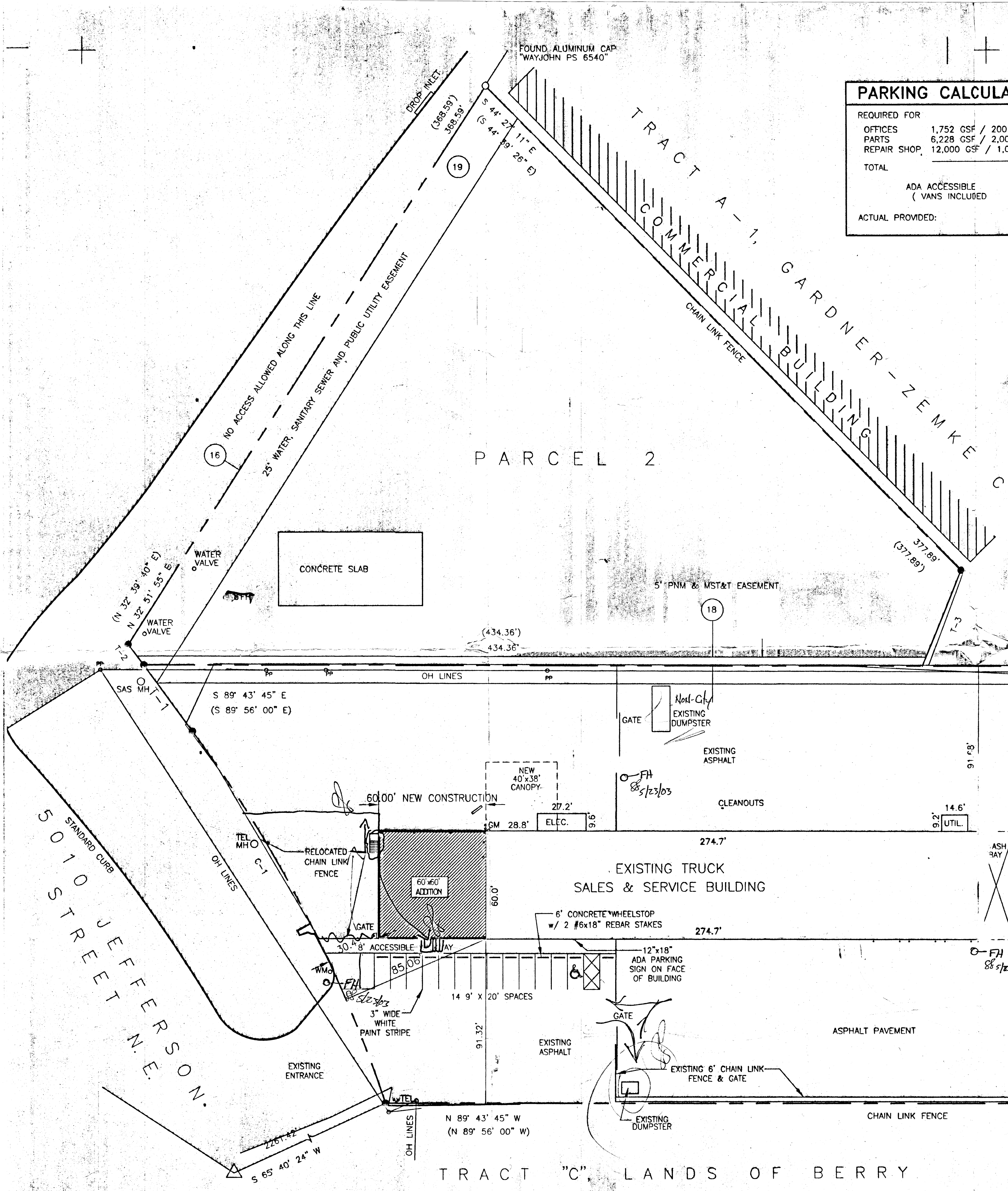
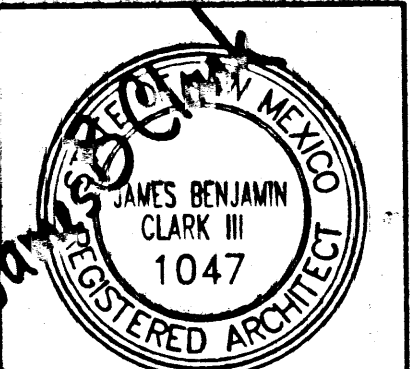




