

GENERAL INFORMATION

SCOPE:  
THE PROPOSED IMPROVEMENTS INCLUDE APPROXIMATELY 30,000 SF (APPROX. FOOTPRINT) COMMERCIAL BUILDING WITH ADJACENT CONCRETE AND ASPHALT PAVED WALKWAYS / PARKING AREAS, LANDSCAPED AREAS, GENERAL SITE WORK AND SITE REGRADING.

THE PRESENT SITE IS CURRENTLY UNDEVELOPED PROPERTY LOCATED WITHIN THE JEFFERSON COMMONS II SUBDIVISION AT THE CORNER OF JEFFERSON BLVD. AND I-25 FRONTAGE ROAD. THE SITE SLOPES AT APPX. 2.2% TO THE SOUTHWEST. THE PROPERTY TO THE WEST IS A DEVELOPED COMMERCIAL PROPERTY (UNDER DEVELOPMENT) AND THE PROPERTY TO THE SOUTH IS UNDEVELOPED COMMERCIAL.

- THE INTENT OF THIS PLAN IS TO SHOW:
1. GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
  2. THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
  3. THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
  4. THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.

DRAINAGE PLAN CONCEPT  
THE DRAINAGE CONCEPT ESTABLISHED FOR LOT 1 IS COVERED IN THE APPROVED DRAINAGE MASTER PLAN FOR JEFFERSON COMMONS II. THIS MASTER PLAN BY C.L. WEISS ENGINEERING, INC. WAS APPROVED BY THE C.O.A. HYDROLOGY DEPT. ON NOVEMBER 24TH, 1997 (F16-D63).

REFERENCING THE MASTER PLAN (MP), FLOWS FROM LOT 1 ARE TO BE ROUTED FOR COLLECTION INTO THE EXISTING MASTER STORM SEWER (SS) SYSTEM. SUBSEQUENT GRADING DESIGN OF THIS PROPERTY HAS ESTABLISHED SEPARATE SUB-BASINS. THESE SUB-BASIN FLOWS WILL BE PICKED UP BY INTERNAL PRIVATE SS SYSTEMS WITHIN LOT 1 AND ROUTED TO THE MASTER STORM DRAIN SYSTEM AS SHOWN ON THIS PLAN. SEE THE SUPPLEMENTAL INFORMATION INCLUDED WITH THIS SUBMITTAL FOR ADDITIONAL INFORMATION.

OFFSITE FLOWS: NO OFF-SITE BASINS ENTER THIS PROPERTY.

GENERAL NOTES:

LEGAL: LOT 1, JEFFERSON COMMONS II, ALBUQ., NM.

SURVEYOR: FORSTBAUER SURVEYING CO. - RON FORSTBAUER, 1100 ALVARADO DR. NE, ALBUQ. 87110 - MAY 1997 (UPDATED APRIL 2001)

B.M.: CITY OF ALBUQUERQUE I25-18, A NMSHC BRASS CAP IN TOP OF A CONCRETE POST FLUSH WITH THE GROUND. THE STATION IS LOCATED ON THE EAST FRONTAGE ROAD OF I-25, 0.6 MILES NORTH OF ITS INTERSECTION WITH MONTGOMERY BOULEVARD, NE. ELEVATION: 5125.70 (M.S.L.D.)

FLOOD HAZARD: PER F.I.R.M. PANEL 138 OF 825, THE PROPERTY IS NOT LOCATED WITHIN A FLOOD ZONE.

