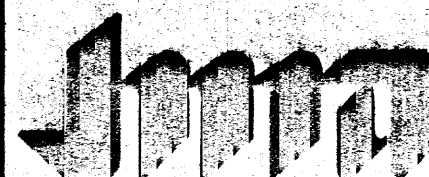


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Plot Time: 2:51 pm



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4200
FAX: 505 345-4254 E-mail: jmort@jma.com

PAVING SITE PLAN - TCL
FIRST FEDERAL BANK • 25 DEVELOPMENT

LEGAL DESCRIPTION:

TRACT L OF THE 25, ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

LEGEND

00.0	ELEVATION AT GROUND
00.00 SW	ELEVATION AT TOP OF FINISHED SURFACE
00.00 CL	ELEVATION AT CENTERLINE OF SIDEWALK
00.00 BC	ELEVATION AT CENTERLINE OF DRIVING LANE
00.00 FL	ELEVATION AT FLOWLINE OF CURB
00.00 RM	ELEVATION AT RIM OF MANHOLE
☒	TRAFFIC SIGNAL BOX
○	TRAFFIC SIGNAL
○	LIGHT POLE
○	POWER POLE
---	OVERHEAD UTILITY LINE
---	UNDERGROUND GAS LINE
---	UNDERGROUND SEWER LINE
---	UNDERGROUND WATER LINE
---	ANCHOR
○	SEWER MANHOLE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND CABLE TV LINE
○	WATER METER
○	WATER VALVE
○	TELEPHONE SERVICE BOX
○	CABLE TV RISER
○	ELECTRIC RISER
○	UTILITY RISER

PROPOSED CONCRETE
PROPOSED ASPHALT PAVEMENT
PROPOSED RETAINING WALL
(SEE SHEETS AS 101 & AS 201)

RECORD INFORMATION

RECORD INFORMATION AS DESIGNED
24 24.7 RECORD INFORMATION

ENGINEER'S TCL CERTIFICATION

I, JEFFREY G. MORTENSEN, NME 8547, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THE PARKING LOT LAYOUT AND TRAFFIC CIRCULATION OF THIS PROJECT HAS BEEN ACCOMPLISHED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02/14/2003 AND REVISED 04-01-2003. THE RECORD INFORMATION COLLECTED 01/10/2004 AND EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE NEW BUILDING.

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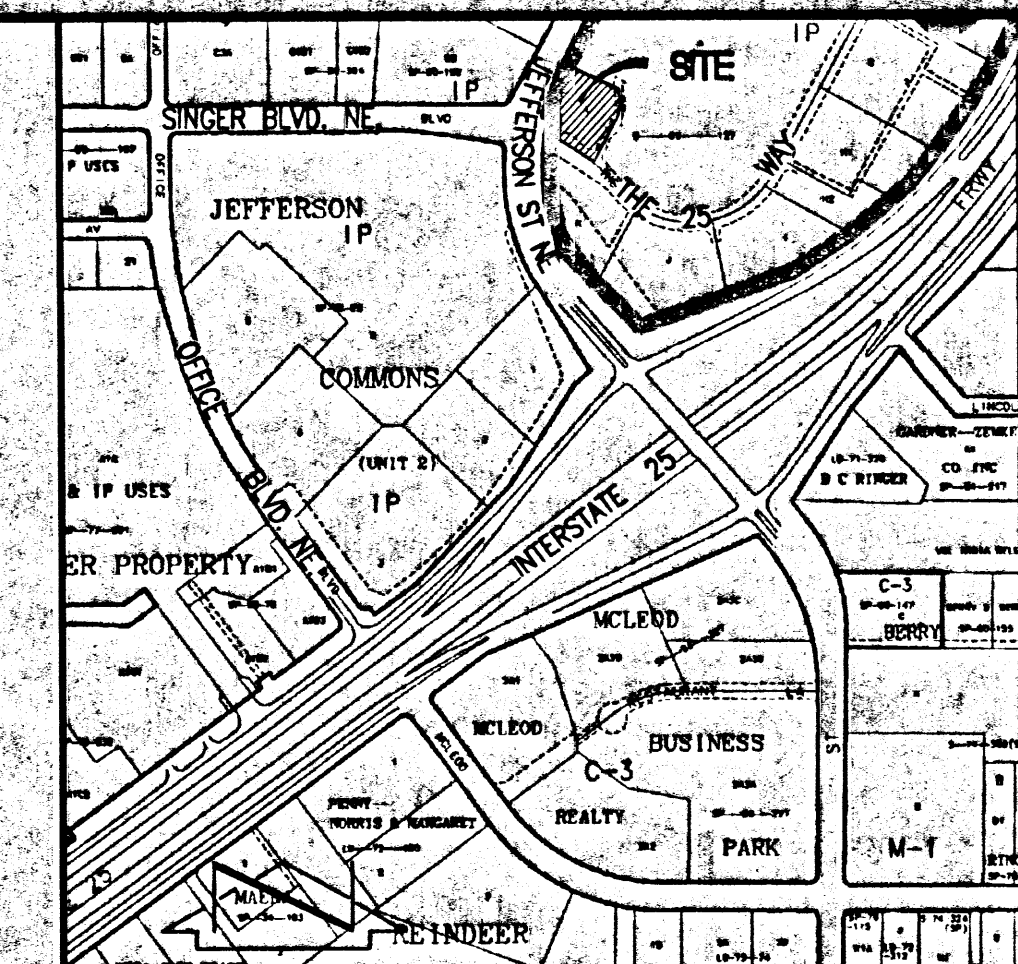
JEFFREY G. MORTENSEN, NME 8547
DATE 01-12-2004



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	112.00'	12.15'	6°12'49"	S11°36'50"E	12.14'
C2	112.00'	85.38'	43°40'49"	N07°07'10"E	83.33'
C3	200.00'	72.79'	20°51'11"	N66°07'06"W	72.39'
C4	744.50'	55.01'	4°14'01"	S10°51'40"W	55.00'
C5	765.51'	203.33'	15°13'06"	S20°35'01"W	202.73'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N77°01'36"W	20.97'

NOTE:
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR INFORMATION ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS BASED UPON THE A.L.T.A./A.C.S.M. LAND TITLE SURVEY AND TOPOGRAPHIC EXHIBIT OF TRACT L, THE 25, PERFORMED BY SURVEYS SOUTHWEST, LTD., IN JULY, 2002.

