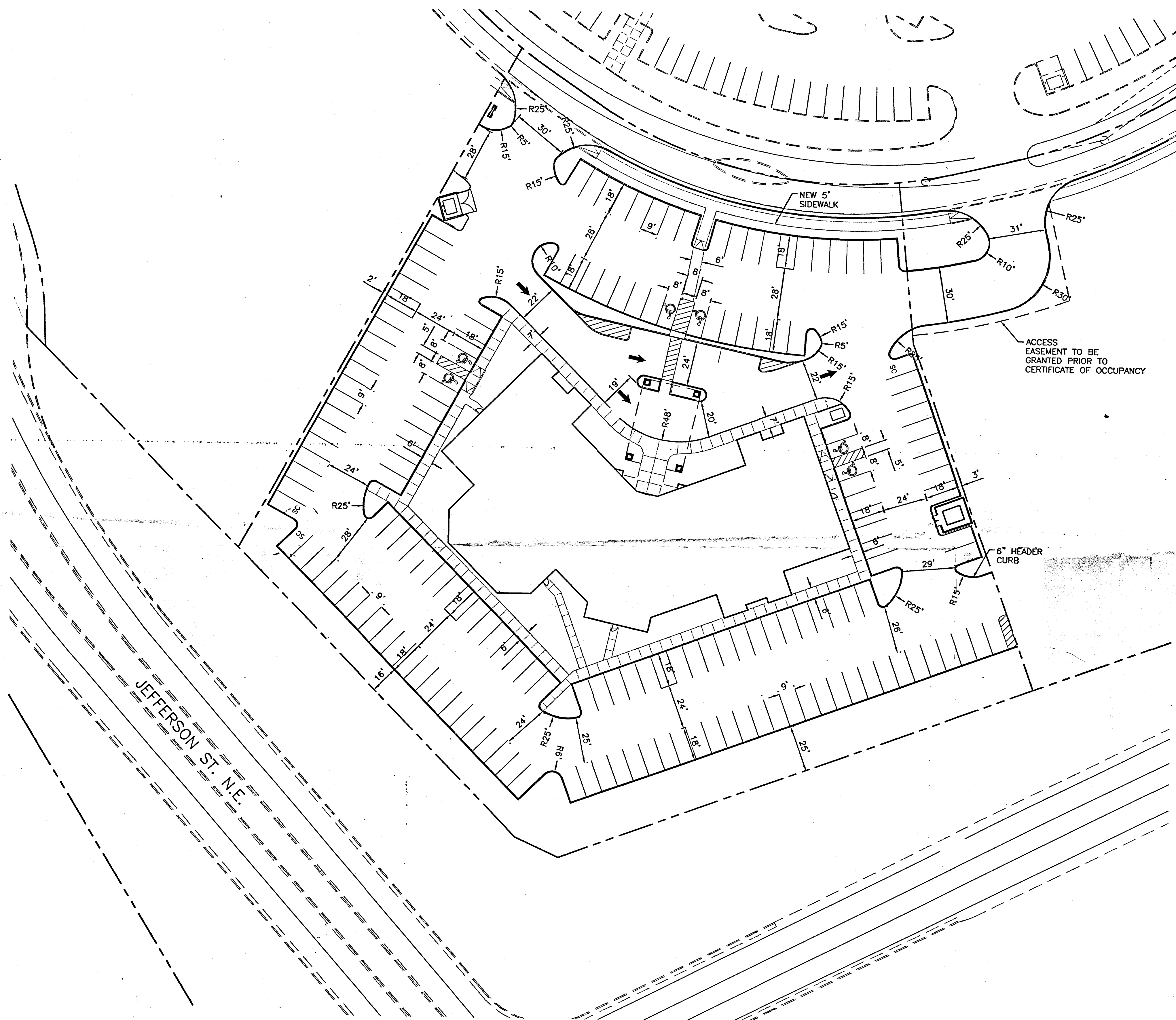
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4. THE DRAINAGE SWALE SHALL BE MAINTAINED BY THE OWNER OF TRACT J-1-A.

LEGEND

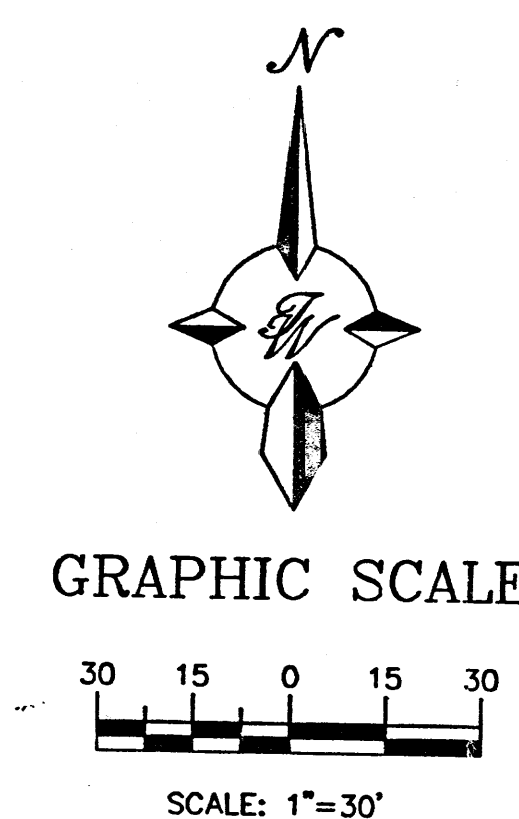
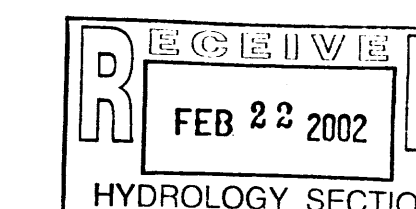
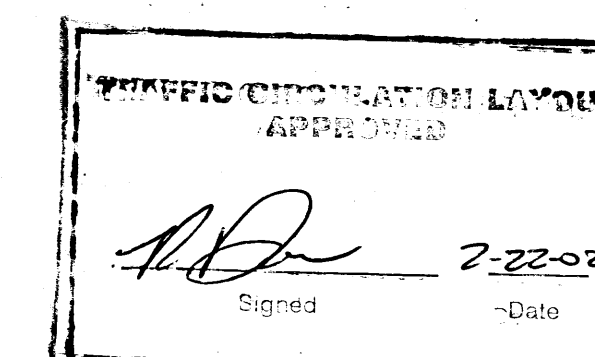
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION

ROUGH GRADING APPROVAL

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>DRURY INN</p> <p>GRADING AND DRAINAGE PLAN</p> <p>TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p>	<p>DRAWN BY JDN</p> <p>DATE 11-08-01</p> <p>2141GR.DWG</p> <p>SHEET # C-102</p> <p>JOB # 21041</p>
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LEGEND	
	EXISTING SAS MANHOLE
	EXISTING 8" SAS
	EXISTING SANITARY SEWER LINE
	PROPOSED SAS MANHOLE
	PROPOSED SAS CLEANOUT
	DIRECTION OF FLOW
	PROPOSED 8" SAS
	PROPOSED SANITARY SEWER LINE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING 16" WL
	EXISTING WATER LINE
	PROPOSED METER
	PROPOSED VALVE W/BOX
	PROPOSED FIRE HYDRANT
	PROPOSED AIR RELEASE VALVE
	PROPOSED REDUCER
	PROPOSED IRRIGATION SERVICE
	PROPOSED 8" WL
	EXISTING EXTRACTION/REINJECTION WELLS
	EXISTING MONITORING WELLS
	EXISTING MONITORING WELL SYSTEM
	EXISTING CURB & GUTTER
	PROPOSED 6" HEADER CURB
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK

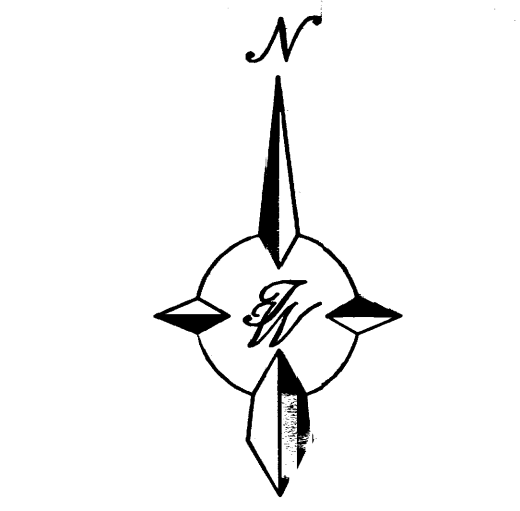


 RONALD R. BOHANNAN P.E. #7868	ENGINEER'S SEAL	DRURY INN	DRAWN BY BMP
	TRAFFIC CIRCULATION LAYOUT	DATE 02-18-02	2141TCL.DWG
	 TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # C-101	JOB # 21041

