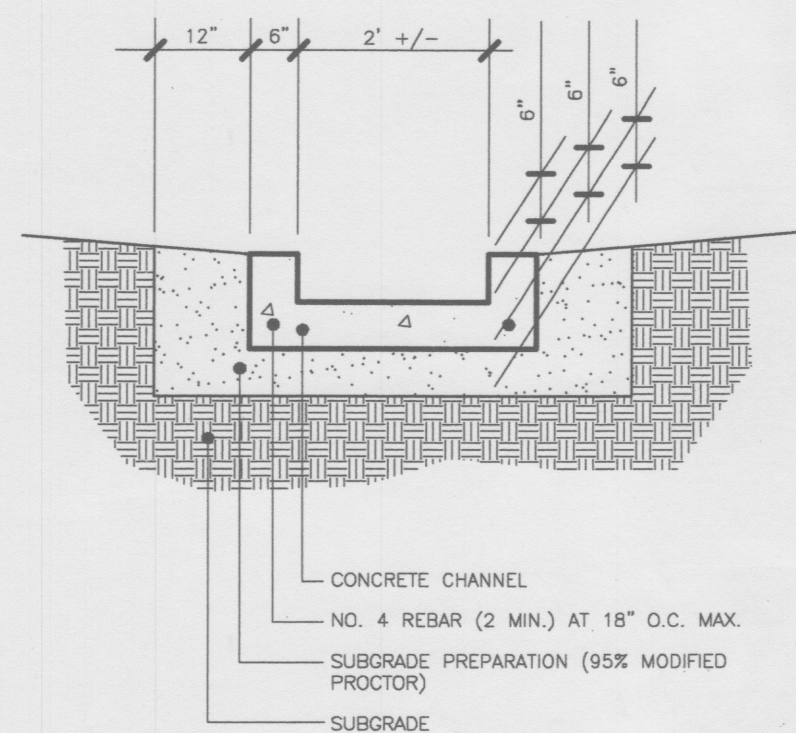


## CONCRETE CHANNEL

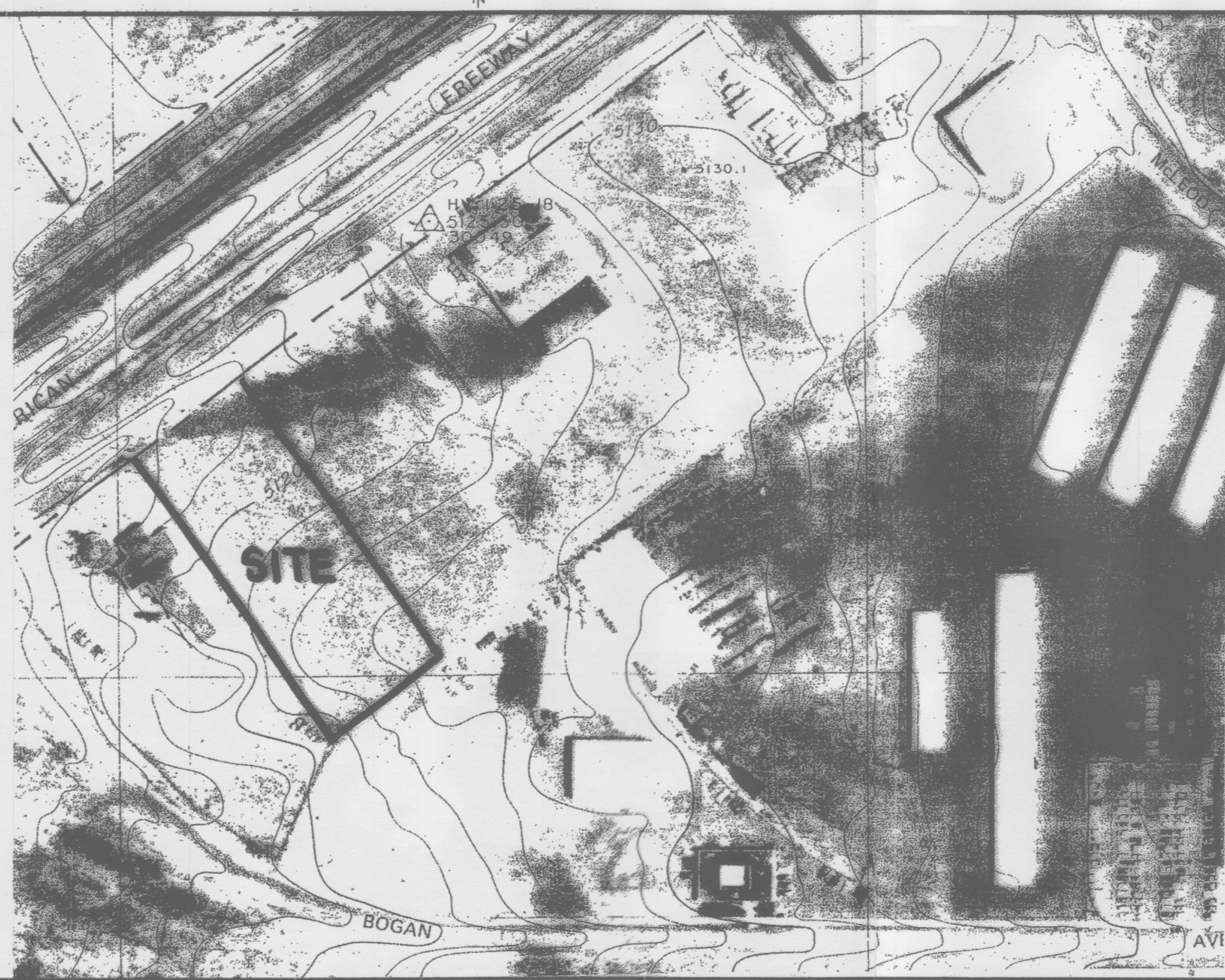


## DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	(table 6)	(table 8)	(table 9)		
			sq. ft.	in.	cfs/acre	cu. ft.	cfs
EXISTING	10	A	0	0.13	0.38	0	0.00
		B	0	0.28	0.95	0	0.00
		C	81100	0.52	1.71	3514	3.18
		D	0	1.34	3.14	0	0.00
		TOTAL	81100			3514	3.18
	100	A	0	0.53	1.56	0	0.00
		B	0	0.78	2.28	0	0.00
		C	81100	1.13	3.14	7637	5.85
		D	0	2.12	4.7	0	0.00
		TOTAL	81100			7637	5.85
DEVELOPED	10	A	0	0.13	0.38	0	0.00
		B	2580	0.28	0.95	60	0.06
		C	44555	0.52	1.71	1931	1.75
		D	33965	1.34	3.14	3793	2.45
		TOTAL	81100			5784	4.25
	100	A	0	0.53	1.56	0	0.00
		B	2580	0.78	2.28	168	0.14
		C	44555	1.13	3.14	4196	3.21
		D	33965	2.12	4.7	6000	3.66
		TOTAL	81100			10364	7.01

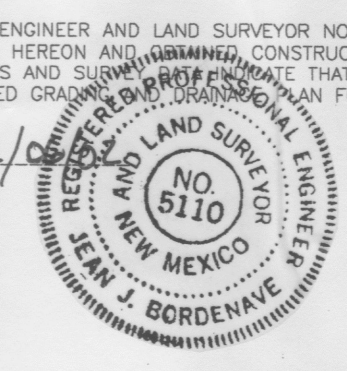
## OFFSITE DRAINAGE MAP

SCALE 1" = 200'



I, JEAN J. BORDENAVE, NEW MEXICO PROFESSIONAL ENGINEER AND LAND SURVEYOR NO. 5110, HEREBY CERTIFY THAT I HAVE PERSONALLY OBSERVED THE PROPERTY SHOWN HEREON AND THE CONSTRUCTION SURVEY DATA AS SHOWN HEREON. I FURTHER CERTIFY THAT THE OBSERVATIONS AND SURVEY DATA WERE