PARKING CALCULATIONS:			
REQUIRED FOR			
OFFICES	1,752 GSF / 200 GSF	9 SPACES	
PARTS	6,228 GSF / 2,000 GSF	4 SPACES	
REPAIR SHOP	12,000 GSF / 1,000 GSF	12 SPACE	
TOTAL		25 SPACES	
ADA ACCESSIBLE (VANS INCLUDED) 1 TOTAL			
ACTUAL PROVIDED:		27 SPACES	

BUILDING CODE REQUIREMENTS			
OCCUPANCIES: B OFFICE S-3 REPAIR GARAGE S-2 PARTS STORAGE			
OCCUPANTS: OFFICES 1752.0 GSF = 18 PERSONS @ 1/100 GROSS SQ FT, 2 EXITS REQD OVER 30 REPAIR SHOP 12,000.0 GSF = 60 PERSONS @ 1/200 SQ FT, 2 EXITS REQD OVER 30 PARTS 6228.0 GSF = 13 PERSONS @ 1/500 SQ FT, 2 EXITS REQD OVER 30			
MIXED USE OCCUPANCY: B S-2 S-3 TOTAL RATIO			
ACTUAL SF 1,752.0 SF 6228.0 SF 12,000.0 SF			
ALLOWABLE SF 24,000.0 SF 36,000.0 SF 24,000.0 SF			
CONSTRUCTION TYPE II-N PRE-ENGINEERED STEEL BUILDING w/ NON-COMBUSTIBLE INTERIOR FRAMING			
ALLOWABLE AREAS 3-SIDED SEPARATION ACTUAL AREAS ALLOWABLE HEIGHT ACTUAL HEIGHT			
B OCCUPANCIES 24,000 SQ FT 1,752 SQ FT 2 STORIES / 55' (UBC) 36'-0"			
S-2 OCCUPANCIES 36,000 SQ FT 6,228 SQ FT 36' (ABQ ZONING)			
S-3 OCCUPANCIES 24,000 SQ FT 12,000 SQ FT			
TOTAL BUILDING AREA 19,980-SQ FT			
STRUCTURAL DESIGN CRITERIA:			
UBC SEISMIC ZONE 2B WIND: 20.67 PSF (P = Ce Cq qs I) Ce=1.06, Cq=1.3(Method 2), qs =15.0, I=1.00			
ROOF & SNOW: 20 PSF NON-REDUCEABLE SOIL BEARING: 2,000 PSF WIND SPEED = 75 mph, EXPOSURE C			
PLUMBING FIXTURES:			
OCCUPANT LOAD FACTOR (TABLE A-29-A) FLOOR AREA OCCUPANT LOAD MINIMUM PLUMBING FIXTURES (50% MALE + 50% FEMALE) TOTAL PROVIDED			
GROUP B OFFICE 200 SF/PERSON 1,752 SF 9 OCCUPANTS MALE (WCS/LAVS) 1/UNISEX MALE (WCS/LAVS) 1/UNISEX			
GROUP S-2 PARTS 5000 SF/PERSON 6,228 SF 2 OCCUPANTS MALE (WCS/LAVS) 1/UNISEX MALE (WCS/LAVS) 1/UNISEX			
GROUP S-3 REPAIR SHOP 5000 SF/PERSON 12,000 SF 3 OCCUPANTS MALE (WCS/LAVS) 1/UNISEX MALE (WCS/LAVS) 1/UNISEX			
TOTAL 19,980 SF 14 OCCUPANTS 1/1 1/1 1/1 1/1			

CURVE	RADIUS	LENGTH	CENTRAL ANGLE	CHORD	RECORD CHORD
C-1	743.00'	233.68'	18° 01' 13"	N 27° 20' 29" W, 232.72'	N 27° 32' 44" W, 232.72'
TANGENT	BEARING	DISTANCE	RECORD BEARING AND DISTANCE		
T-1	N 36° 21' 05" W	45.79'	N 36° 33' 20" W, 45.79'		
T-2	N 36° 21' 05" W	14.46'	N 36° 33' 20" W, 14.46'		
T-3	S 22° 05' 55" W	57.79'	S 21° 53' 40" W, 57.79'		