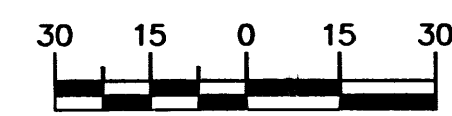
HYDROLOGY SECTION
FEB 2 2 2002
R. BOHANNAN

5024 W
R2X

LEGEND	
	EXISTING SAS MANHOLE
	EX. 8" SAS
	PROPOSED SAS MANHOLE
	PROPOSED SAS CLEANOUT
	DIRECTION OF FLOW
	8" SAS
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EX. 16" WL
	PROPOSED METER
	PROPOSED VALVE W/BOX
	PROPOSED FIRE HYDRANT
	PROPOSED AIR RELEASE VALVE
	PROPOSED REDUCER
	PROPOSED IRRIGATION SERVICE
	8" WL
	EXISTING EXTRACTION/REINJECTION WELLS
	EXISTING MONITORING WELLS
	EXISTING MONITORING WELL SYSTEM
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK



GRAPHIC SCALE



SCALE: 1"=30'

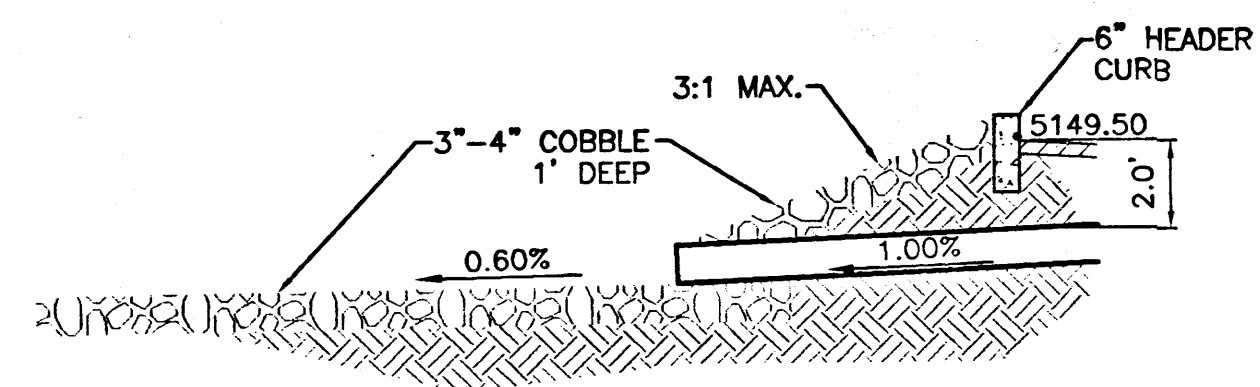
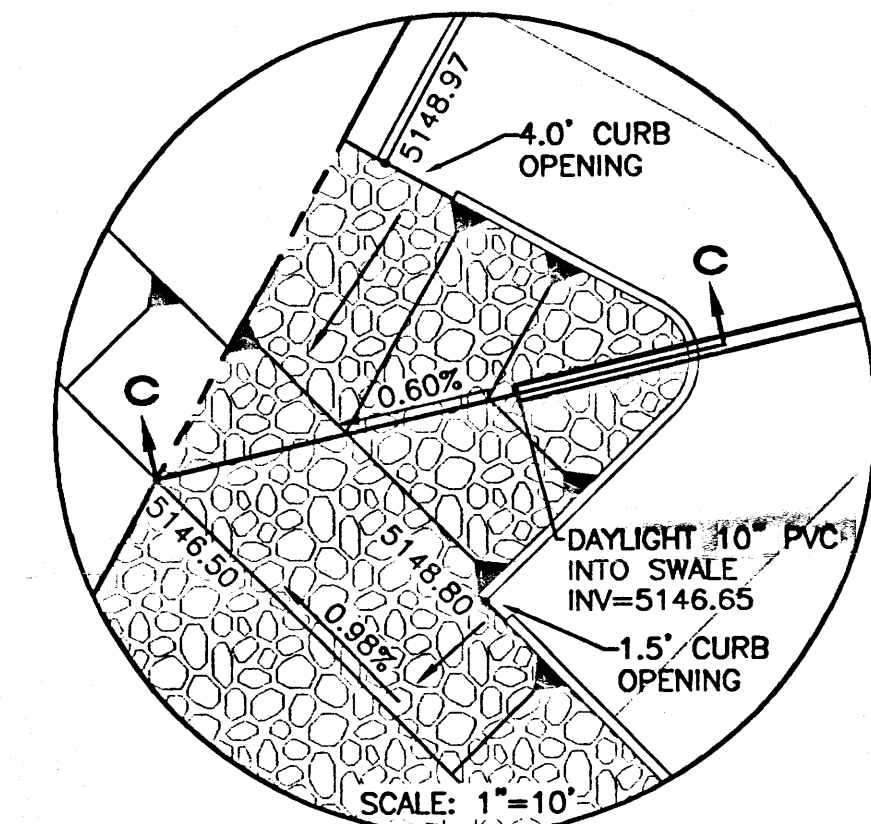
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HYDROLOGY SECTION
FEB 2 2 2002
R. BOHANNAN

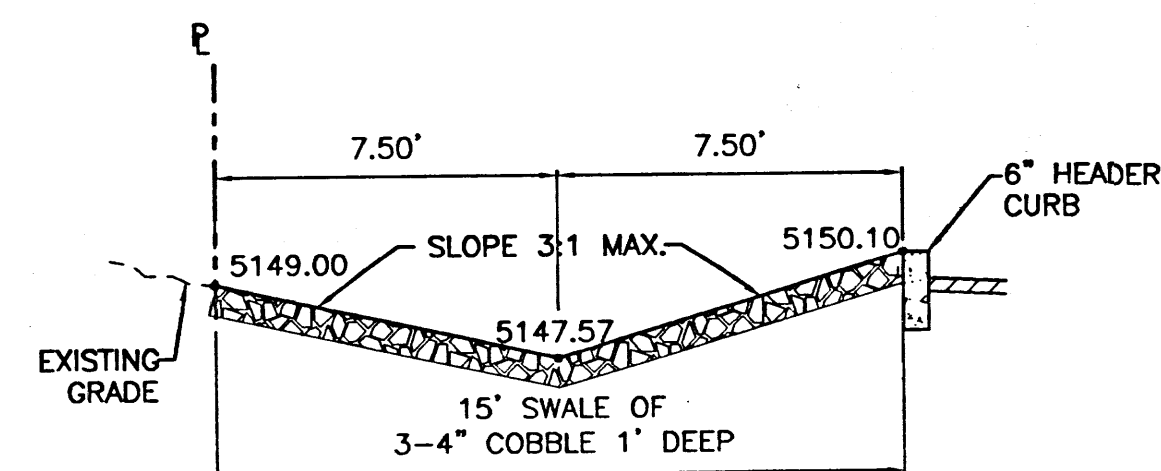
ENGINEER'S SEAL	DRURY INN	DRAWN BY BMP
	TRAFFIC CIRCULATION LAYOUT	DATE 02-18-02
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2141TCL.DWG
		SHEET #
		C-101
		JOB # 21041

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

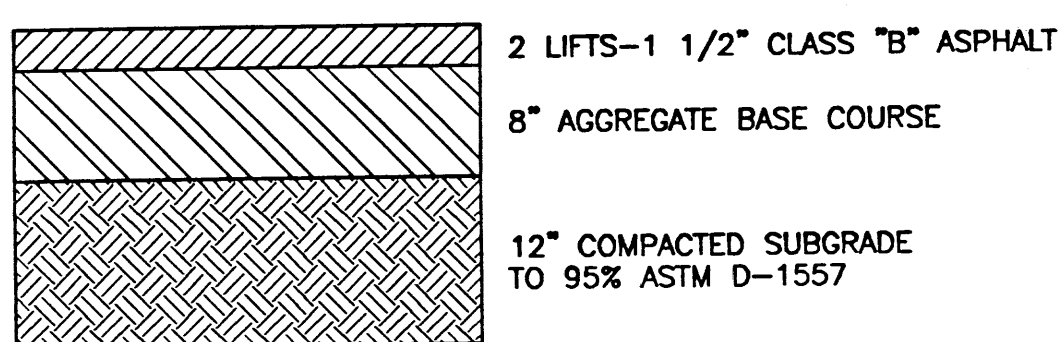
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 - Cover, tarp, or otherwise contain all loads of loose material entering or leaving the site.
 - Halt surface disturbance when soil or wind conditions prevent or limit effective particulate matter control. (No "transported material").
 - Restore all off-site or excess surface disturbance areas to near pre-existing condition.
 - Re seeding undeveloped disturbed area either on site or off-site to City of Albuquerque Specifications #1012-"Native Grass Seeding"
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SECTION C-C
NTS