OBTAINED UNDER THE SAME CONDITIONS AS SHOWN ON THE DRAWING. I AM NOT PROVIDING ANY GUARANTEE FOR THE SITE DRAINAGE CONDITIONS ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN FOR THE SITE.

JEAN J. BORDENAVE, NM PE & LS NO. 5110



NOTE:  
THIS SITE IS GREATER THAN ONE ACRE IN AREA, THEREFORE IT IS CONTROLLED BY THE EPA STORMWATER PERMITTING PROCESS. THE CONTRACTOR MUST OBTAIN AN NPDES PERMIT PRIOR TO BEGINNING ANY ACTIVITY THAT WILL DISTURB THE EARTH SURFACE.  
PROPER INSTALLATION OF SILT FENCING ON THE SITE PERIMETER WILL MEET THE REQUIREMENTS OF THE PERMIT FOR THIS SITE.

NOTE: ALL TOPS OF CURBS AND TOPS OF SIDEWALKS SHALL BE 6" ABOVE THE ADJACENT TOP OF ASPHALT UNLESS OTHERWISE SHOWN.

## LEGAL DESCRIPTION

LOT B, LOTS A & B OF CORA JETT TRACT

## PERMANENT BENCHMARK

NMSHC 125-18 ELEVATION 5125.7

## GRADING CERTIFICATION

I, Jean J. Bordenave, New Mexico Professional Engineer and Land Surveyor No. 5110, hereby certify that I have personally inspected the property shown hereon and that it appears that no grading, filling or excavation has occurred thereon since the contour map shown hereon was prepared.