MASTERWORKS ARCHITECTS, INC.
516 ELEVENTH ST. NW 242-1866
ALBUQUERQUE, NM 87102-1806

FILE # 0312SITE
17 FEB 03

ADDITION FOR
TRUCKS WEST
5010 JEFFERSON BLVD NE
ALBUQUERQUE, NEW MEXICO

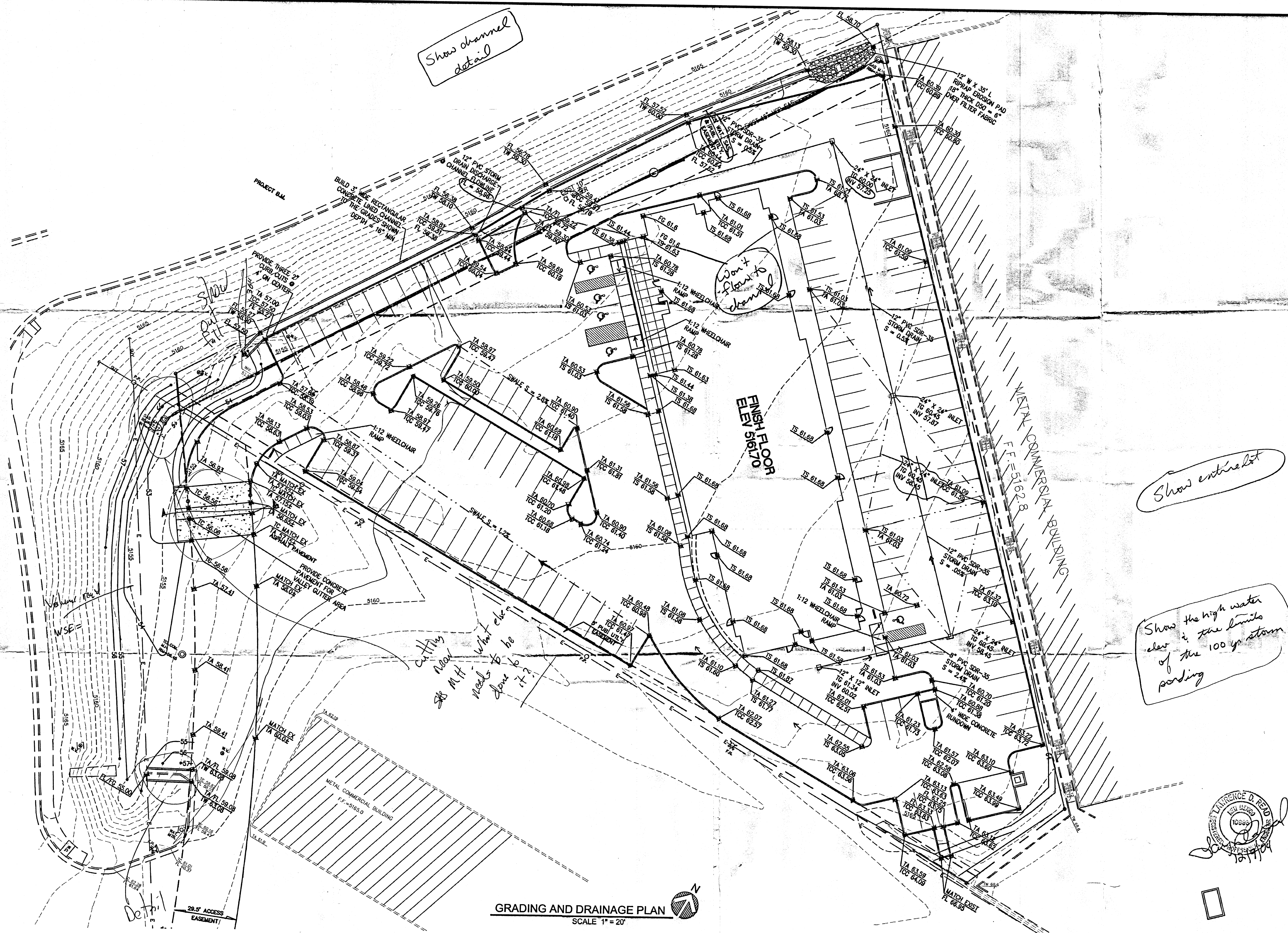
SITE PLAN
CODE ANALYSIS

SHEET
A1
OF 03

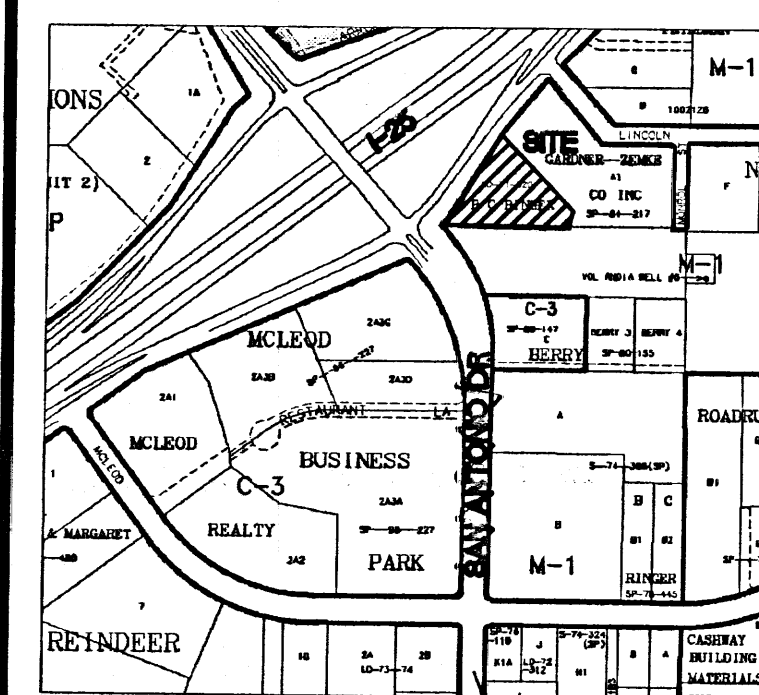
1 SITE PLAN
A1
LEGAL DESCRIPTION:
UNPLATTED/FRUEHAUF CORP
ALBUQUERQUE, NEW MEXICO

SCALE: 1" = 30'-0"

Show channel detail



GRADING AND DRAINAGE PLAN
SCALE 1" = 20'



VICINITY MAP F-17
Jefferson

LEGAL DESCRIPTION

PARCEL 2, PORTION OF THE LANDS OF B. C. RINGER, RECORDED 7/6/71, BK 43, PG 90 BERNALILLO COUNTY, NEW MEXICO

ACS BENCHMARK

CITY OF ALBUQUERQUE STATION NO. 1-25-17, BEING AN ACS MONUMENT, WITH AN ELEVATION OF 5171.1

SURVEY NOTES

FIELD SURVEY BY: RIO GRANDE SURVEY ALBUQUERQUE, NM
SURVEY DATE: NOV. 2003
PHONE: (505) 764-8891
FAX: (505) 764-8891

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. NEITHER THE ENGINEER OR SURVEYOR GUARANTEES THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

FLOODPLAIN

THE PROPERTY SHOWN HEREON IS ADJACENT TO A ZONE "AO (DEPTH 1') DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0138 E; EFFECTIVE DATE NOVEMBER 19, 2003