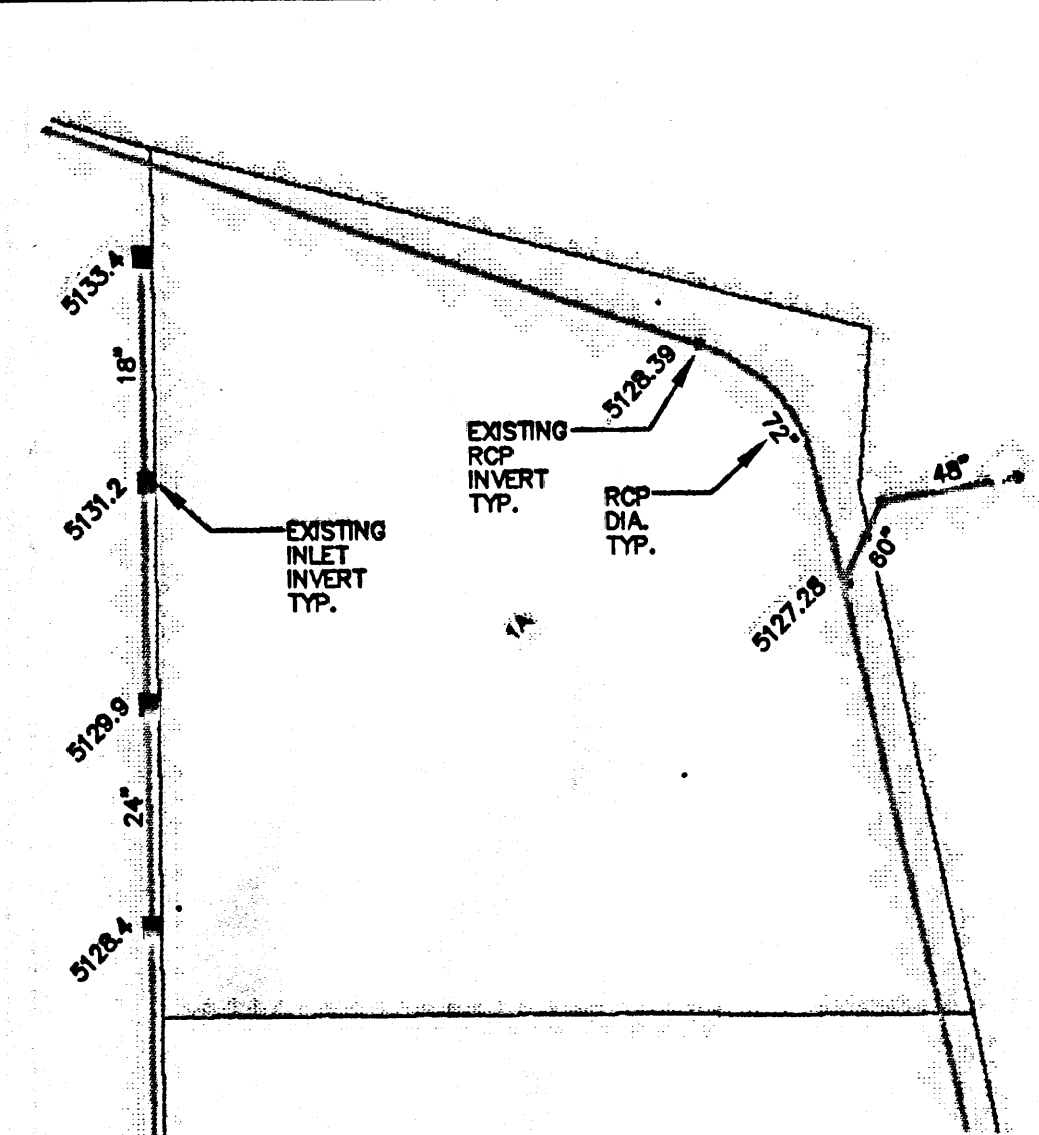
OFF-SITE DRAINAGE: PER THE DRAINAGE MANAGEMENT PLAN FOR JEFFERSON COMMONS PHASE II, NO OFF-SITE DRAINAGE WILL AFFECT THIS PROPERTY.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ON THE WEST PROPERTY LINE.

GENERAL NOTES

- A. ALL SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT TOP OF PAVING UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS.
- B. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS

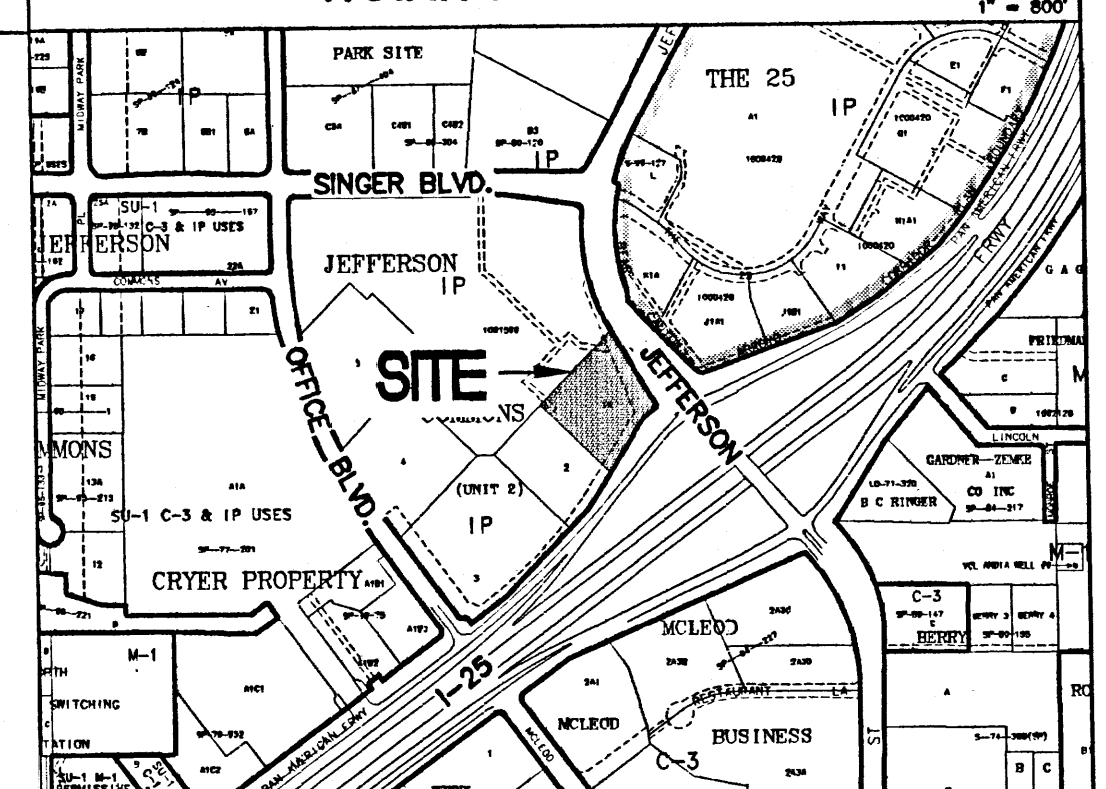
EXISTING STORM DRAIN INFORMATION



LEGEND

- SIDEWALK CURB and GUTTER (EXISTING, PROPOSED)
- PROPERTY LINE
- + 8.1 EXISTING SPOT ELEVATION
- 20 EXISTING CONTOUR
- + 75.2 PROPOSED SPOT ELEVATION
- 30 PROPOSED CONTOUR
- SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF)
- TC TOP OF CURB ELEVATION
- FL FLOW LINE ELEVATION
- F.F. FINISHED FLOOR ELEVATION