JEAN J. BORDENAVE, NM PE & PS NO. 5110

## GENERAL NOTES

- THE SITE IS PRESENTLY VACANT BUT HAS BEEN GRADED IN THE PAST. THE SITE IS LOCATED ON A SLIGHT RIDGE AND NO OFFSITE FLOWS ENTER THE PROPERTY. ALL ADJACENT PROPERTY IS DEVELOPED AND THE SITE IS ENCLOSED IN A CHAIN LINK FENCE.
- THERE IS AN EXISTING DRIVEWAY FROM THE FRONTAGE ROAD INTO THE SITE WITH A SINGLE 24" CMP CULVERT UNDER THE DRIVEWAY. ALL OTHER DRAINAGE IN THE IMMEDIATE AREA HAVE 2-24" CMPS AND IT IS PROPOSED THAT AN ADDITIONAL 24" CMP BE ADDED TO THIS SITE'S DRIVE AND THAT THE DRIVE BE REGRADED TO ACCOMMODATE THE CULVERT'S.
- ONSITE FLOWS GENERATED BY IMPERVIOUS SURFACES ARE ROUTED TO THE FRONTAGE ROAD CHANNEL VIA IMPERVIOUS SURFACES. ONSITE FLOWS GENERATED BY PERVIOUS SURFACES ARE MAINTAINED ON IMPERVIOUS SURFACES TO THEIR POINT OF DISCHARGE.
- THERE IS A FLOW INCREASE OF 1.07 AND 1.16 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY. THE 6 HOUR RUNOFF VOLUMES FOR THE TWO STORMS INCREASE BY 2270 AND 2727 CUBIC FEET RESPECTIVELY. THE PEAK 100 YEAR FLOW RATE FOR THE PROPOSED DEVELOPMENT..
- THE SITE IS NOT LOCATED IN A DESIGNATED FLOOD HAZARD AREA PER FEMA FIRM PANEL NO. 138, DATED NOVEMBER 19 2003.
- TOPOGRAPHY SHOWN ON THIS SHEET WAS OBTAINED BY WAYJOHN SURVEYING DATED JANUARY, 2004.
- NOTE THAT THIS SITE IS GREATER THAN ONE ACRE IN AREA AND REQUIRES AN NPDES PERMIT.

## LEGEND

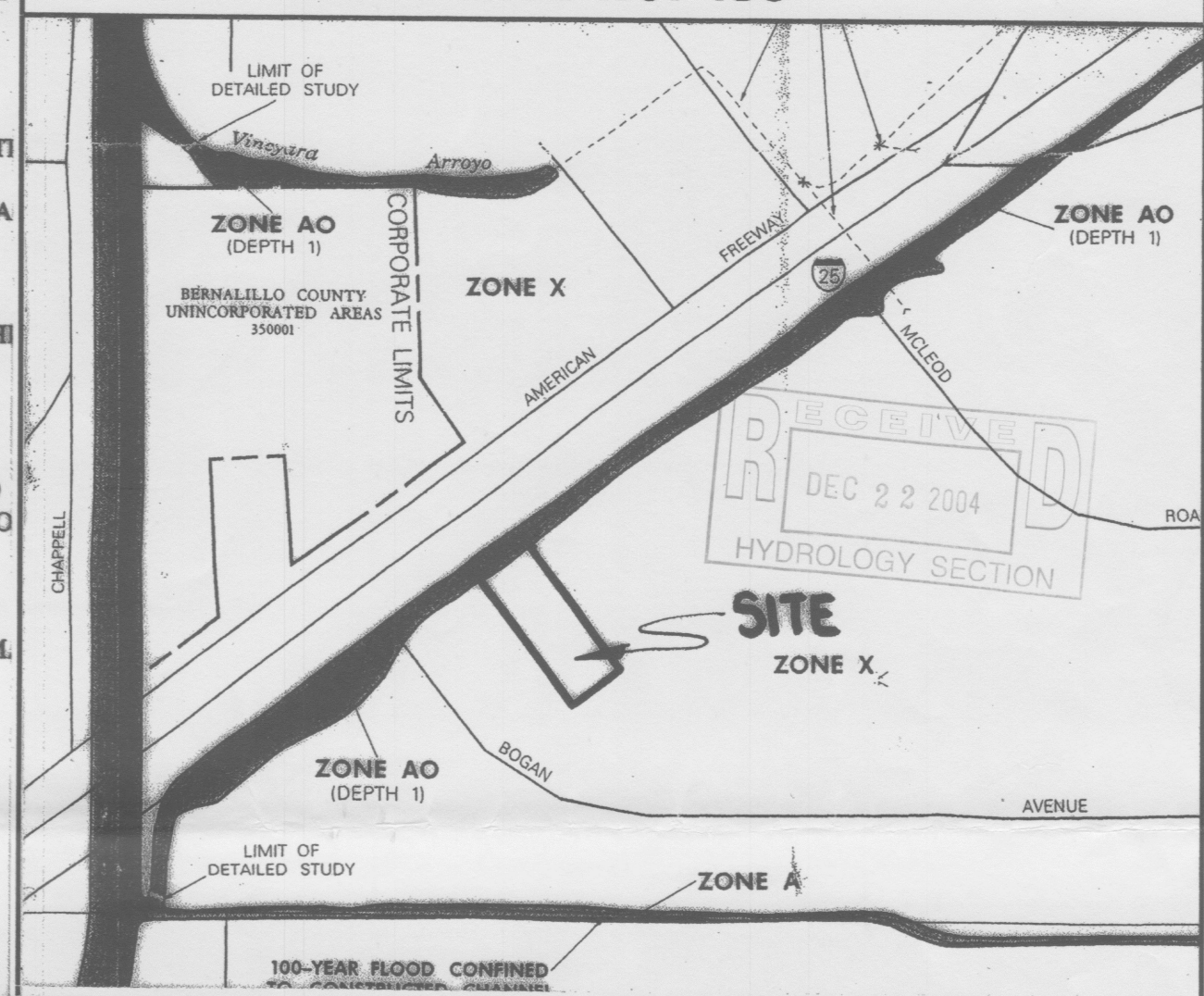
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