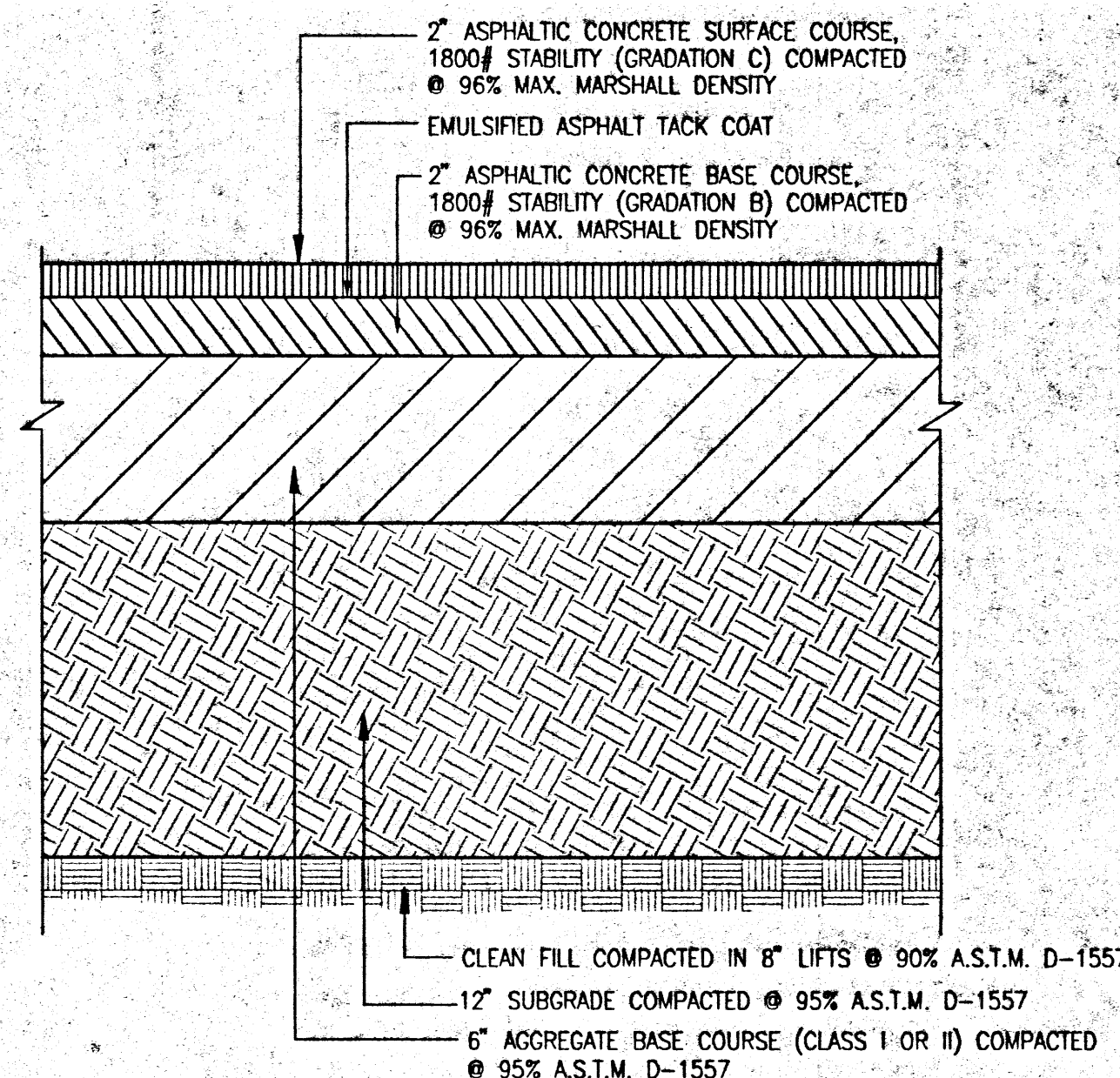


VICINITY MAP

F-17

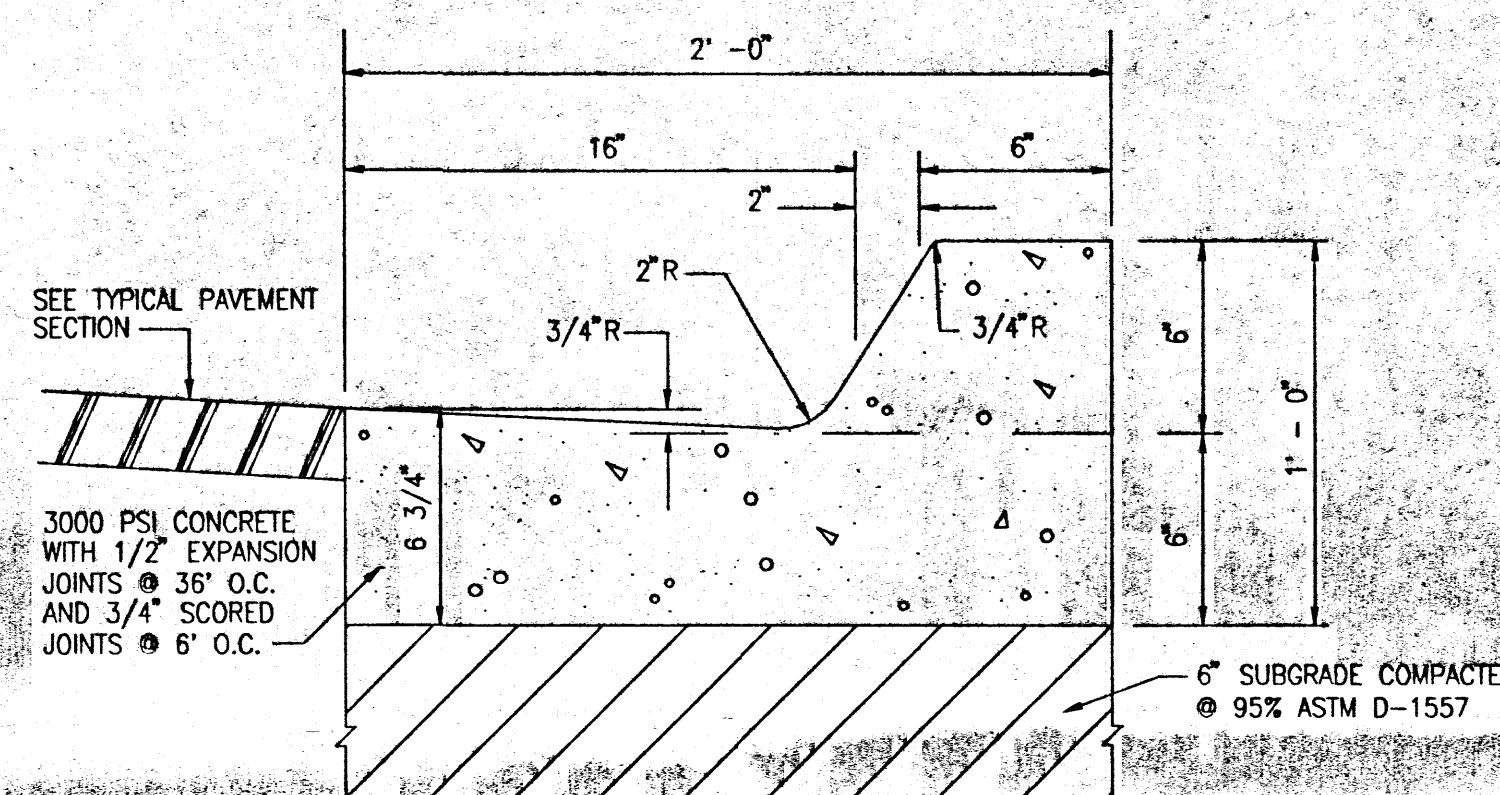
PAVING KEYED NOTES

1. CONSTRUCT ASPHALT PAVING PER TYPICAL SECTION, SHEET 2
2. CONSTRUCT 6" CURB & GUTTER PER TYPICAL SECTION, SHEET 2
3. CONSTRUCT 5" (MIN.) CONCRETE SIDEWALK @ BACK OF CURB, SLOPE @ 2% TOWARD STREET
4. CONSTRUCT 4" CONCRETE SIDEWALK; SLOPE @ 2% TOWARD STREET
5. NEATLY SAWCUT, REMOVE & DISPOSE EXISTING ASPHALT CURB & ASPHALT PAVING; CONSTRUCT STD. CURB & GUTTER PER COA STD DWG 2415; REPLACE ASPHALT PAVING PER COA STD DWG 2465.
6. CONSTRUCT REFUSE PAD PER COA SOLID WASTE, DEPT. STD.
7. INSTALL 6" CONCRETE WHEEL STOP PER TYPICAL SECTION, SHEET 2
8. PAINT 4" WIDE PAVEMENT MARKING W/ WHITE TRAFFIC PAINT, MIN 2 COATS (TYPICAL).
9. PAINT 4" WIDE CROSS-HATCH (2" CC) PAVEMENT MARKINGS @ 45deg W/ WHITE TRAFFIC PAINT, MIN 2 COATS
10. INSTALL "DO NOT ENTER" SIGN (RS-1) PER MUTCD
11. PAINT ONE-WAY DIRECTIONAL ARROW PER MUTCD
12. EXISTING ASPHALT PAVING
13. NEATLY SAWCUT, REMOVE & DISPOSE OF ENCROACHING ASPHALT PAVING & CURB; EXISTING PARKING ON TRACT A TO BE RECONFIGURED BY THAT ADJACENT PROPERTY OWNER IN CONJUNCTION WITH THIS PROJECT
14. INSTALL 1-ADA COMPLIANT HANDICAP PARKING SIGN (MAINTAIN 3'-0" CLEAR PATH) BUILDING MOUNTED