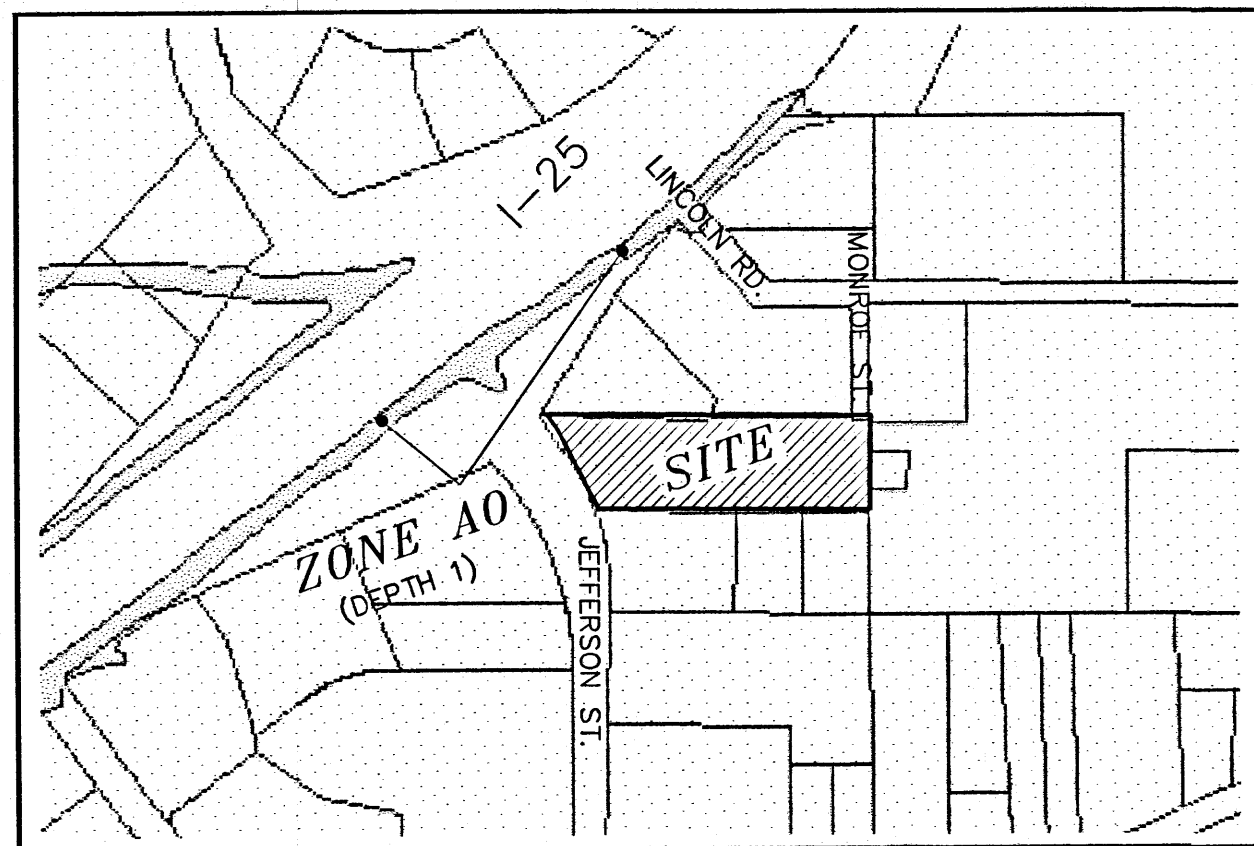
AFRA Construction & Design LLC
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1482