FEMA FLOODPLAIN BOUNDARY
DRAINAGE BASIN BOUNDARY
EROSION SETBACK LINE
EXISTING CONTOUR
PROPOSED CONTOUR
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
RECORD SPOT ELEVATION

## VICINITY MAP NO. F-17



## FEMA FIRM PANEL NO. 138



## GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

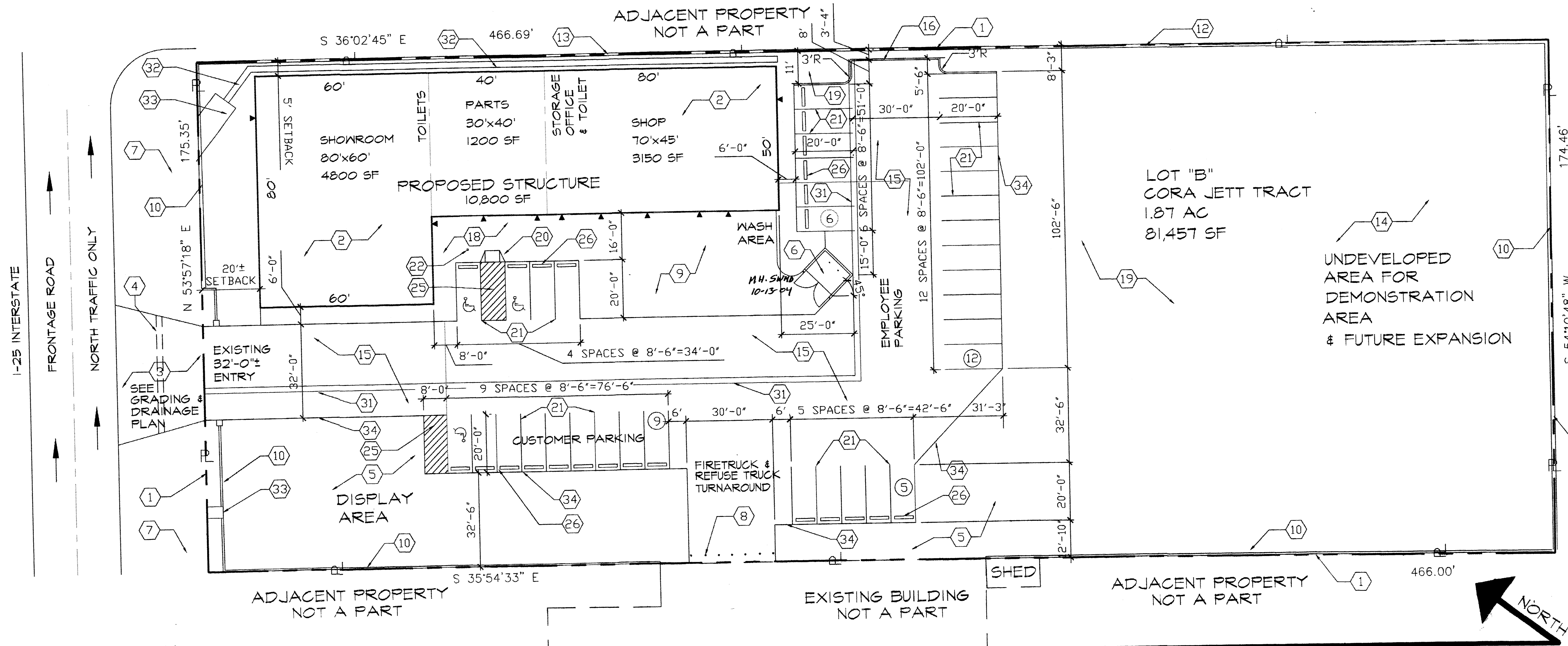
## EROSION CONTROL NOTES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERM OR SILT FENCES AT PROPERTY LINES AND BY SOIL TO PREVENT IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

no.	date	remarks	by
1	08/23/08	PARKING AND REFUSE GEOMETRICS, RAISE GENERAL GRADING 1' +/-	JJB