15. INSTALL 1-ADA COMPLIANT HANDICAP PARKING SIGN W/ VAN ACCESSIBLE PLACARD (MAINTAIN 3'-0" CLEAR PATH) BUILDING MOUNTED
16. INSTALL 1-ADA COMPLIANT HANDICAP PARKING SPACE PAVEMENT MARKING
17. DRIVE-UP BANKING CANOPY - SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS
18. DESIGNATE THESE 3 SPACES "EMPLOYEES ONLY" STENCILED ONTO PAVEMENT SURFACE WITH TRAFFIC PAINT, 2 COATS MIN
19. CONSTRUCT 2'-0" CONCRETE RUNDOWN PER TYPICAL SECTION, SHEET 2
20. TURNDOWN EDGE FLUSH W/ TOP OF ASPHALT PAVING
21. TRANSITION ASPHALT PAVING FROM FLUSH AT HANDICAP SPACES TO 6"
22. CONSTRUCT 6" TURNDOWN SIDEWALK PER TYPICAL SECTION, SHEET 2
23. CONSTRUCT 4" TURNDOWN SIDEWALK PER TYPICAL SECTION, SHEET 2
24. CONSTRUCT DOUBLE TURNDOWN PER TYPICAL SECTION, SHEET 2
25. CONSTRUCT 1 - SINGLE "C" STORM INLET PER C.O.A. STD. DWG. 2205. TRANSITION CURB HEIGHT FROM 6" TO 8" OVER 8'-0" TRANSITION (C.O.A. STD. DWG. 2207). REFER TO GRADING PLAN FOR GRATE & INLET ELEVATIONS.
26. CONSTRUCT 6" CONCRETE SIDEWALK @ BACK OF CURB SLOPING 2% TOWARD STREET; ADJUST ALL EXISTING UTILITIES TO GRADE.
27. NEW RETAINING WALL - REFER TO SHEETS AS 101 AND AS 201.



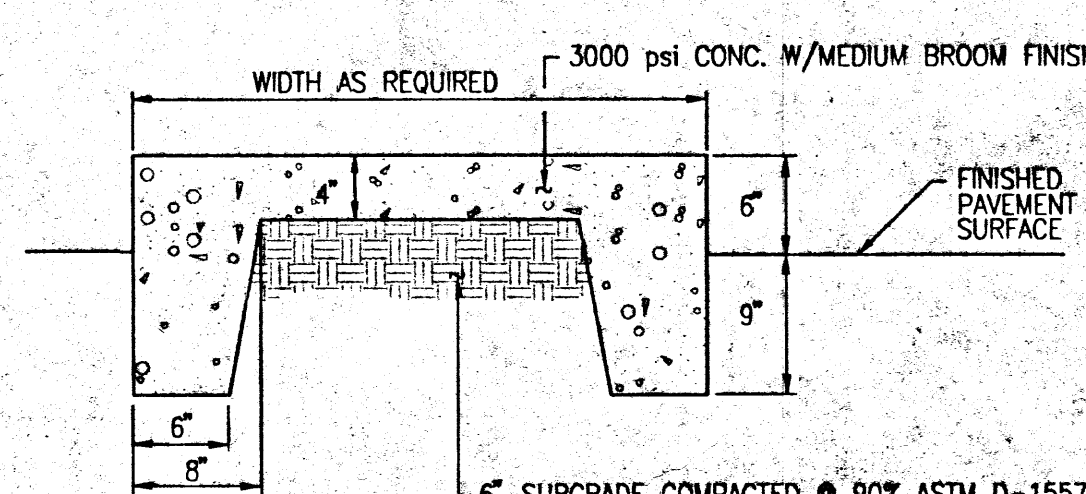
TYPICAL PAVEMENT SECTION

SCALE: 1" = 6"