SECTION A-A
NTS

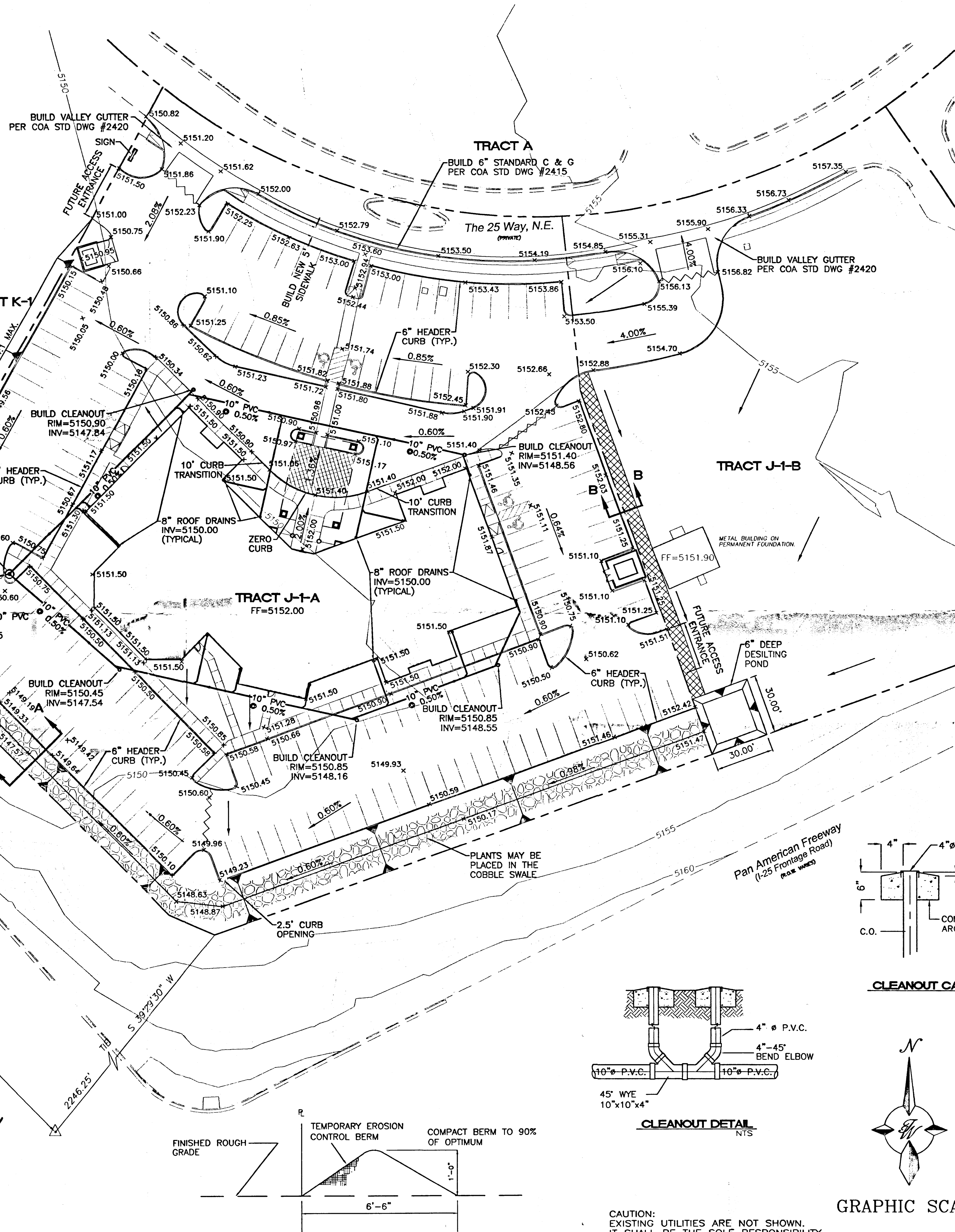


REFER TO SOILS REPORT FOR ACTUAL PAVEMENT SECTION

PAVING SECTION FOR PRIVATE STREETS
NTS

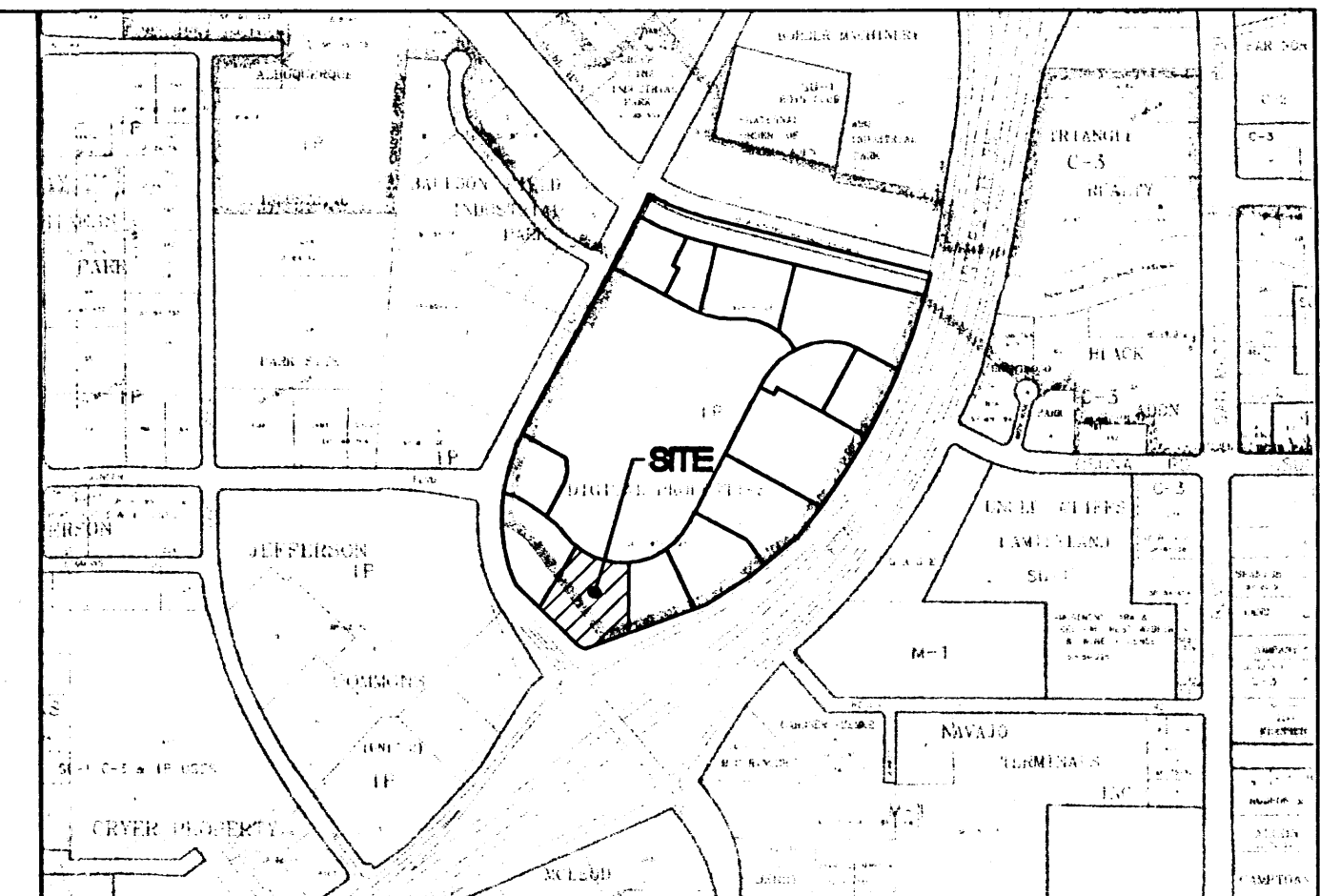
NM SHC MONUMENT "STA 1-25-18"
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CENTRAL ZONE-NAD 1927
Y=1,505,603.74
X=395,426.52
G-G=0.99966733
DELTA ALPHA=-0.712'05"
CL=5125.7

