

KEYED NOTES

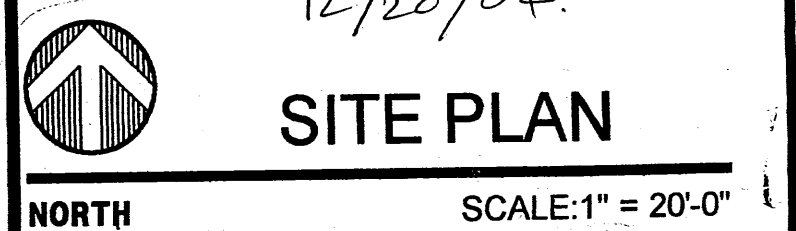
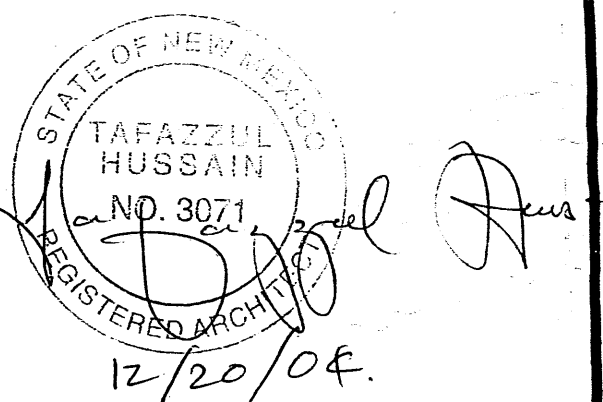
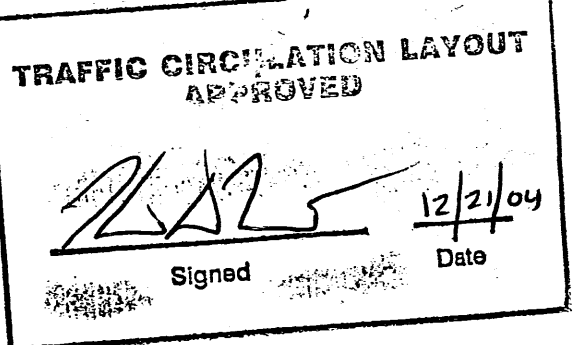
- 3 FLAGPOLES WITH UPLIGHTS.
- KEYSTONE PAVERS UNDER CANOPY OVER 4" THICK CONCRETE SLAB.
- MONUMENTAL SIGN
- PYLON SIGN.
- DUMPSTER AND ENCLOSURE WITH GATE TO SCREEN. SEE DETAIL 2/SP-1.
- HANDICAP SIGN. SEE DETAIL 2/SP-1. SCREEN. SEE DETAIL 2/SP-1.
- BIKE RACK FURNISHED AND INSTALLED BY GENERAL CONTRACTOR TO ACCOMMODATE 4 BIKES PER RACK.
- PREMISE ID - JEFFERSON BLVD.
- CHILLER PAD 17'-0"X10'-0".
- YELLOW STRIPPING FOR PEDESTRIAN CROSSING.
- 5'-0" WIDE CONCRETE SIDEWALK BROOM FINISH.
- FLOOR DRAIN, SLOPE SLAB TO DRAIN AND CONNECT TO SEWER LINE.
- GREASE TRAP.

GENERAL NOTES

- REFER TO SHEET L-1 FOR LANDSCAPING.
- REFER TO SHEET E-3 FOR SITE LIGHTING.
- THE VEHICLES WILL NOT BE ALLOWED TO OVERHANG INTO THE LANDSCAPED AREAS.

LEGEND

LIGHT POLES 16'-0" TALL



SITE PLAN

AFRA Construction & Design LLC
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1492