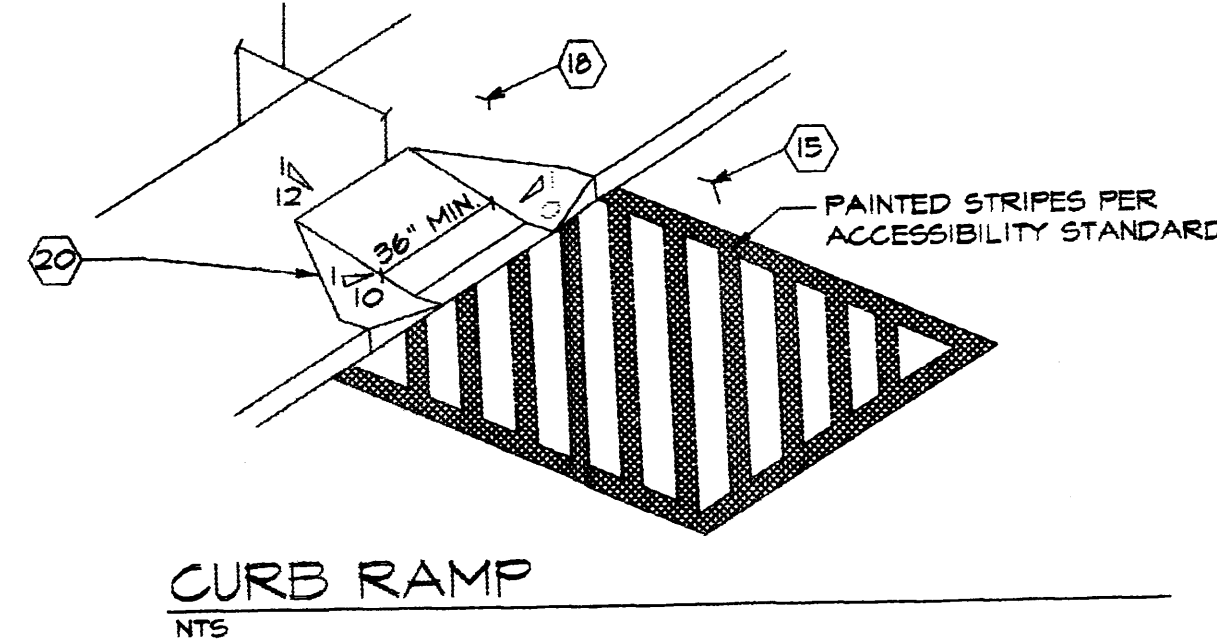
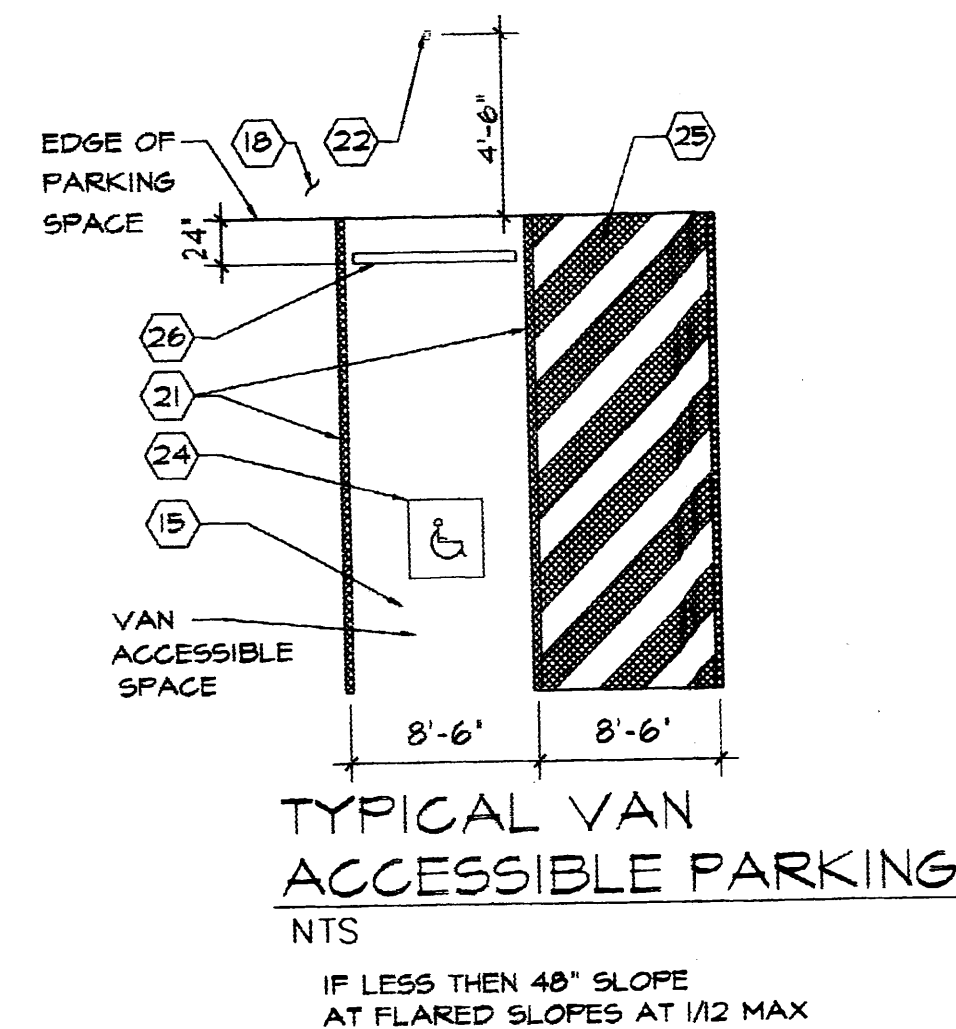
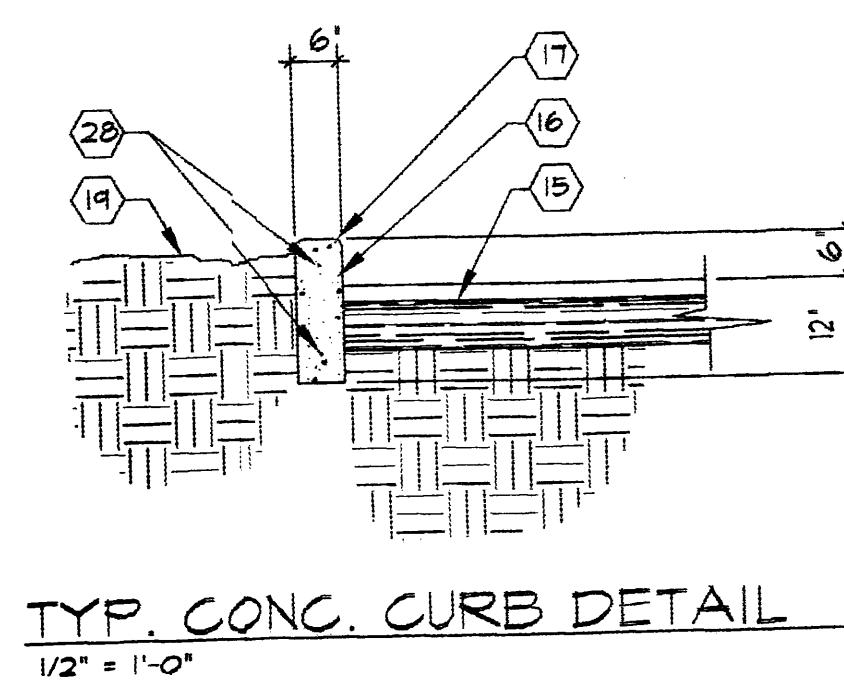
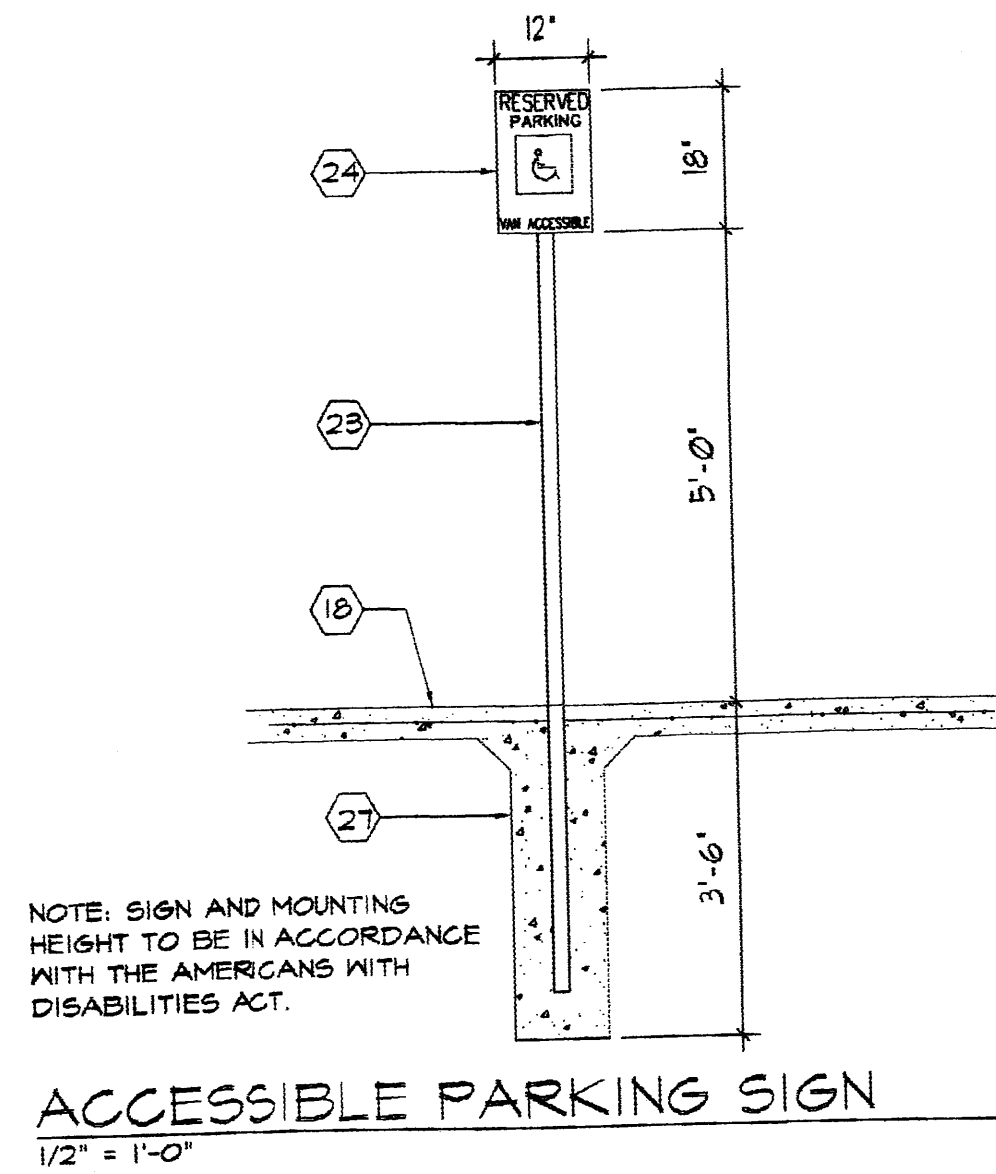