TRIG. BEARING
NOT VALID FOR
LOCATING

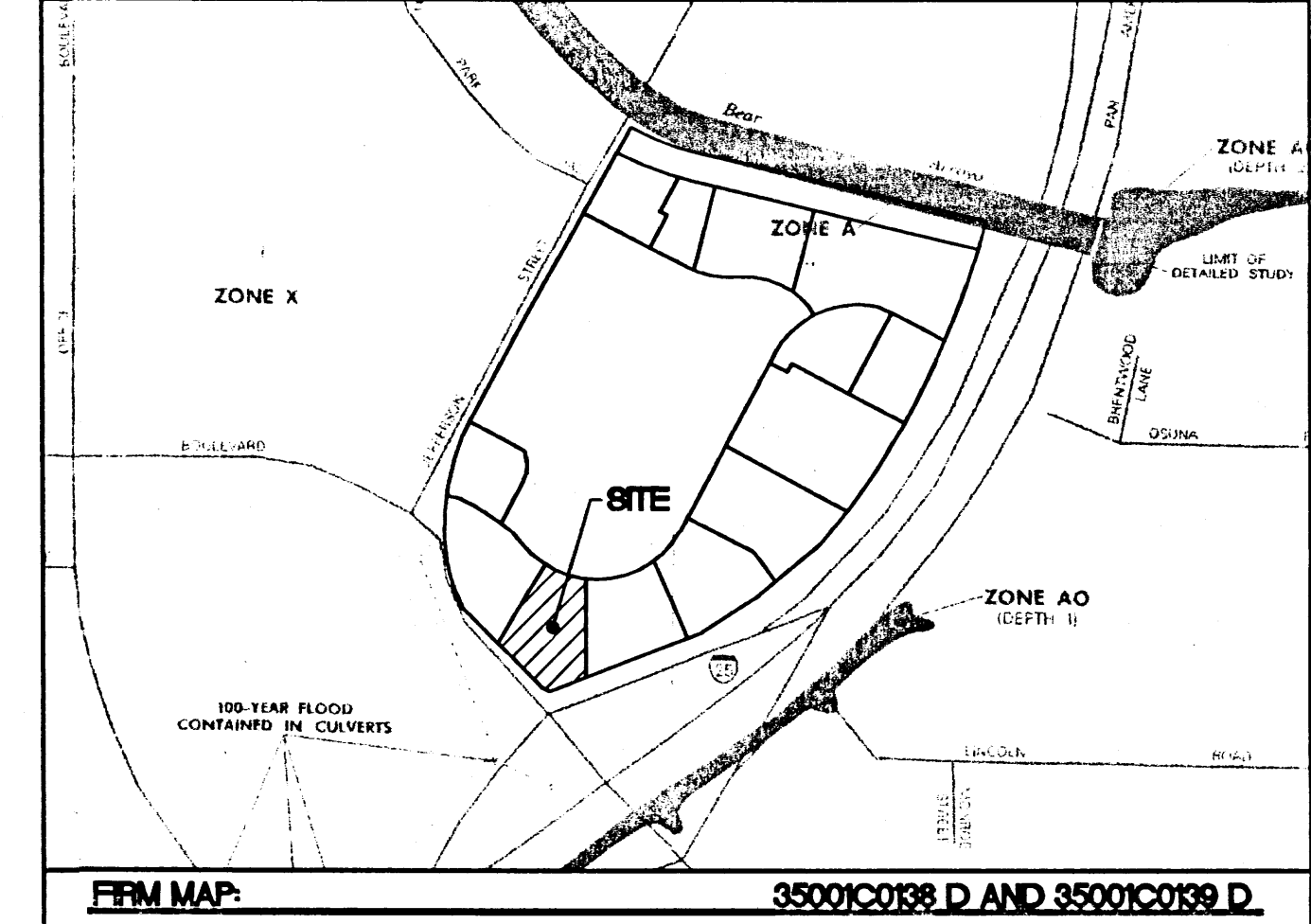


SECTION B-B
EROSION CONTROL BERM DETAIL
NTS

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VICINITY MAP
E-17-7 AND E-17-7



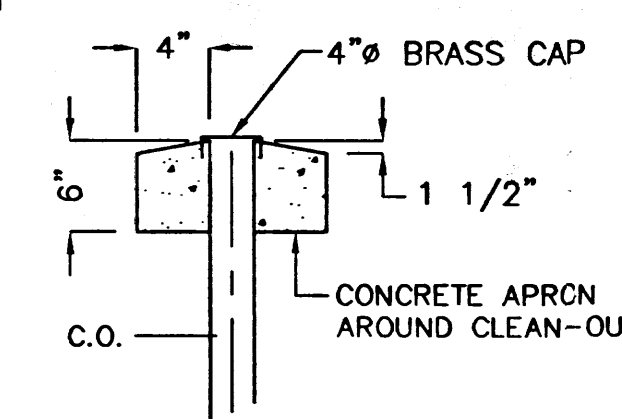
LEGAL DESCRIPTION
TRACT J-1-A THE 25 SUBDIVISION

GENERAL NOTES

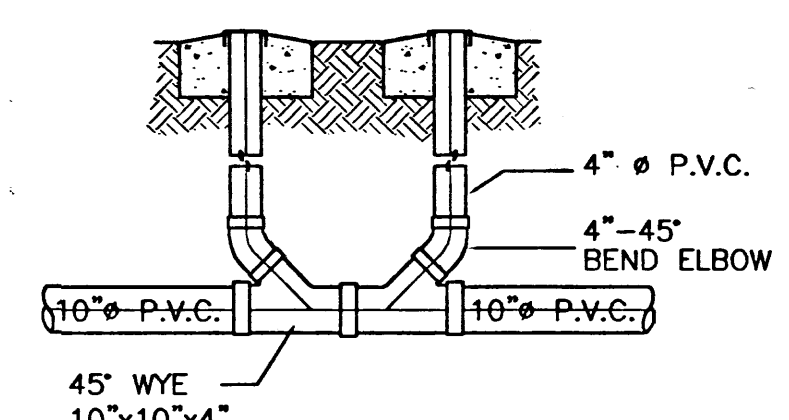
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LEGEND

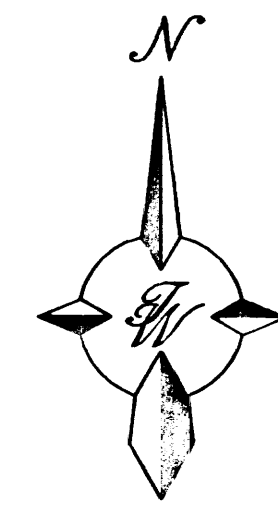
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION



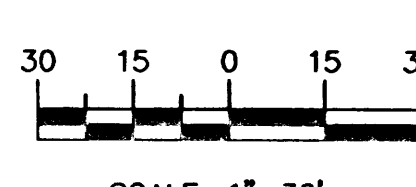
CLEANOUT CAP DETAIL
NTS



CLEANOUT DETAIL
NTS

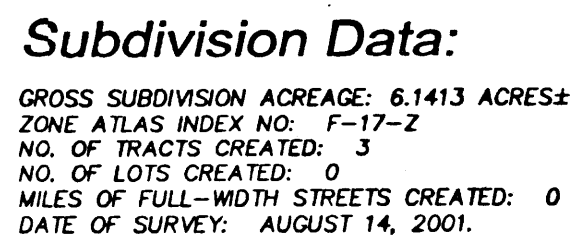
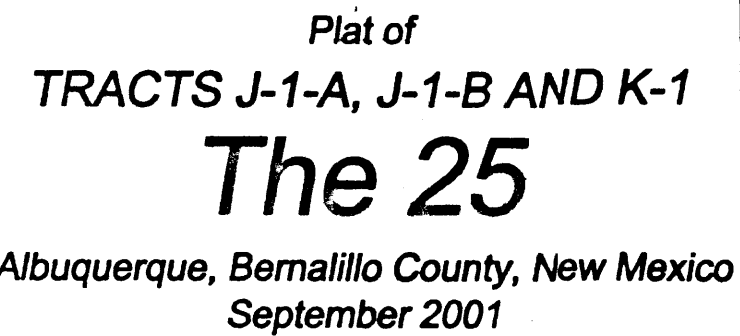


GRAPHIC SCALE



ROUGH GRADING APPROVAL

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>DRURY INN</p> <p>GRADING AND DRAINAGE PLAN</p> <p>TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p>	<p>DRAWN BY JDN</p> <p>DATE 11-08-01</p> <p>2141GR.DWG</p> <p>SHEET # C-102</p> <p>JOB # 21041</p>
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A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTIONS 26 AND 35, TOWNSHIP ELEVEN (11) NORTH, RANGE THREE (3) EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT K, THE 25, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 23, 1999, IN VOLUME 99C, FOLIO 318, TOGETHER WITH TRACT J-1, THE 25, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 3, 2001, IN VOLUME 2001C, FOLIO 4 BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THENCE FROM SAID BEGINNING POINT, LEAVING SAID NORTH RIGHT OF WAY LINE, N 66°01'49" W, ALONG SAID EAST RIGHT OF WAY LINE OF JEFFERSON STREET, N.E., A DISTANCE OF 25.75 FEET TO AN ANGLE POINT OF SAID TRACT, MARKED BY A FOUND N.M.S.H.T.D. RIGHT OF WAY MARKER (STATION 54+00.00);

THENCE ALONG A NON TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 140.00 FEET, AN ARC LENGTH OF 11.58' FEET AND A CHORD OF N 02°40'21" W, A DISTANCE OF 11.58 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 160.00 FEET, AN ARC LENGTH OF 54.18 FEET AND A CHORD OF N 10°00'11" W, A DISTANCE OF 53.92 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 562.62 FEET, AN ARC LENGTH OF 111.93 FEET AND A CHORD OF N 14°00'12" W A DISTANCE OF 111.75 FEET TO A POINT OF COMPOUND CURVATURE;

THENCE ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS 744.50 FEET, AN ARC LENGTH OF 220.82 FEET AND A CHORD OF N 00°14'50" W A DISTANCE OF 220.02 FEET TO A POINT OF COMPOUND CURVATURE;

THENCE ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS 200.00 FEET, AN ARC LENGTH OF 72.80 FEET AND A CHORD OF S 66°07'06" E A DISTANCE OF 72.39 FEET TO A POINT;

THENCE S 55°41'28" E. A DISTANCE OF 113.10 FEET TO A POINT OF TANGENCY;

THENCE ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS 286.04 FEET, AN ARC LENGTH OF 99.72 FEET AND A CHORD OF S 45°31'55" E A DISTANCE OF 99.21 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS 311.06 FEET, AN ARC LENGTH OF 90.32 FEET AND A CHORD OF S 43°49'03" E A DISTANCE OF 90.01 FEET TO AN ANGLE POINT;

THENCE S 53°54'01" E, A DISTANCE OF 22.17 FEET TO A POINT OF CURVATURE;

THENCE ALONG A NON TANGENT CURVE TO THE LEFT, HAVING A RADIUS 314.04 FEET, AN ARC LENGTH OF 376.78 FEET AND A CHORD OF N-89°33'28" E A DISTANCE OF 354.57 FEET TO AN ANLGE POINT;

THENCE S 34°48'11" E, A DISTANCE OF 293.47 FEET TO AN ANGLE POINT;

THENCE S 70°07'52" W, A DISTANCE OF 547.30 FEET TO THE POINT OF BEGINNING CONTAINING 6.1413 ACRES
MORE OR LESS.