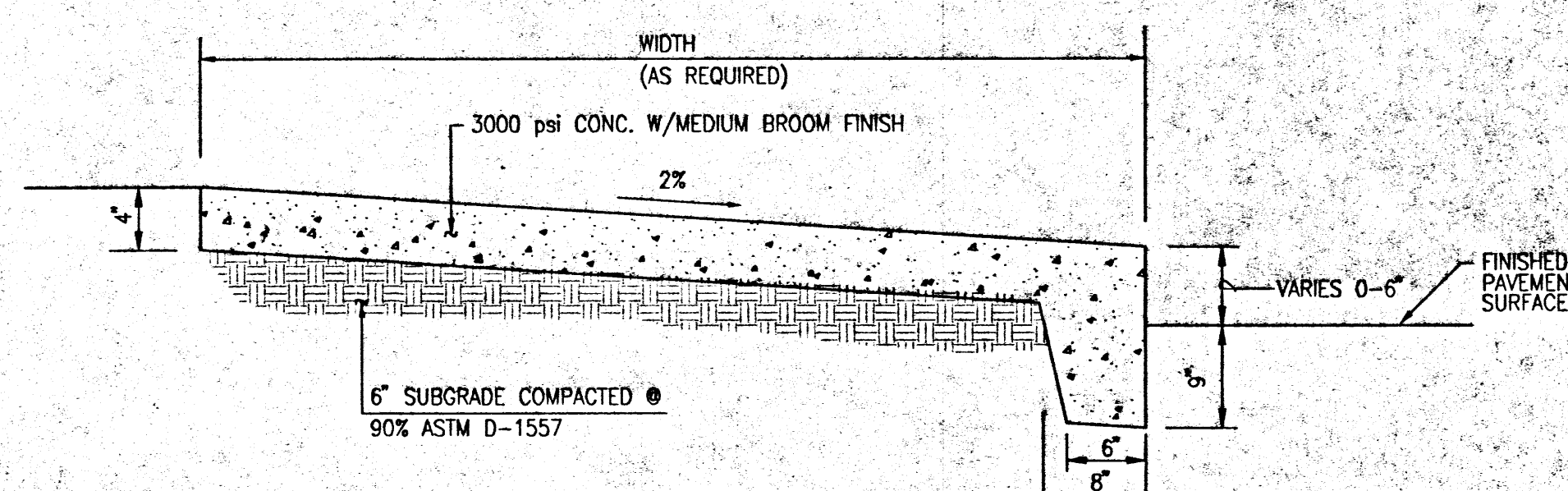
TYPICAL SIX-INCH CURB & GUTTER

SCALE: 1" = 6"



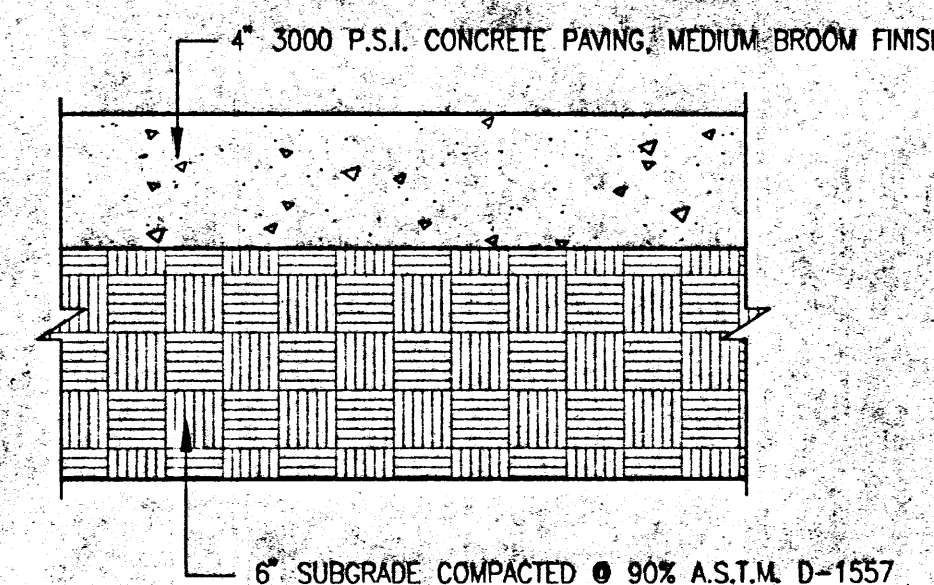
TYPICAL DOUBLE TURNDOWN SECTION

SCALE: 1" = 1' - 0"



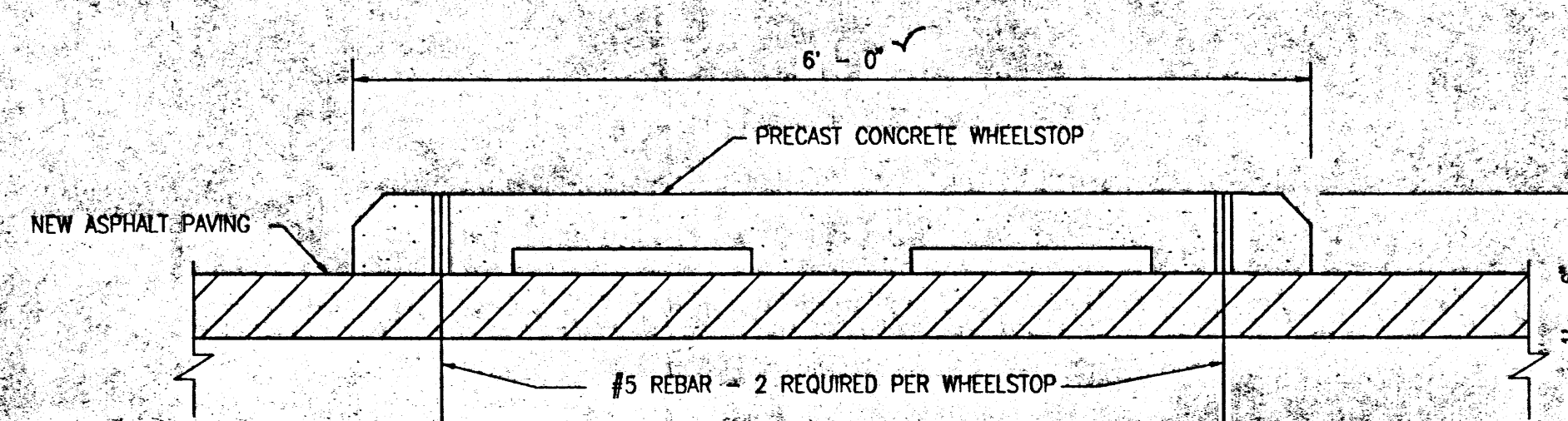
TYPICAL TURNDOWN SIDEWALK SECTION

SCALE: 1" = 1' - 0"



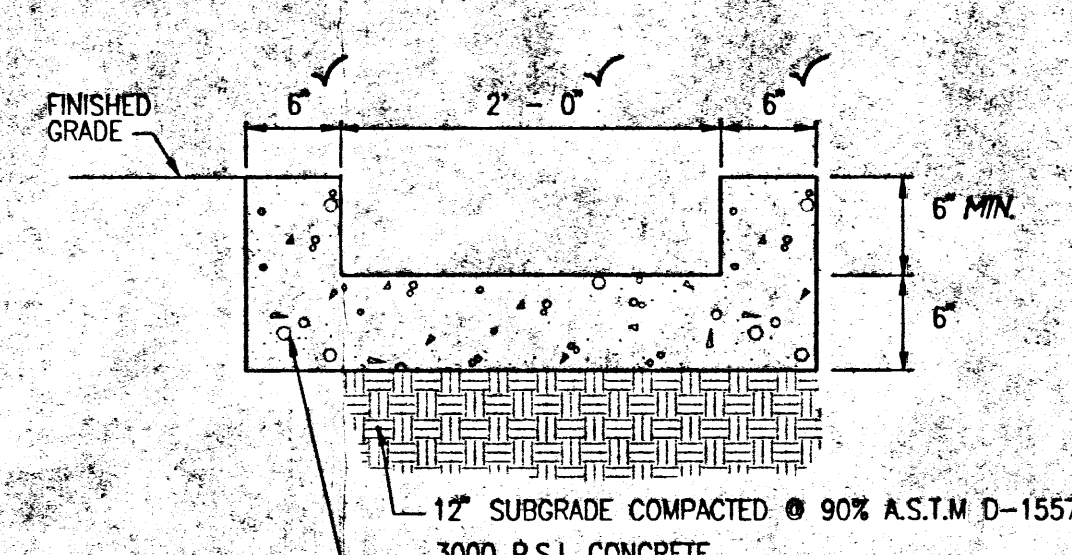
TYPICAL CONCRETE SIDEWALK SECTION

SCALE: 1" = 6"