Holiday Inc
1-25 & JEFFERSON
ALBUQUERQUE, NM 87109

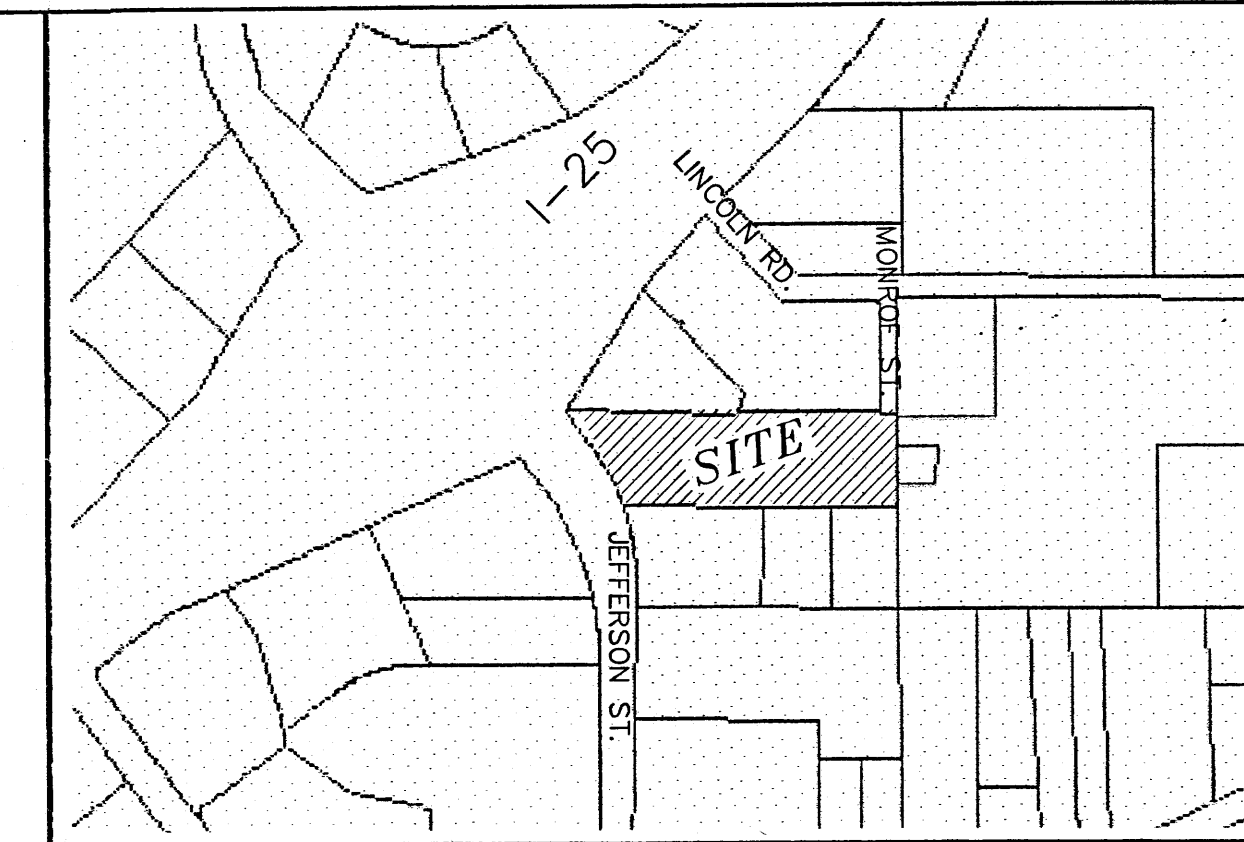
REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