1. MISC. DATA: ZONING 1P
2. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
3. ALL DISTANCES ARE GROUND DISTANCES—US SURVEY FOOT.
4. THIS PROPERTY LIES WITHIN PROJECTED SECTIONS 26 & 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
5. THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO THREE NEW TRACTS
6. PLAT SHOWS ALL EASEMENTS OF RECORD.
7. SP NO. 2001400617

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL, POWER, AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT EASEMENT FOR UTILITIES AS SHOWN HEREON WITH SAME STIPULATIONS AS LISTED ABOVE FOR EXISTING UTILITIES. SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT THE COMMON ACCESS EASEMENT SHOWN HEREON.


PAR ASSET MANAGEMENT, INC.
AS AGENT FOR OWNER
AGB ALBUQUERQUE, L.L.C.
BY R. BRIAN PARKS
DEVELOPMENT MANAGER

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28th DAY OF SEPTEMBER 2001 BY R. BRIAN PARKS DEVELOPMENT MANAGER, PAR ASSET MANAGEMENT, INC AS AGENT FOR OWNER, AGB ALBUQUERQUE, LLC.

By Karen Steen
NOTARY PUBLIC

007

 OFFICIAL SEAL
Karen Stewart
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 1-5-2003

JOINT #5	10/4/01
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
Brenda A. Bish	10/4/01
CITY ENGINEER	DATE
Martin W. Eberoff	10/4/01
A.M.A.F.	DATE
Richard D. Dawk	10-07-01
TRAFFIC ENGINEER	DATE
El B. Hat	10/2/01
CITY SURVEYOR	DATE
N/A	
PROPERTY MANAGEMENT	DATE
Roger A. Green	10-4-01
WATER RESOURCES DEPARTMENT	DATE
Adrienne E. Candelaria	10/4/01
PARKS AND RECREATION DEPARTMENT	DATE
Rob Phil	10-4-01
PNM ELECTRIC SERVICES	DATE
Rob Phil	10-4-01
PNM GAS SERVICES	DATE
Rosauro P. Kniffin	10-4-01
QUEST CORPORATION	DATE
Sheld Watson	10-4-01
COMCAST CABLE	DATE

TREASURE'S CERTIFICATE

1 017 061 224 824 206
1 017 061 228 825 206 03
1 017 061 252 822 206 02
AGD ALUMINUM L.L.C.
COUNTY MANAGER'S OFFICE
Nancy Vignola 05 Oct 01

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 9/26/01
LARRY W. MEDRANO DATE
N.M.P.S. No. 11993

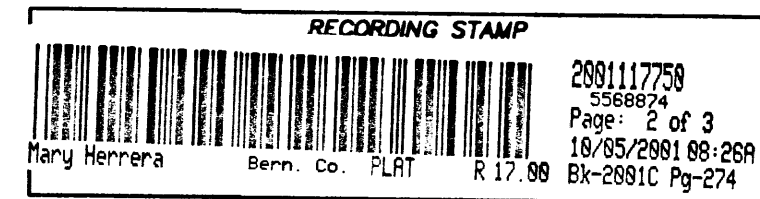


PRECISION SURVEYS, INC.

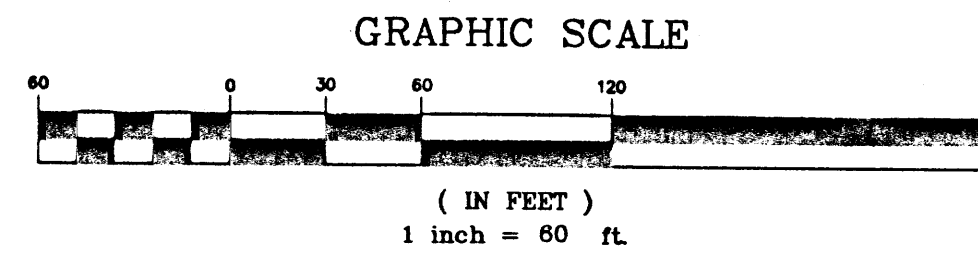
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. 10000420

Sheet 1 of 3



Plat of
TRACTS J-1-A, J-1-B AND K-1
The 25
Albuquerque, Bernalillo County, New Mexico
September 2001



Legend

- DENOTES FOUND REBAR W/CAP "PS 11993"
- DENOTES POINT SET BY THIS SURVEY REBAR WITH CAP "PS 11993"
- ▲ DENOTES FOUND CENTERLINE MONUMENT "PS 11993"
- DENOTES CALCULATED EASEMENT POINT -NOT SET
- DENOTES CONTROLLED ACCESS

Easement Legend (11/23/1999, 99C-318)

- EXISTING 10' PUBLIC UTILITY EASEMENT
- EXISTING 20' PUBLIC WATERLINE EASEMENT
- EXISTING 25' PUBLIC WATER AND SEWER EASEMENT
- EXISTING LANDSCAPE EASEMENT

EXISTING RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS, AND DRAINAGE EASEMENT FOR THE BENEFIT OF THE 25 (11/23/99, 99C-318). SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. THE OWNERS' RIGHTS AND OBLIGATIONS WITH RESPECT TO THESE RECIPROCAL RIGHTS SHALL BE FURTHER DEFINED IN THE DECLARATION OF CONDITIONS, RESTRICTIONS, COVENANTS, AND GRANT OF EASEMENTS FOR THE 25 PROJECT.

TRACT A
THE 25
(11/23/1999, 99C-318)

EXISTING 60' CROSS ACCESS EASEMENT
(11/23/1999, 99C-318)

TRACT I-1
THE 25
(01/03/2001, 2001C-4)

TRACT J-1-B

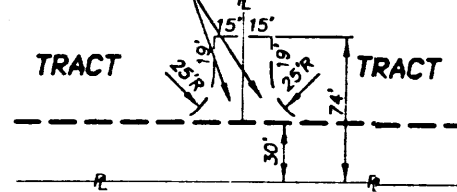
TRACT J-1-A

TRACT K-1

Jefferson Street, N.E.
(R.O.W. VARIES)

Pan American Freeway
(I-25 Frontage Road)
(R.O.W. VARIES)

COMMON ACCESS EASEMENT NOTE & DETAIL
COMMON ACCESS EASEMENTS, FOR THE BENEFIT OF THE PAIR OF LOTS WHICH EACH OF THESE EASEMENTS ENCOMBER, FOR INGRESS AND EGRESS TO THE BENEFITTED TRACTS, THE RIGHTS AND OBLIGATIONS OF THE OWNERS OF THE BENEFITTED TRACTS WITH RESPECT TO THESE COMMON ACCESS EASEMENTS SHALL BE FURTHER DEFINED IN THE DECLARATION FOR CONDITIONS, RESTRICTIONS, COVENANTS AND GRANT OF EASEMENTS FOR THE 25 PROJECT.



R=744.50'
L=220.82'
Tan=111.23°
Delta=16°59'40"
Ch=N 00°14'50" W
220.02'

R=286.04'
L=99.72'
Tan=50.37°
Delta=19°58'26"
Ch=S 45°31'55" E
99.21'

R=311.06'
L=90.32'
Tan=45.48°
Delta=16°38'15"
Ch=S 43°49'03" E
90.01'

R=314.04'
L=376.76'
Tan=214.78°
Delta=68°44'14"
Ch=N 89°33'28" E
354.57'

R=314.04'
L=178.60'
Tan=91.79°
Delta=68°44'14"
Ch=N 71°28'52" E
176.20'

R=314.04'
L=198.16'
Tan=102.50°
Delta=36°09'12"
Ch=S 74°39'01" E
194.89'

R=562.62'
L=111.93'
Tan=111.23°
Delta=11°23'57"
Ch=N 14°00'12" W
111.75'

R=160.00'
L=54.18'
Tan=27.35°
Delta=19°20'04"
Ch=N 10°00'11" W
53.92'

R=140.00'
L=11.58'
Tan=5.79°
Delta=04°44'26"
Ch=N 02°40'21" W
11.58'

Notes:
1. FOR EASEMENT INFORMATION SEE LAYOUT AND DETAILS ON SHEET 3 OF 3.
2. MEASURED BEARINGS AND DISTANCES MATCH RECORD PLAT BEARINGS AND DISTANCES.

NMESH MONUMENT "STA I-25-18" (FOUND IN PLACE)
NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD 1927
Y=1,503,603.74
X=395,426.52
G-C=0.99966733
DELTA ALPHA=-072°05"
EL=5125.7

PRECISION SURVEYS, INC.