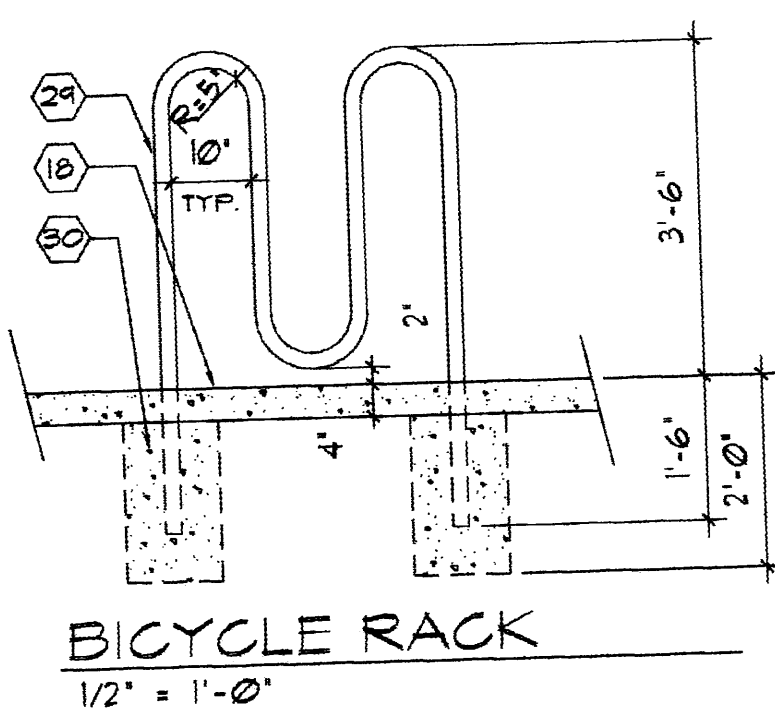
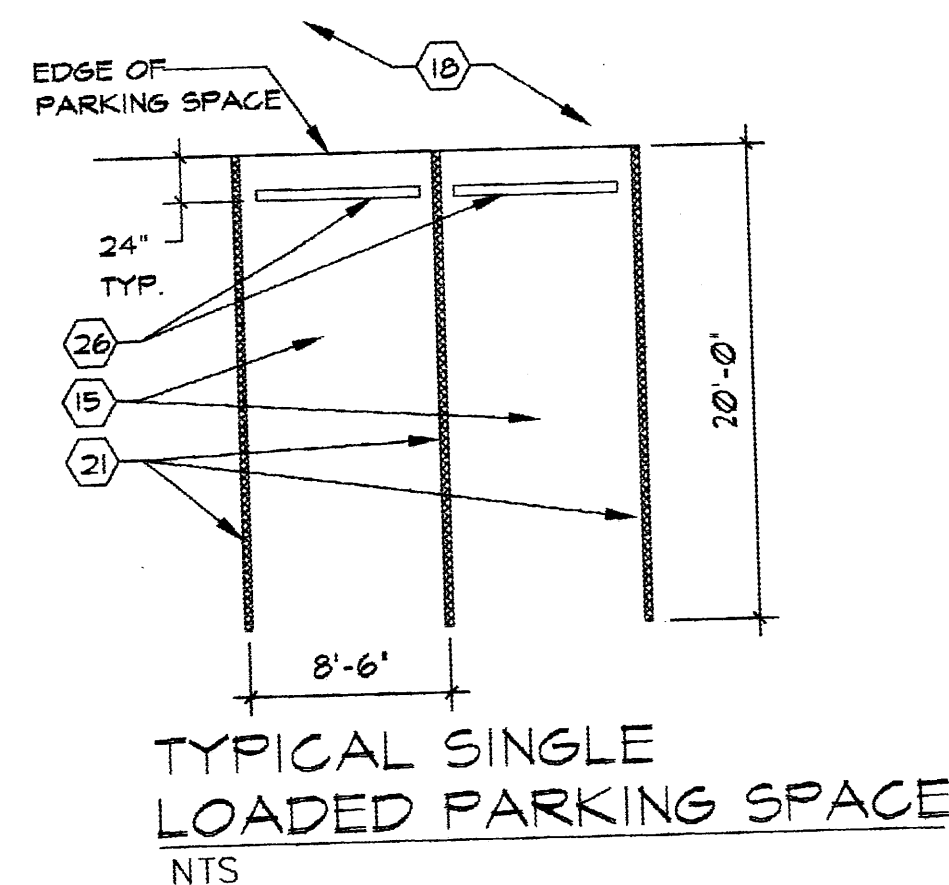
REVISIONS			
project title <b>JOHN DEERE NORTH I-25 FRONTAGE ROAD ALBUQUERQUE, NM</b>			
sheet title <b>GRADING &amp; DRAINAGE PLAN</b>			
sheet date	design by	project no.	
02/16/04	JJB	0407	
BORDENAVE DESIGNS			sheet
P.O. BOX 91194, ALBUQUERQUE, NM 87199			of
(505)823-1344 FAX (505)821-9105			