C2

DRAWN BY: HMS

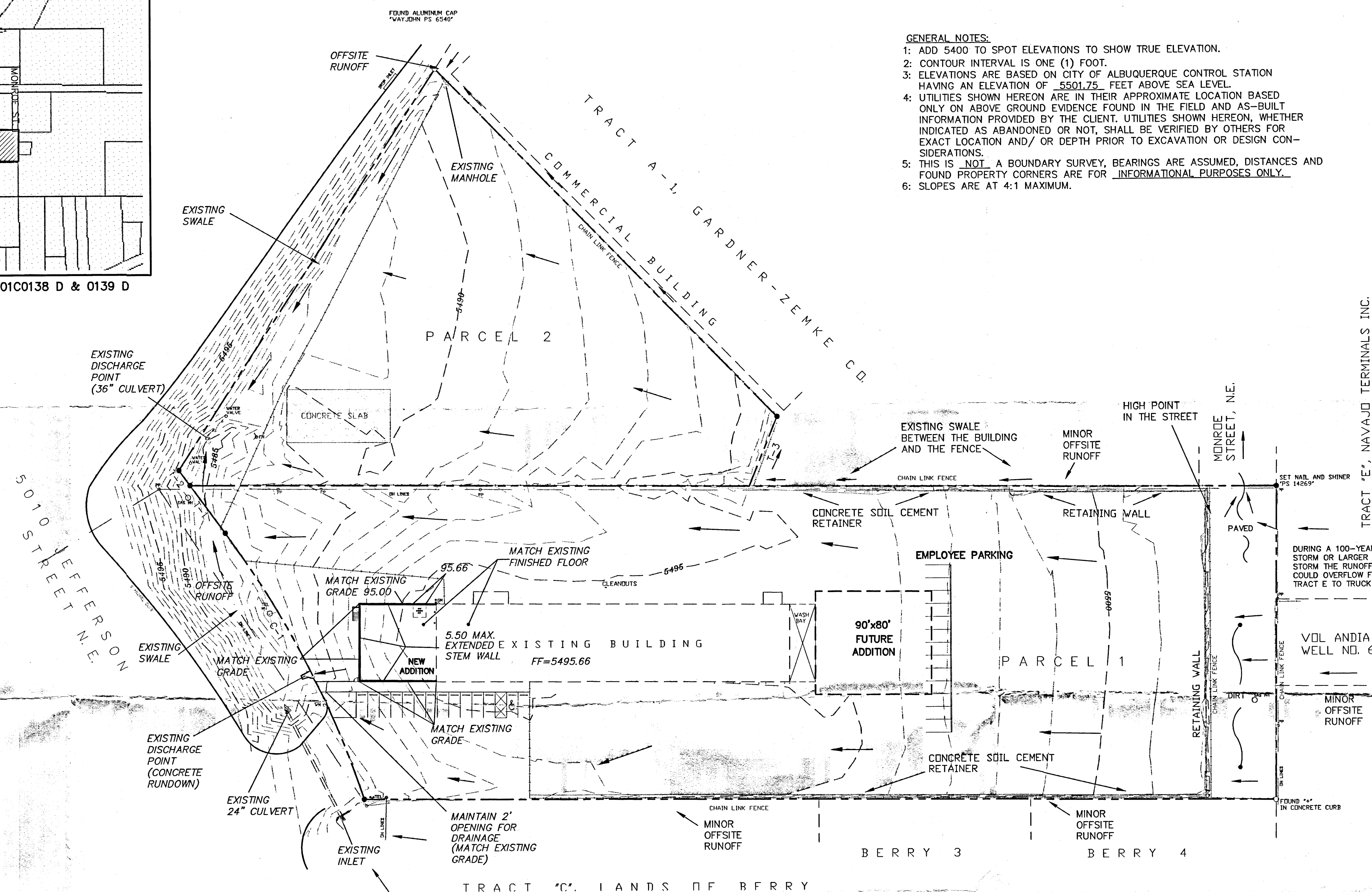


FIRM MAP: 35001C0138 D & 0139 D



VICINITY MAP: F-17-Z

- GENERAL NOTES:**
1. ADD 5400 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS ONE (1) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5501.75 FEET ABOVE SEA LEVEL.
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 6. SLOPES ARE AT 4:1 MAXIMUM.



LEGAL DESCRIPTION:

UNPLATED
CONTAINING 187,780 SQUARE FEET (4.3108 ACRES)
MORE OR LESS.