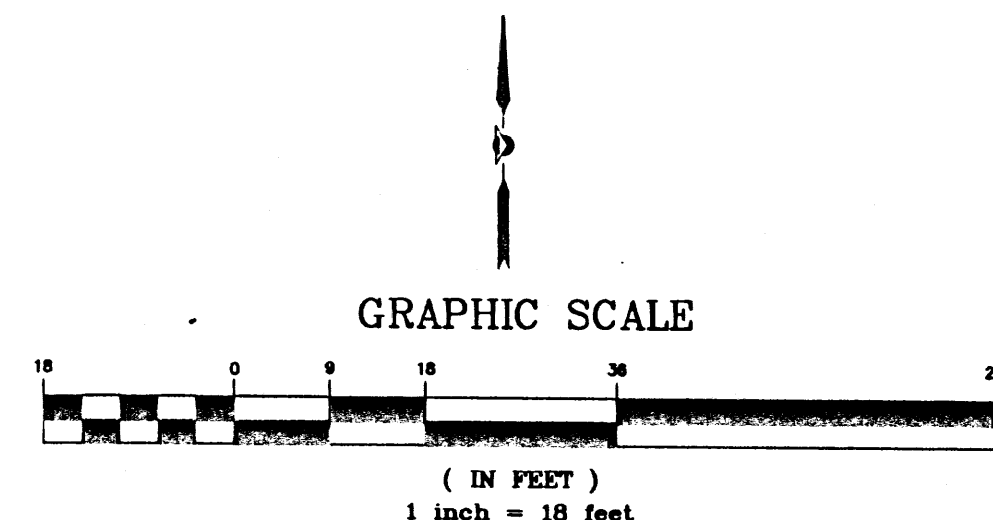
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ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. 1000420

Sheet 2 of 3

EXISTING RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS, AND DRAINAGE EASEMENT FOR THE BENEFIT OF THE BENEFIT D. E. F. G. H. I. J. K. L. OF THE 25 (11/23/99, 99C-318). SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. THE OWNERS RIGHTS AND OBLIGATIONS WITH RESPECT TO THESE RECIPROCAL RIGHTS SHALL BE FURTHER DEFINED IN THE DECLARATION OF CONDITIONS, RESTRICTIONS, COVENANTS, AND GRANT OF EASEMENTS FOR THE 25 PROJECT.

Plat of
TRACTS J-1-A, J-1-B AND K-1
The 25
Albuquerque, Bernalillo County, New Mexico
September 2001



Existing Access
Easement Details

Existing Water & Sanitary Sewer
Easement Details

Curve Table

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
1	170.00'	58.79'	29.69'	N 65°35'53" W	58.50'	19°48'49"
2	256.05'	89.25'	45.08'	N 45°31'59" W	88.80'	19°58'17"
3	344.05'	498.62'	304.59'	S 77°03'57" E	456.11'	83°02'17"
4	25.00'	36.55'	22.42'	N 76°41'45" W	33.38'	83°48'39"
5	112.14'	48.74'	24.76'	N 49°52'04" W	48.36'	24°54'10"
6	91.61'	23.16'	11.64'	N 44°37'49" W	23.10'	14°29'02"
7	290.00'	62.70'	31.47'	N 49°29'51" W	62.58'	12°23'14"
8	342.01'	61.56'	30.86'	S 48°27'37" E	61.48'	10°18'45"
9	267.66'	80.28'	40.45'	S 62°36'55" E	79.98'	17°11'07"
10	57.00'	63.60'	35.57'	S 77°17'40" E	60.35'	63°55'44"
11	278.00'	50.20'	25.17'	S 88°41'56" E	50.13'	10°20'45"
12	290.00'	35.56'	17.80'	N 82°36'57" W	35.53'	07°01'30"
13	367.97'	169.36'	85.68'	N 68°41'21" E	166.90'	26°12'56"
14	357.31'	163.49'	83.20'	N 68°41'21" E	162.06'	26°12'56"
15	337.97'	83.91'	42.17'	N 87°33'05" E	83.69'	14°13'28"
16	47.00'	56.85'	53.44'	S 77°17'40" E	53.44'	69°17'54"
17	304.37'	100.05'	50.48'	S 61°41'30" E	99.60'	18°50'02"
18	332.00'	74.06'	37.18'	S 49°41'40" E	73.91'	12°46'51"
19	300.00'	64.86'	32.56'	S 49°29'51" W	64.73'	12°23'14"
20	23.00'	25.30'	14.10'	N 87°12'15" W	24.04'	63°01'33"
21	288.00'	62.35'	31.30'	N 49°29'21" W	62.23'	12°24'14"
22	344.00'	76.74'	38.53'	S 49°41'40" E	76.58'	12°46'52"
23	344.04'	372.75'	207.04'	S 87°32'47" E	354.79'	62°04'36"
24	25.00'	36.55'	25.17'	S 88°41'56" E	50.13'	10°20'45"
25	25.00'	36.46'	22.34'	N 76°35'27" W	33.32'	83°34'03"
26	332.04'	359.49'	199.63'	S 87°21'34" E	342.18'	87°21'34"
27	332.00'	74.06'	37.18'	S 49°41'40" E	73.91'	12°46'52"
28	300.00'	64.86'	32.56'	N 49°29'51" W	64.73'	12°23'14"
29	35.00'	31.20'	16.72'	N 81°13'31" W	30.17'	51°04'04"

Existing Public Utility & Sanitary Sewer
Easement Details

Existing Landscape
Easement Details

Line Table

LINE	LENGTH	BEARING
L1	113.01'	S 55°41'29" E
L2	21.17'	S 34°48'26" E
L3	15.01'	N 55°11'34" E
L4	30.22'	S 31°12'08" W
L5	10.00'	S 58°47'52" E
L6	26.10'	N 31°12'08" E
L7	28.59'	S 31°12'08" W
L8	10.00'	S 58°47'52" E
L9	33.37'	N 31°12'08" E
L10	19.99'	S 58°47'52" E
L11	77.06'	N 76°21'27" E
L12	14.50'	S 13°38'33" E
L13	10.00'	N 76°21'27" E
L14	14.50'	N 13°38'33" W
L15	17.36'	N 76°21'27" E
L16	66.68'	N 53°29'43" E
L17	12.00'	S 36°23'00" W
L18	34.67'	S 55°32'32" E
L19	12.00'	N 33°54'55" E
L20	17.36'	N 76°21'27" E
L21	66.68'	N 53°29'43" E
L21	3.80'	N 34°48'26" W



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5568824
Page: 3 of 3
18/05/2001 08:26A
BX-2881C Pg-274

Easement Legend (11/23/1999, 99C-318)

	EXISTING 10' PUBLIC UTILITY EASEMENT
	EXISTING 20' PUBLIC WATERLINE EASEMENT
	EXISTING 25' PUBLIC WATER AND SEWER EASEMENT
	EXISTING LANDSCAPE EASEMENT