TYPICAL CONCRETE WHEEL STOP SECTION

SCALE: 1" = 10"



TYPICAL CONCRETE RUNDOWN SECTION

SCALE: 1" = 1' - 0"

GENERAL NOTES:

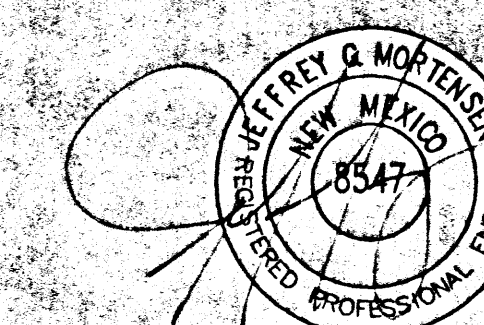
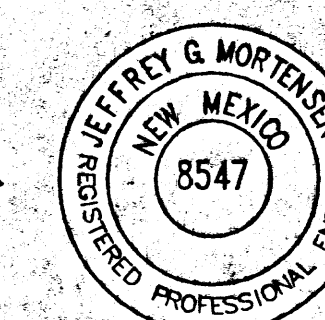
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-1986 - UPDATE NO. 6.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, (ALBUQUERQUE AREA) 1-800-321-ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
- ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION.
- IF THE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK, AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. WHEN ADJUTING NEW PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK THE EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. CURB AND GUTTER AND/OR PAVEMENT SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT AND WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
- THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND/OR INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES OR IMPROVEMENTS, THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO STRIPING SO THAT LAYOUT CAN BE VERIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
- ALL FILL SHALL BE FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
- ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED.
- CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

ENGINEER'S TCL CERTIFICATION

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THE PARKING LOT LAYOUT AND TRAFFIC CIRCULATION OF THIS PROJECT HAS BEEN ACCOMPLISHED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02/14/2003 AND REVISED 04-01-2003. THE RECORD INFORMATION COLLECTED 01/10/2004 AND EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE NEW BUILDING.

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JEFFREY G. MORTENSEN, NMPE 8547
DATE 02-14-2004



PAVING SECTIONS AND DETAILS AND GENERAL NOTES FIRST FEDERAL BANK - 25 DEVELOPMENT

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
J.G.M.	01/04	J.G.M.	TCL CERTIFICATION	2002.078.2
DRAWN BY	DATE	BY	REVISIONS	DATE
S.G.H.				02-2003
APPROVED BY	DATE	BY	REVISIONS	SHEET
J.G.M.				2 OF 2



Plot Date: 01-14-2004
Plot Time: 09:01 am
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File Name: 20786G04.DWG



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (S) 345-4250
FAX: 345-4254 E-mail: jmort@jma.com

GRADING AND DRAINAGE PLAN

FIRST FEDERAL BANK • 25 DEVELOPMENT

LEGAL DESCRIPTION:

TRACT L OF THE 25, ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK

THE BASIS OF ELEVATIONS FOR THIS PLAN IS A BENCHMARK 1-25-17, THE PUBLISHED ELEVATION OF WHICH IS 5171.1. SAID BENCHMARK IS LOCATED 7' EAST OF THE WEST RIGHT-OF-WAY LINE OF THE WEST FRONTAGE ROAD, 0.75 MILES SOUTH OF OSUNA RD. (DESCRIPTION AND ELEVATION REFERENCED BASED UPON SURVEY BY SURVEYS SOUTHWEST, JULY, 2002)

T.B.M.

CENTERLINE MONUMENT LOCATED AT THE INTERSECTION OF THE 25 WAY (ENTRANCE ROAD) AND THE 25 WAY (NORTH-SOUTH). ELEV. 5749.13 FEET

LEGEND

- 00.0 ELEVATION AT GROUND
- 00.00 ELEVATION AT TOP OF FINISHED SURFACE
- 00.00 CL ELEVATION AT TOP OF SIDEWALK
- 00.00 BC ELEVATION AT BACK OF CURB
- 00.00 FL ELEVATION AT FLOWLINE OF CURB
- 00.00 RM ELEVATION AT RIM OF MANHOLE
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL
- LIGHT POLE
- POWER POLE
- OVERHEAD UTILITY LINE
- UNDERGROUND GAS LINE
- UNDERGROUND SEWER LINE
- UNDERGROUND WATER LINE
- ANCHOR
- SEWER MANHOLE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND CABLE TV LINE
- WATER METER
- WATER VALVE
- TELEPHONE SERVICE BOX
- CABLE TV RISER
- ELECTRIC RISER
- UTILITY RISER
- EXISTING SPOT ELEVATION
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED TOP OF CURB
- PROPOSED FLOWLINE
- PROPOSED TOP OF ASPHALT
- PROPOSED TOP OF SIDEWALK
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- PROPOSED CONTOUR
- PROPOSED HIGHPOINT
- PROPOSED RETAINING WALL (SEE SHEETS AS 101 & AS 201)

RECORD INFORMATION

- TC54.50.21 RECORD INFORMATION
- 56.42 RECORD INFORMATION

ENGINEER'S DRAINAGE CERTIFICATION

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02/14/2003. THE RECORD INFORMATION COLLECTED 01/10/2004 AND EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE NEW BUILDING.