5010 JEFFERSON BLVD NE

**EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES**

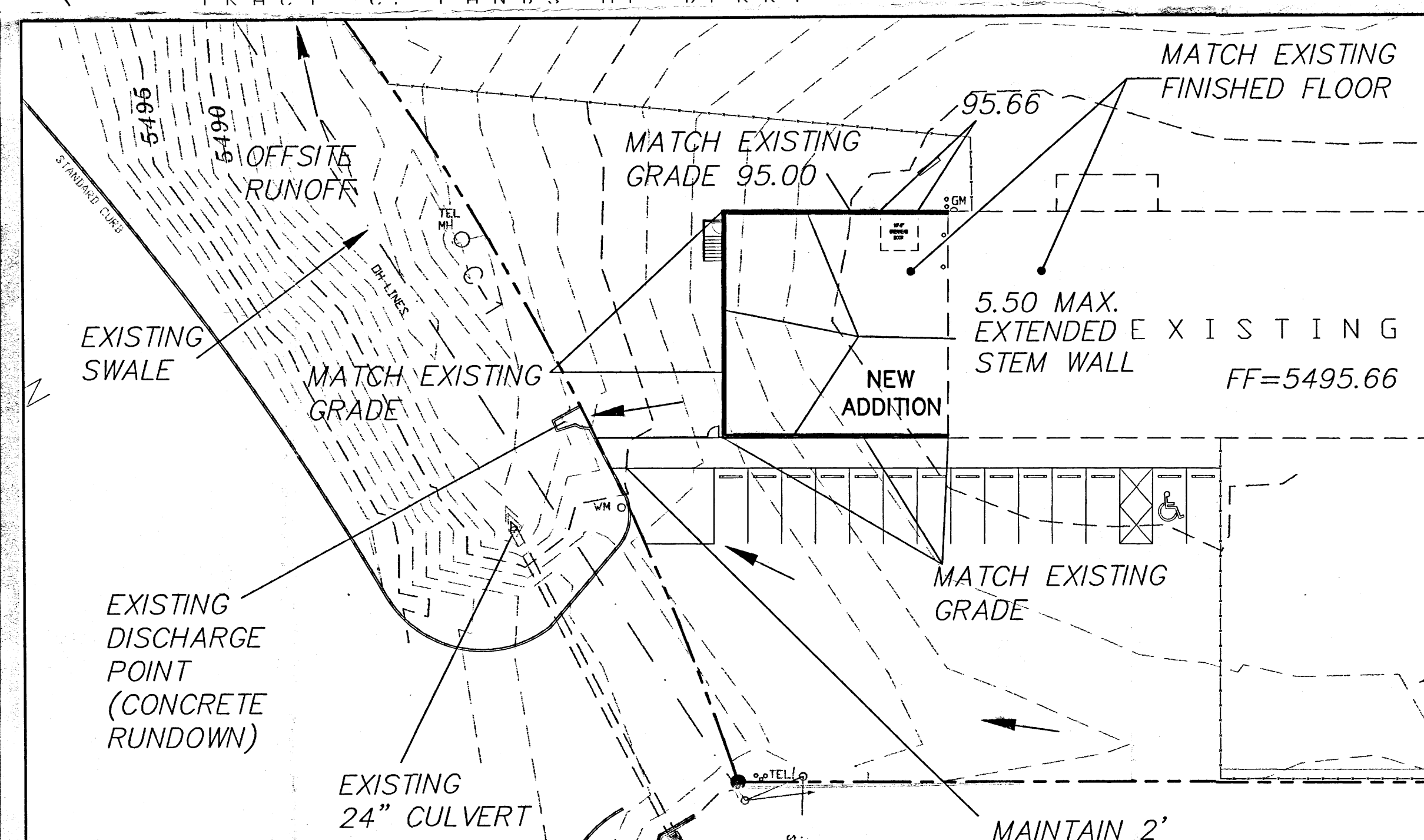
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

NOTICE TO CONTRACTORS

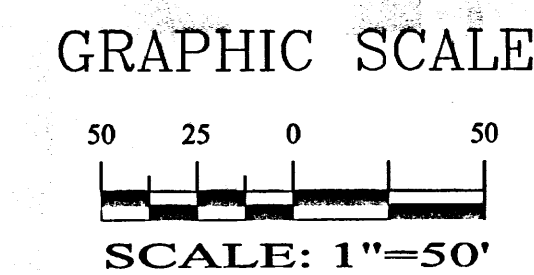
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

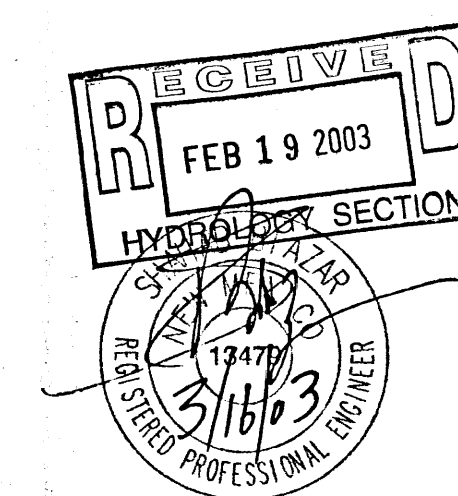
- EXISTING SAS MANHOLE
- ⊗ EXISTING METER
- ⊗ EXISTING VALVE W/BOX
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING AIR RELEASE VALVE
- △ EXISTING REDUCER
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. 16" WL --- EXISTING WATER LINE
- ===== EXISTING CURB & GUTTER
- ===== EXISTING CURB & GUTTER
- 5100--- EXISTING CONTOUR (MAJOR)
- 5102--- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- ===== PROPOSED SIDEWALK
- TC → 20.90 PROPOSED GRADE
- FL → 20.40 PROPOSED SPOT ELEVATION
- X 70.28 EXISTING GRADE
- * 5265.16 EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE



SCALE: 1"=30'



ROUGH GRADING APPROVAL DATE



SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505) 899-5570

**TRUCKS WEST ADDITION
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200306GR.DWG	SBB	03-16-2002	