## SITE PLAN

1" = 20'-0"



## PROJECT DATA:

OWNER: MR. & MRS. HILDRETH  
ADDRESS: 4850 PANAMERICAN FREEWAY NE  
ZONING: M1  
ZONE MAP: F-17-Z  
SITE AREA: 1.87 ACRE ±  
BUILDING AREA: 10,800 SF  
NET SITE AREA: 70,657 SF  
(SITE AREA MINUS BUILDING AREA)  
LANDSCAPING AREA REQUIRED: 10,880 SF  
15% OF NET SITE AREA  
LANDSCAPING PROVIDED: SEE PLAN  
PARKING REQUIREMENTS:  
RETAIL- 1/200/ SF 4800/200=24  
PARTS- 1/1000/SF 1200/1000=1  
SHOP- 1/200 SF 3150/200 =16

PARKING PROVIDED: 41  
REGULAR SPACES 32  
HC SPACES 3  
SHOP SPACES 6  
TOTAL 41

▲ E. OF DOOR OPENING  
BUILDING TYPE OF CONSTRUCTION: VN (METAL)  
BUILDING OCCUPANCY GROUP: RETAIL B  
PARTS S2  
SHOP S3  
HEIGHT OF BUILDING: 20' ±  
NUMBER OF STORIES: ONE  
SPRINKLERS: NOT REQUIRED  
OCCUPANCY LOAD CALCULATIONS:  
1/30 SF RETAIL 4800/30=160  
1/300 SF PARTS 1200/300=4  
1/100 SF SHOP 3150/100=32  
TOTAL 196  
OCCUPANCY SEPARATION: 1HR BETWEEN  
S2 & S3

## KEYED NOTES

- ① EXISTING PROPERTY LINE
- ② NEW STRUCTURE
- ③ EXISTING ENTRY DRIVE
- ④ CULVERT UNDER EXISTING ENTRY
- ⑤ GRAVEL FINES
- ⑥ REFUSE ENCLOSURE PER C.O.A. STANDARDS AND REQUIREMENTS
- ⑦ DRAINAGE AREA
- ⑧ 6" DIA. STEEL BOLLARD - FILL SOLID w/CONCRETE.
- ⑨ CONCRETE DRIVE PAD.
- ⑩ NEW 24" CMU WALL W/WROUGHT IRON FENCE ABOVE
- ⑪ CONCRETE BOLLARD FOUNDATION.
- ⑫ EXISTING CONCRETE HEADER CURB
- ⑬ EXISTING CONCRETE RETAINING WALL
- ⑭ UNDEVELOPED AREA FOR DEMONSTRATION AREA & FUTURE EXPANSION.
- ⑮ ASPHALT PAVING
- ⑯ 6" CONCRETE CURB
- ⑰ 3/4" CHAMFER
- ⑱ 4" CONCRETE SIDEWALK
- ⑲ LANDSCAPE AREA
- ⑳ HANDICAPPED CURB RAMP
- ㉑ PAINTED PARKING STRIPE
- ㉒ HANDICAPPED SIGN TO BE CENTERED IN FRONT OF PARKING SPACE.
- ㉓ 2" GALVANIZED POLE
- ㉔ INTERNATIONAL HANDICAPPED SYMBOL
- ㉕ STRIPED HANDICAPPED ACCESS AREA
- ㉖ 6'-0" CONCRETE PARKING BUMPER
- ㉗ 12" DIA. x 42" CONCRETE FOOTING
- ㉘ #4 REBAR CONTINUOUS TOP & BOTTOM
- ㉙ 2" DIA. PAINTED TUBE STEEL BICYCLE RACK
- ㉚ 12" DIA. x 24" CONCRETE FOOTING
- ㉛ CONCRETE VALLEY GUTTER, SEE CIVIL
- ㉜ CONCRETE DRAINAGE CHANNEL, SEE CIVIL
- ㉝ SPILLWAY, SEE CIVIL
- ㉞ EDGE OF ASPHALT

JOHN DEERE FACILITY  
PAN AMERICAN FREEWAY NE  
ALBUQUERQUE, NEW MEXICO

SHEET

S-1

GUADALUPE ARCHITECTS  
DAVID WEATHERMAN ARCHITECT  
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