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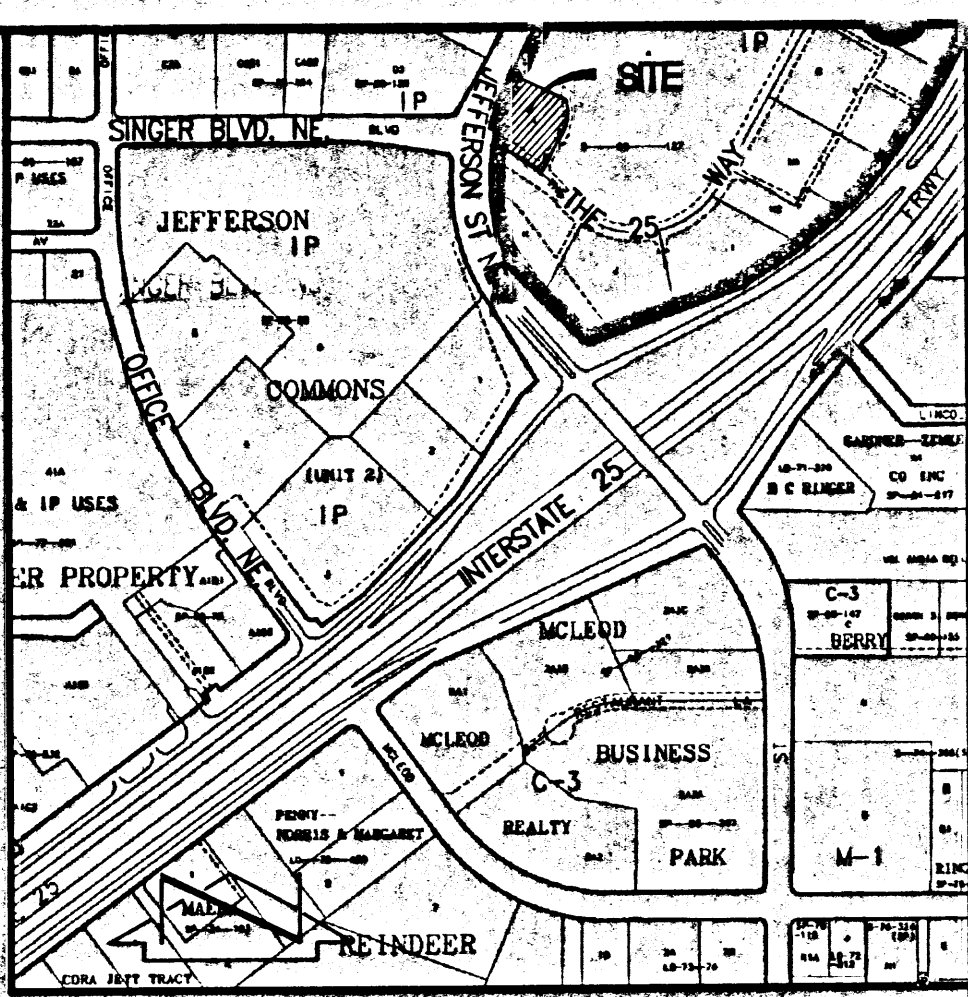
JEFFREY G. MORTENSEN, NMPE 8547
DATE 02-14-2004



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	112.00'	12.15'	6°12'49"	S11°38'50"E	12.14'
C2	112.00'	85.38'	4°34'49"	N07°07'10"E	83.33'
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C4	744.50'	55.01'	4°14'01"	S10°51'40"W	55.00'
C5	765.51'	203.33'	15°13'06"	S20°35'01"W	202.73'

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LINE	BEARING	LENGTH
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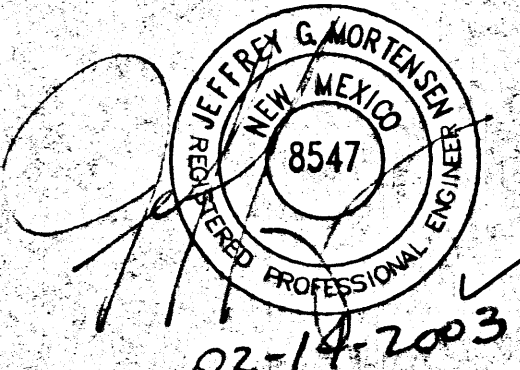
VICINITY MAP
SCALE: 1" = 750'

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
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- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING CONSTRUCTION.
- UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.



DESIGNED BY				REVISIONS				JOB NO.	
J.G.M.				NO.	DATE	BY		2002.078.1	
S.G.H./J.L.P.				1	02/04	J.G.M.	DRAINAGE CERTIFICATION	DATE 02-2003	
J.G.M.								SHEET 1 OF 2	

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED ALONG THE NORTH I-25/JEFFERSON CORRIDOR, REPRESENTS THE DEVELOPMENT OF A PAD SITE WITHIN AN INFILL AREA. AT PRESENT THE SITE IS UNDEVELOPED WITH THE SURROUNDING INDUSTRIAL PARK LARGELY DEVELOPED. IT IS PROPOSED TO DEVELOP THE LOT AS A BANK SITE CONNECTING TO THE SURROUNDING PROPERTY AS ILLUSTRATED BY THE 20 25? MASTER PLAN. THE PROPOSED DEVELOPMENT IS BE CONSISTENT WITH THE APPROVED PLAN DATED 5/5/99 BY TIERRA WEST, LLC (HYDROLOGY FILE NO. F-17/D46).

THIS SUBMITTAL IS MADE IN SUPPORT OF A BUILDING PERMIT APPROVAL FOR THE SUBJECT PROPERTY.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED AT THE NORTHEAST CORNER OF JEFFERSON STREET NE AND THE 25 WAY. THE CURRENT LEGAL DESCRIPTION IS TRACT L OF THE 25. AS SHOWN BY PANELS 138 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 20, 1996, THIS SITE DOES NOT LIE WITHIN OR ADJACENT TO, NOR ADVERSELY IMPACTS A DESIGNATED FLOOD HAZARD ZONE.

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A STANDALONE BUILDING ON TRACT L. THE SITE WILL CONTINUE TO DRAIN TO JEFFERSON STREET NE.

III. BACKGROUND DOCUMENTS & RESEARCH

A. DRAINAGE REPORT FOR DIGITAL 0 25 (F-17/D46) ?PREPARED BY TIERRA WEST, LLC, 5/5/99 FOR SITE DEVELOPMENT PLAN AND BUILDING PERMIT APPROVALS. THIS SUBMITTAL IS FOR TRACT L OF THAT DEVELOPMENT. THE APPROVED PLAN BY TIERRA WEST, LLC ALLOWS FOR THE FREE DISCHARGE OF DEVELOPED RUNOFF (5.65 CFS) FROM THIS SITE TO JEFFERSON NE. THIS SITE LIES WITHIN BASIN C AS DEFINED BY THE PRIOR PLAN. THE PRIOR PLAN ALSO IDENTIFIES AN OFFSITE FLOW OF 7.23 CFS ORIGINATING TO THE NORTH OF THE SITE IN BASIN B. BASIN B DRAINS INTO BASIN C TO REACH AN EXISTING OUTLET TO JEFFERSON NE.

B. ALTA/ACSM LAND TITLE SURVEY/TOPOGRAPHIC EXHIBIT FOR TRACT L, THE 25, PREPARED BY SURVEYS SOUTHWEST, LTD., JULY 16, 2002. THIS SURVEY, PROVIDED BY THE PROPERTY OWNER, PROVIDES THE BASE DRAWING FOR THE PREPARATION OF THIS GRADING AND DRAINAGE PLAN. THE SURVEY IDENTIFIES AN ENCROACHMENT OF EXISTING PAVING ALONG THE NORTH PROPERTY LINE OF THE SITE. THE ENCROACHING PAVING WILL BE REMOVED BY THIS PERMIT, HOWEVER, THE MODIFICATIONS TO THE ADJACENT PARKING WILL BE ACCOMPLISHED SEPARATELY BY THE OWNER OF THE ADJACENT PROPERTY, TRACT A, THE 25.