VICINITY MAP #F-17



KEYED NOTES

- 1 THIS AREA CURRENTLY UNDER CONSTRUCTION (SAME OWNER).
- 2 EXISTING ASPHALT PAVING THIS AREA. MATCH TOP OF EXISTING PAVING TO PROVIDE SMOOTH RIDING TRANSITION. SAWCUT EXISTING PAVING IF NECESSARY TO PROVIDE CLEAN BONDING EDGE.
- 3 OWNER'S OPTION TO CONSTRUCT MEDIAN CURB AND GUTTER, CONCRETE HEADER CURB OR EXTRUDED CONCRETE CURB AT ALL CURBED AREAS.
- 4 ROOF FLOWS THIS BUILDING TO BE COLLECTED WITHIN AN INTERNAL DRAIN SYSTEM AND RELEASED DIRECTLY INTO THE EXISTING MASTER STORM DRAIN.
- 5 CONSTRUCT CONCRETE WALK (WITH TURNED DOWN EDGE ADJACENT TO ASPHALT PAVED AREAS) THIS AREA. MAX. SLOPE FOR ACCESS = 5%. SEE ARCHITECTURAL FOR ACCESS RAMPS AND ADDITIONAL INFORMATION.
- 6 HANDICAP PARKING AREA. CONTRACTOR TO RAMP ASPHALT PAVING FLUSH WITH TOP OF WALK OVER ONE ADJACENT PARKING SPACE.
- 7 PROPOSED ASPHALT PAVING. CONSTRUCT AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, PAVING SECTION, ETC. PAVING SLOPE VARIES WITH 0.0100' / MINIMUM AND 0.0800' / MAXIMUM.
- 8 HIGH POINT IN PAVEMENT / LANDSCAPING THIS AREA.
- 9 INSTALL SINGLE TYPE 'D' STORM SEWER INLET WITH C.O.A. ALBUQUERQUE GRATE (STD. DWGS. 2206 AND 2220).
- 10 INSTALL 12" DIA. METAL STORM PIPE TO DIRECT FLOWS TO MASTER STORM DRAIN SYSTEM. SEE LOT 1 DRAINAGE REPORT FOR ADDITIONAL INFORMATION. NOTE: ALL STORM SEWER LINES SHALL BE CONTECH ULTRAFLOW STORM SEWER PIPE - 16 GAUGE. SEE PLAN FOR LENGTHS AND SLOPES.
- 11 CONNECT NEW 12" LOT 1 STORM DRAIN TO EXISTING MASTER STORM DRAIN AT EXISTING INLET. MAKE WATERTIGHT CONNECTIONS.
- 12 EXISTING STORM DRAIN INLET MANHOLE. ADJUST RIM AS NECESSARY TO MATCH FINISHED GRADE ELEVATION.
- 13 PROVIDE GRADE TRANSITION WITHIN LANDSCAPED AREA. PROVIDE CONTECH C45 PERMANENT EROSION CONTROL WITH ANGULAR COBBLE FACING FOR ALL NEW SLOPES >= 3:1
- 14 PARKING AREA BENEATH BUILDING. SEE ARCHITECTURAL FOR EXTENTS, DRAINAGE, STRIPING, ETC.
- 15 EXTENTS OF LOT 1 DEVELOPMENT
- 16 ON-SITE RETAINING WALL(S) TO BE CONSTRUCTED INSIDE PROPERTY LINE THIS AREA TO ACHIEVE GRADE DIFFERENCES. SEE ARCHITECTURAL DESIGN BY OTHERS.
- 17 HATCHED AREA REPRESENTS AREA 'OPEN TO BELOW' TO LOWER LEVEL PARKING. SEE ARCHITECTURAL FOR GRADES.
- 18 EXISTING PERMANENT EASEMENT (DRAINAGE).
- 19 EXISTING STORM DRAIN WITHIN EASEMENT.
- 20 INSTALL 4' DIA. MANHOLE (C.O.A. TYPE 'C' - STD. DTL. 2101) AT EXISTING 24" MAIN STORM DRAIN AT LOCATION / RIM / INVERT ELEVATION SHOWN. MAKE WATERTIGHT CONNECTIONS. CONNECT NEW 12" LOT 1 STORM DRAIN TO EXISTING MASTER STORM DRAIN AT NEW MANHOLE INVERT ELEVATION SHOWN.



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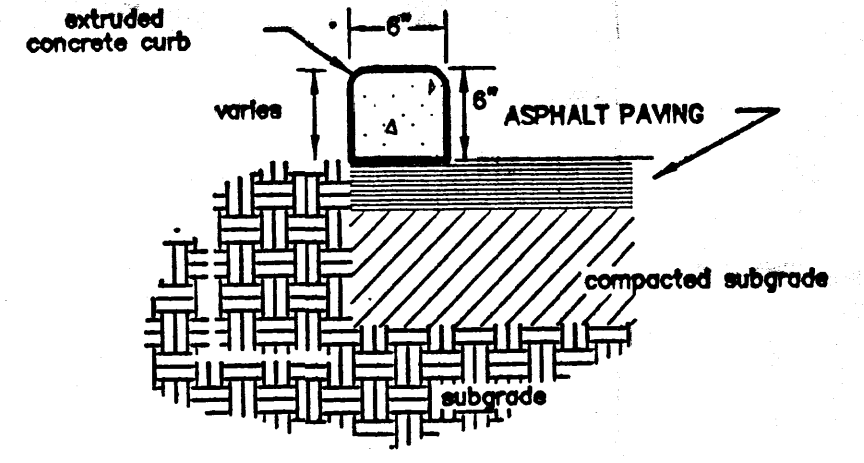
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**Jefferson Commons II - Lot 1**  
**REVISIONS**  
Chant Associates

GRADING AND DRAINAGE PLAN

Checked By:	Drawn By:	No.	Revision:	C-1
SMM	BJB			
Date:	Job Number:			SH OF
10.14.04	1380			

- general notes
1. provide contraction joints @ 10' o.c. max. provide separation joints adjacent to bligs, walls and curb returns
  2. edges should be removed with 5/8" edging tool



extruded concrete curb