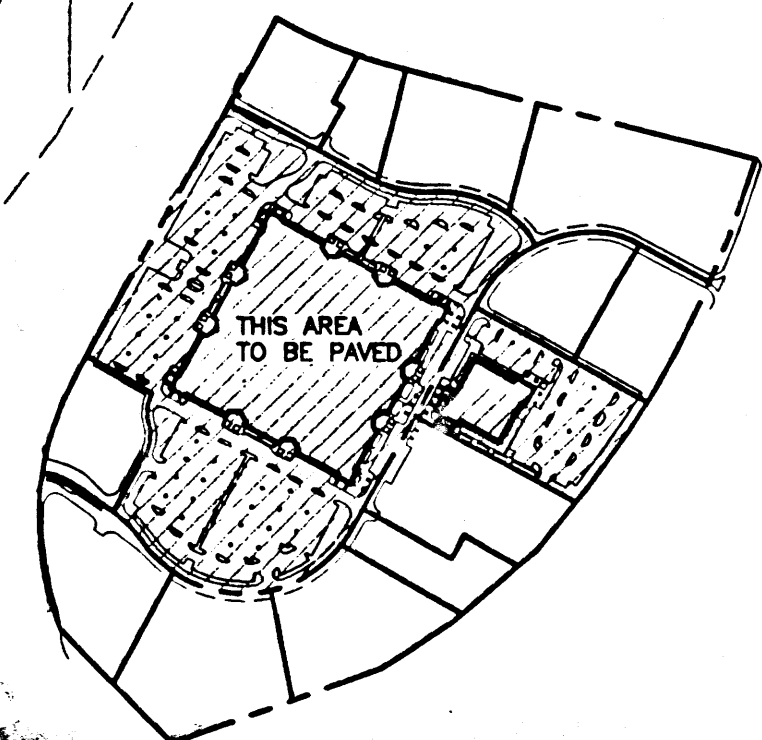
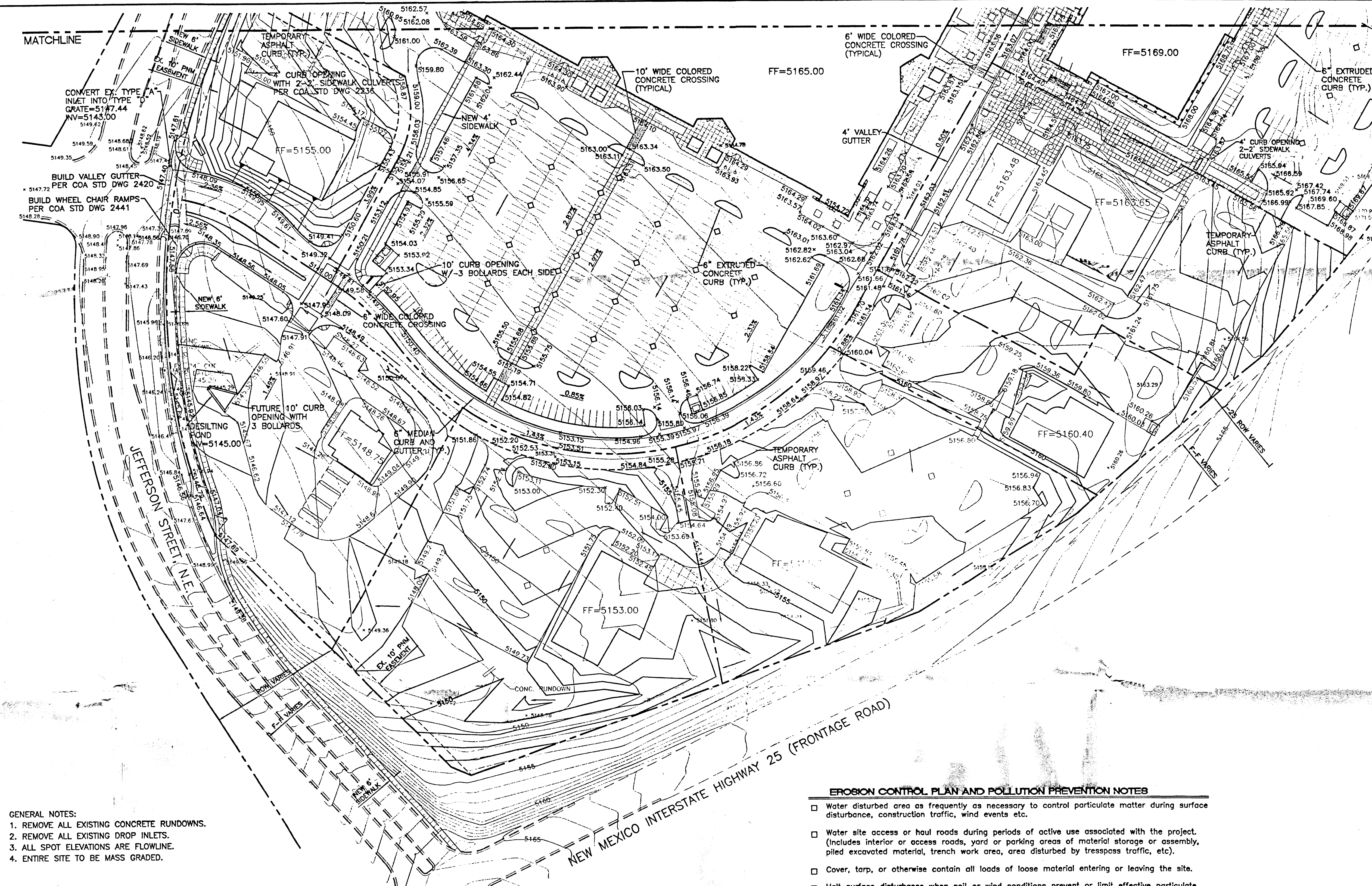
PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 858 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. 1000420

Sheet 3 of 3

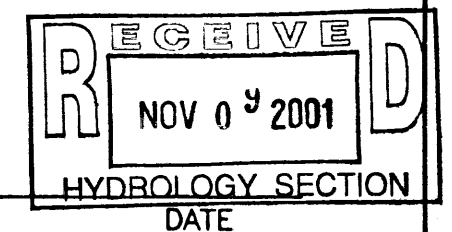
010133P



LEGEND	
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED INLET
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	TEMPORARY ASPHALT CURB
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	MATCH LINE

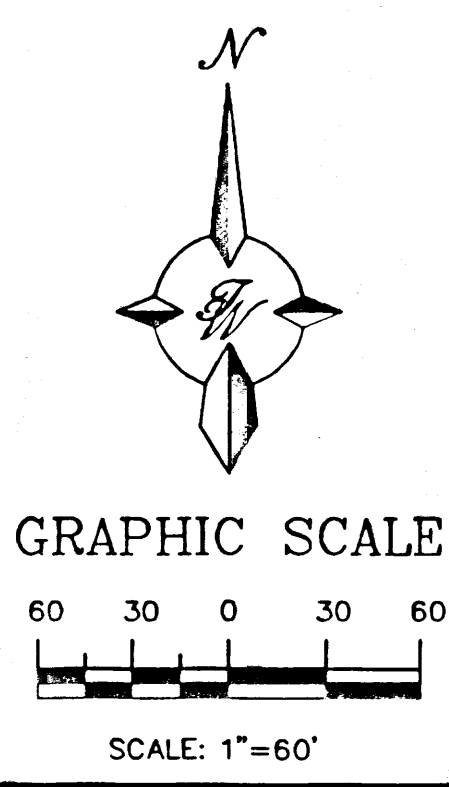
- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 795-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO COMMERCIAL STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		



ROUGH GRADING APPROVAL

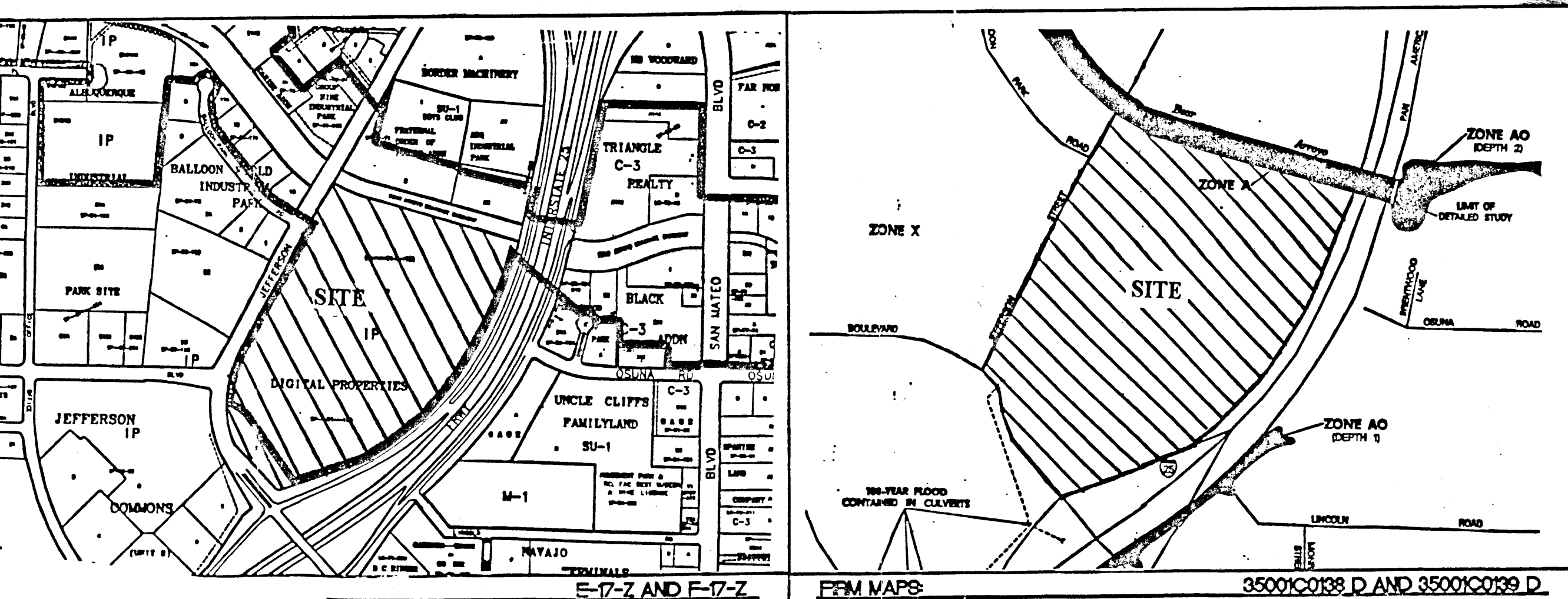
	25 GRADING AND DRAINAGE PLAN SHEET 'A' TIERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	DRAWN BY JDN
		DATE 05-05-99
		9854GRA1.DWG
		SHEET # 3 OF 21
		JOB # 980054



EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

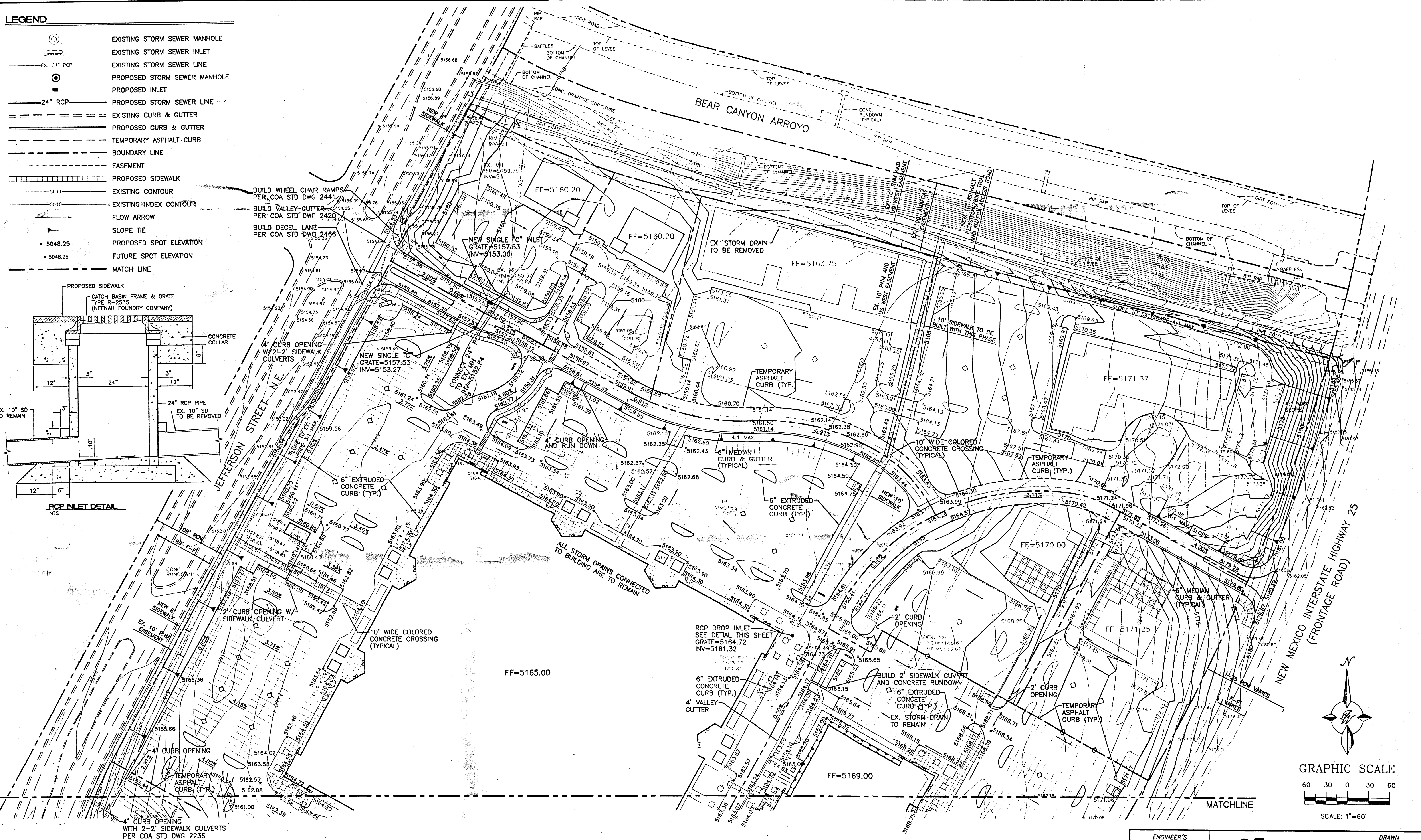
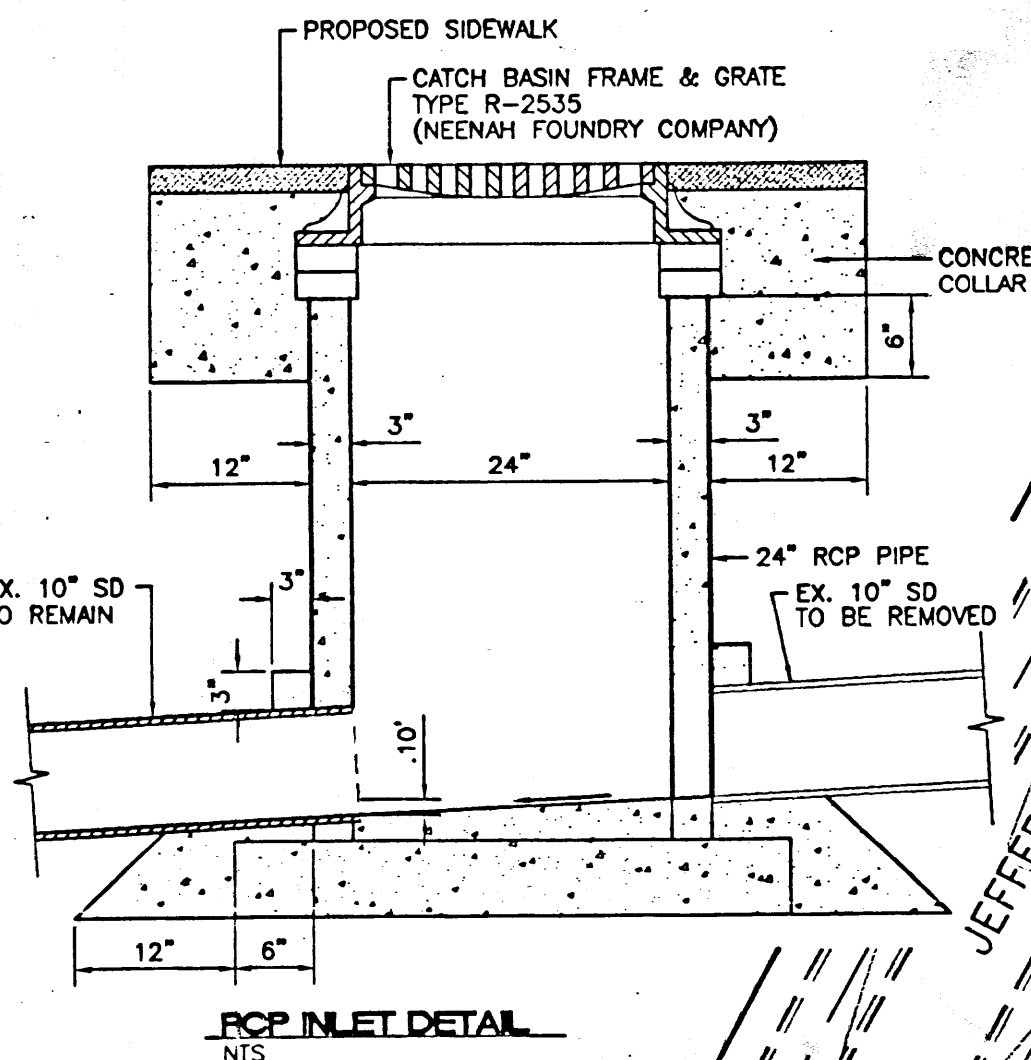
- Water disturbed area as frequently as necessary to control particulate matter during surface disturbance, construction traffic, wind events etc.
 - Water site access or haul roads during periods of active use associated with the project. (Includes interior or access roads, yard or parking areas of material storage or assembly, piled excavated material, trench work area, area disturbed by trespass traffic, etc).
 - Cover, tarp, or otherwise contain all loads of loose material entering or leaving the site.
 - Halt surface disturbance when soil or wind conditions prevent or limit effective particulate matter control. (No "transported material").
 - Restore all off-site or excess surface disturbance areas to near pre-existing condition.
 - Re-seeding undeveloped disturbed area either on site or off-site to City of Albuquerque Specifications #1012-"Native Grass Seeding"
 - Clean-up particulate and transported material from nearby property and the public right-of-way.
 - Construction of temporary erosion control fencing.
 - Special measures required. (SEE PP1 & PP2)
 - Control of alternate access route or trespass traffic.
 - Stabilization of area proposed for future sale or future development.
1. Contractor is responsible for obtaining a topsoil disturbance permit prior to beginning work.
 2. Contractor is responsible for cleaning all sediment out of the existing right-of-way.
 3. Repair of damaged facilities and clean-up of sediment accumulated on adjacent properties and in public facilities is the responsibility of the contractor.
 4. All exposed earth surfaces must be protected from wind and water erosion prior to final acceptance of any project.
 5. Contractor is responsible for maintaining all storm sewer run off on site.

- GENERAL NOTES:**
1. REMOVE ALL EXISTING CONCRETE RUNDOWNS.
 2. REMOVE ALL EXISTING DROP INLETS.
 3. ALL SPOT ELEVATIONS ARE FLOWLINE.
 4. ENTIRE SITE TO BE MASS GRADED.



LEGEND

- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED INLET
- PROPOSED STORM SEWER LINE
- 24" RCP
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- TEMPORARY ASPHALT CURB
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- FUTURE SPOT ELEVATION
- MATCH LINE



- GENERAL NOTES:
1. ALL EXISTING DROP INLETS ARE TO BE REMOVED.
 2. EX. 10" STORM DRAIN ALONG NORTH PROPERTY LINE IS TO BE REMOVED.
 3. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE SPECIFIED.
 4. ALL EX. STORM SEWER MANHOLE RIMS WILL NEED TO BE ADJUSTED TO NEW GRADE.

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNON P.E. #7869</p>	<p>25</p> <p>GRADING AND DRAINAGE PLAN SHEET "B"</p> <p>TERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592</p>	<p>DRAWN BY JDN</p> <p>DATE 05-05-99</p> <p>9854GRB1.DWG</p> <p>SHEET # 4 OF 21</p> <p>JOB # 980054</p>
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