IV. EXISTING CONDITIONS

AT PRESENT, TRACT L IS UNDEVELOPED. EXISTING CONDITIONS ARE ILLUSTRATED BY THE GRADING PLAN. AT PRESENT, THE TRACT L DRAINS FROM NORTHEAST TO SOUTHWEST. RUNOFF GENERATED BY THIS SITE DISCHARGES INTO JEFFERSON STREET NE VIA AN EXISTING SIDEWALK CULVERT AND THE 25 WAY, A PAVED PRIVATE ROAD. OFFSITE FLOWS ARE RECEIVED FROM THE ADJACENT TRACT TO THE NORTH, TRACT A, MEASURING 7.23 CFS. THE DISCHARGE FROM TRACT A (BASIN B) RUNS ACROSS TRACT L TO DISCHARGE INTO JEFFERSON NE.

V. DEVELOPED CONDITIONS

THE PROPOSED CONSTRUCTION CONSISTS OF A 7500 SF BUILDING WITH ASSOCIATED LANDSCAPING AND PAVING. ACCESS WILL BE TAKEN FROM THE NORTH LEG OF THE 25 WAY NE, A PRIVATE ROAD CONSTRUCTED OF ASPHALT PAVING AND ASPHALT CURB. IN THE DEVELOPED CONDITION, THE SITE WILL CONTINUE TO DRAIN TO JEFFERSON STREET NE. FOR THE PURPOSES OF ANALYSIS, THE DEVELOPED SITE HAS BEEN SUBDIVIDED INTO TWO SUBBASINS, W AND E. FOR CLARITY, A SEPARATE BASIN BOUNDARY MAP HAS BEEN PREPARED USING THE GRADING PLAN AS THE BASE. SUBBASIN W DRAINS FROM NORTHEAST TO SOUTHWEST DISCHARGING ACROSS THE EXISTING LANDSCAPED BUFFER TO THE EXISTING MULTIPLE PLATE SIDEWALK CULVERT ALONG THE EAST CURBLINE OF JEFFERSON STREET NE. SUBBASIN E WILL DRAIN FROM NORTHWEST TO SOUTHWEST ONTO THE NORTHERLY LEG OF THE 25 WAY NE. FROM THIS POINT, THE RUNOFF WILL DRAIN SOUTH TO THE MAIN ENTRANCE TO THE INDUSTRIAL PARK. THE MAIN ENTRANCE DRAINS FROM EAST TO WEST TO JEFFERSON STREET NE. AT THIS POINT, TO JEFFERSON STREET NE DRAINS SOUTH TO PUBLIC STORM INLETS CONNECTED TO THE VINEYARD CHANNEL IMPROVEMENTS THAT EVENTUALLY OUTFALL TO THE AMAFCA NORTH DIVERSION CHANNEL. THIS PATTERN OF DRAINAGE IS CONSISTENT WITH THE PREVIOUSLY APPROVED PLAN IDENTIFIED ABOVE. BASIN B, AS PREVIOUSLY STATED, GENERATES 7.23 CFS. BASIN C, PER THE CALCULATIONS CONTAINED HEREON, GENERATES 2.4 CFS FROM SUBBASIN W AND 3.0 CFS FROM SUBBASIN E FOR A COMBINED 5.4 CFS DEVELOPED RUNOFF. BASIN C WAS ORIGINALLY DESIGNED FOR A PUBLISHED 5.65 CFS, SLIGHTLY HIGHER THAN THE DESIGN PROPOSED BY THIS SUBMITTAL.

VI. GRADING PLAN

THE GRADING PLAN SHOWS 1.) EXISTING GRADES AND PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS 2.) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 3.) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE SITE TO THE NORTH AND EAST IS ALREADY DEVELOPED. THE PROPOSED PARKING LOT EXPANSION WILL CONNECT TO THE EXISTING ADJACENT SITE. THE PLAN FURTHER ILLUSTRATES THAT THE EXISTING DRAINAGE PATTERNS DESCRIBED IN THE SECTIONS ABOVE WILL NOT BE ALTERED AND THAT THE PROPOSED GRADING WILL NOT HAVE AN ADVERSE IMPACT ON DOWNSTREAM CONDITIONS. OFFSITE FLOWS WILL CONTINUE TO BE ACCEPTED AND CONVEYED THROUGH THE SITE.

VII. CALCULATIONS

CALCULATIONS ANALYZING THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT HAVE BEEN PREPARED FOR THIS PROJECT. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS SHOWN BY THE RESULTS PRESENTED HEREON, THERE WILL BE A MODEST INCREASE IN PEAK DISCHARGE AND RUNOFF VOLUME ASSOCIATED WITH THE PROPOSED CONSTRUCTION.

VIII. CONCLUSION

THE FREE DISCHARGE OF RUNOFF FROM THIS SITE TO JEFFERSON STREET NE IS APPROPRIATE DUE TO THE FOLLOWING FACTORS:

1. THE PROPOSED SITE SPECIFIC DEVELOPMENT IS CONSISTENT WITH THE PREVIOUSLY APPROVED DRAINAGE SUBMITTAL REFERENCED ABOVE FOR THE OVERALL DEVELOPMENT OF WHICH THIS SITE IS A PART
2. MODEST INCREASE IN RUNOFF VOLUME AND PEAK DISCHARGE
3. THE DEVELOPED PEAK DISCHARGE LIES JUST BELOW THAT ESTABLISHED FOR THIS SITE BY THE PREVIOUSLY APPROVED PLAN FOR THIS DEVELOPMENT
4. NO ADVERSE IMPACT ON DOWNSTREAM CAPACITY OR DOWNSTREAM PROPERTIES
5. PRECEDENT ESTABLISHED BY PRIOR SUBMITTALS
6. THE EXISTING AND APPROVED DRAINAGE PATTERNS (STATUS QUO) WILL NOT BE ALTERED AND HENCE MAINTAINED
7. OFFSITE FLOWS WILL CONTINUE TO BE ACCEPTED AND CONVEYED THROUGH THE SITE VIA THE EXISTING LANDSCAPED BUFFER ALONG THE EAST SIDE OF JEFFERSON STREET NE

ALL ONSITE IMPROVEMENTS WILL BE OWNED, OPERATED AND MAINTAINED BY THE FIRST FEDERAL BANK. THE DOWNSTREAM STREETS AND STORM DRAINAGE SYSTEMS ARE OWNED, OPERATED AND MAINTAINED BY THE CITY PUBLIC WORKS DEPARTMENT AND AMAFCA.

CALCULATIONS

I. PRECIPITATION ZONE = 2

$$II. P_{6,100} = P_{360} = 2.35$$

$$III. TOTAL AREA (A_T) = 1.28$$

IV. EXISTING LAND TREATMENT

TREATMENT AREA (SF/AC) %

B	3050/0.07	06
C	40950/0.94	73
D	11760/0.27	21

V. DEVELOPED LAND TREATMENT

A. BASIN W (25260 SF / 0.58 AC)

TREATMENT AREA (SF/AC) %

B	6100/0.14	24
D	19170/0.44	76

B. BASIN E (30490 SF / 0.7 AC)

TREATMENT AREA (SF/AC) %

B	4360/0.10	24
D	26140/0.60	76

VI. EXISTING CONDITION

A. SITE

1. VOLUME

$$E_W = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_W = [0.78(0.07) + 1.13(0.94) + 2.12(0.27)] / 1.28 = 1.32$$

$$V_{100,6-HR} = (E_W / 12) A_T$$

$$V_{100,6-HR} = (1.32 / 12) 1.28 = 0.1408 \text{ AC-FT} = 6130 \text{ CF}$$

2. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = 2.28(0.07) + 3.14(0.94) + 4.70(0.27) = 4.4 \text{ CFS}$$

B. OFFSITE

3. PEAK DISCHARGE

FROM THE PARKING LOT AT THE NORTHEAST CORNER OF SITE (DRAINAGE REPORT FOR DIGITAL 025, PREPARED BY TIERRA WEST, LLC, DATED MAY 1999)

$$Q_p = 7.23 \text{ CFS}$$

VII. DEVELOPED CONDITION

A. BASIN W

1. VOLUME

$$E_W = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_W = [0.78(0.14) + 2.12(0.44)] / 0.58 = 1.80$$

$$V_{100} = (E_W / 12) A_T$$

$$V_{100} = (1.80 / 12) 0.58 = 0.0868 \text{ AC-FT} = 3780 \text{ CF}$$

2. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = 2.28(0.17) + 4.70(0.44) = 2.4 \text{ CFS}$$

B. BASIN E

1. VOLUME

$$E_W = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_W = [0.78(0.10) + 2.12(0.60)] / 0.7 = 1.93$$

$$V_{100} = (E_W / 12) A_T$$

$$V_{100} = (1.93 / 12) 0.7 = 0.1125 \text{ AC-FT} = 4900 \text{ CF}$$

2. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = 2.28(0.10) + 4.70(0.60) = 3.0 \text{ CFS}$$

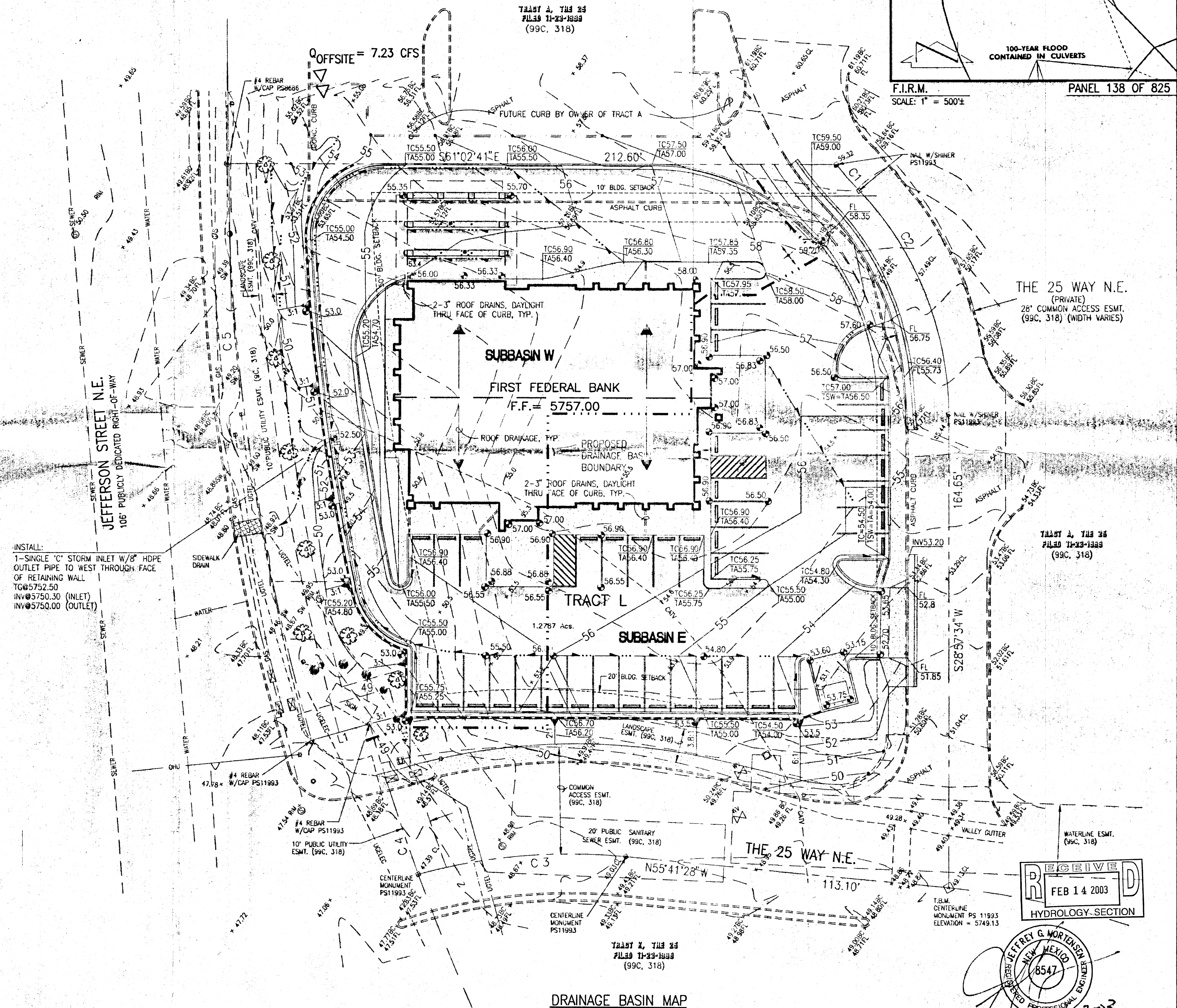
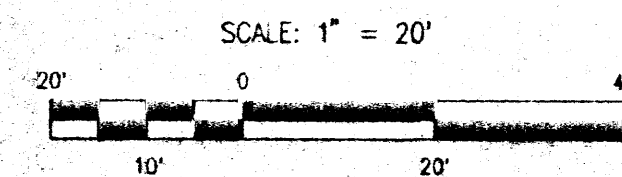
VIII. COMPARISON

A. VOLUME

$$\Delta V_{100} = (3780 + 4900) - 4170 = 2550 \text{ CF (INCREASE)}$$

B. PEAK DISCHARGE

$$\Delta Q_{100} = (2.4 + 3.0) - 4.4 = 1.0 \text{ CFS}$$



DRAINAGE BASIN MAP



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DRAINAGE PLAN AND CALCULATIONS FIRST FEDERAL BANK • 25 DEVELOPMENT

DESIGNED BY	ML	DATE	BY	REVISIONS	JOB NO.
JGM					2002.078.1
DRAWN BY	SGH/RP				DATE
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APPROVED BY	JGM				SHEET
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