Holiday Inn
DEC 2 2004
SECTION

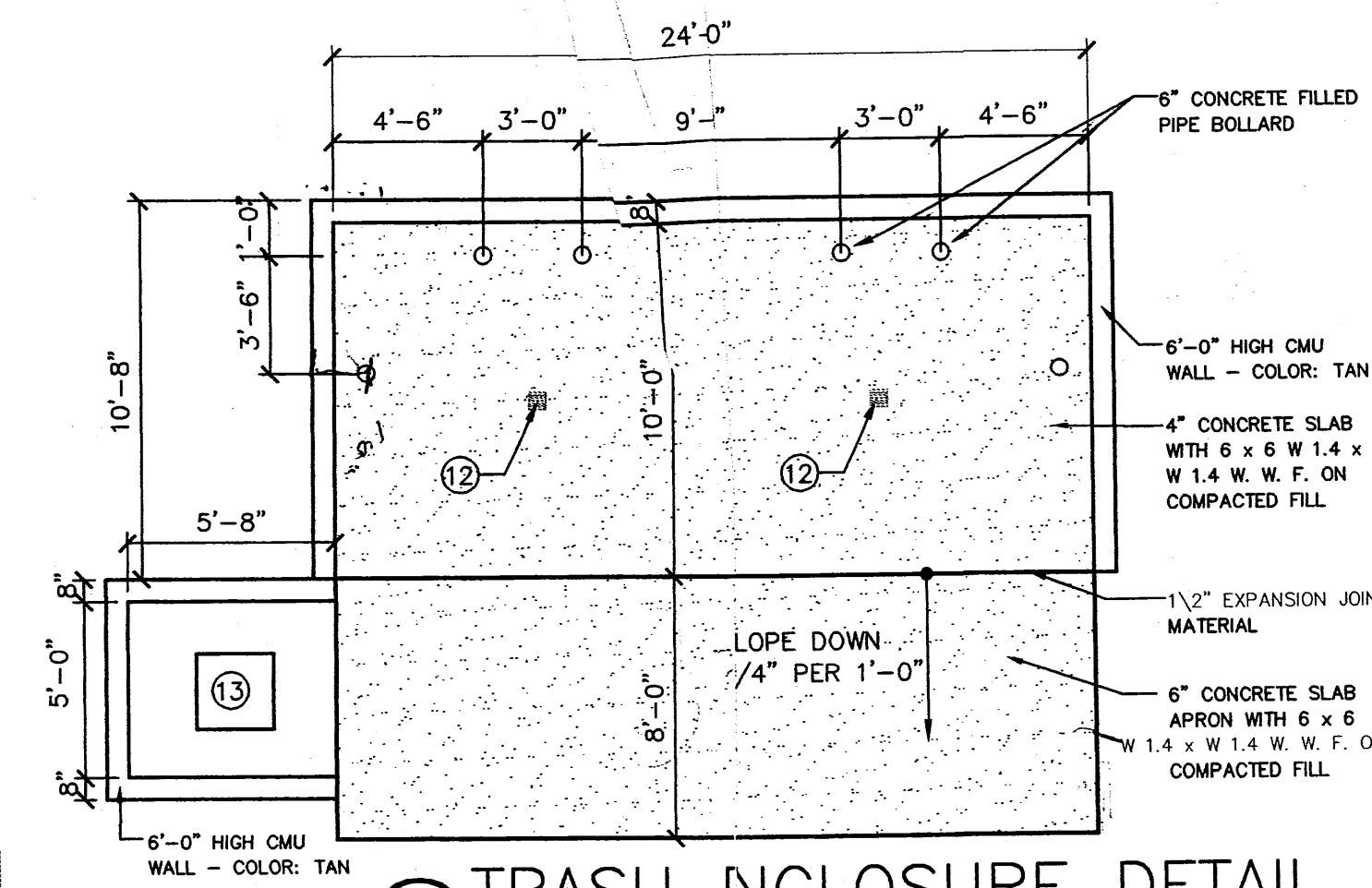
5050 JEFFERSON ST.
ALBUQUERQUE, NM 87109

REV	DATE	DESCRIPTION	APVD
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SP-1

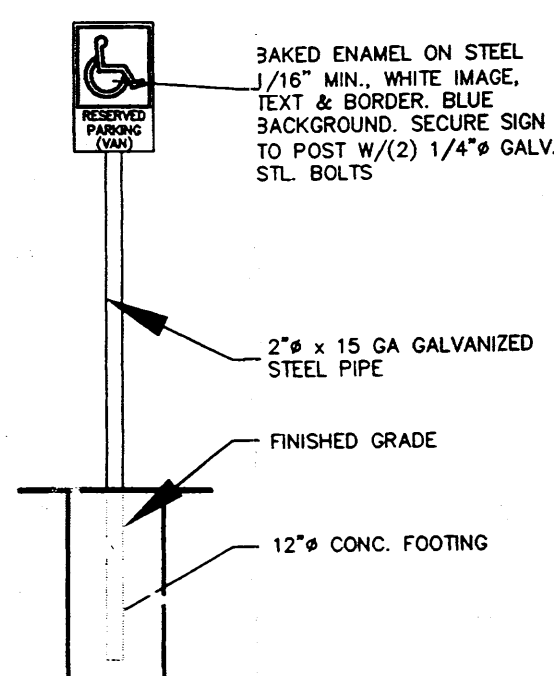
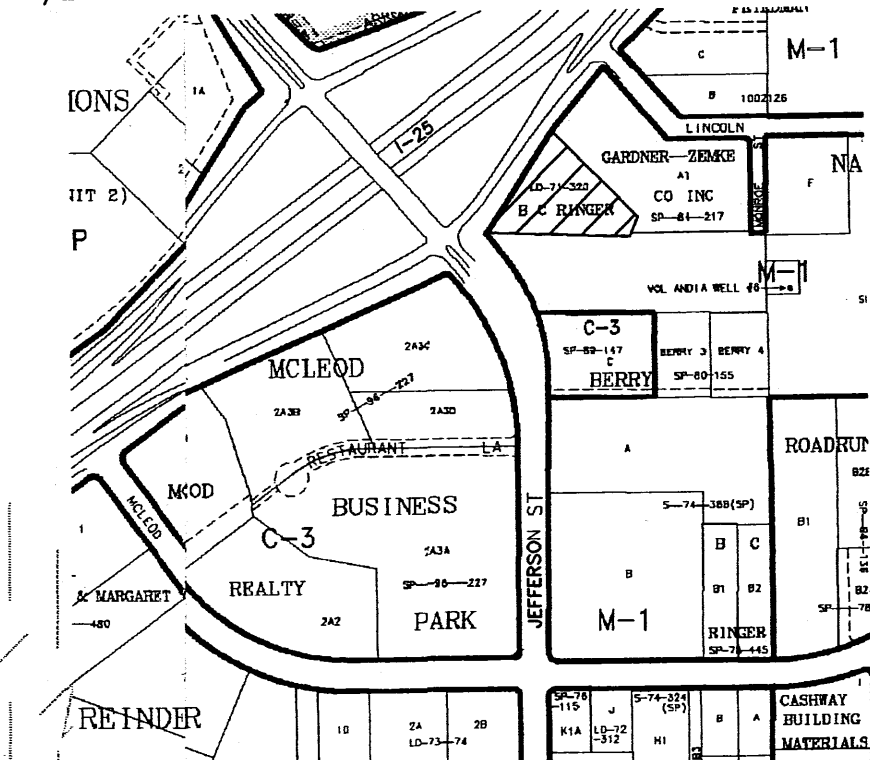
12.20.04

DRAWN BY: MMS



1 TRASH ENCLOSURE DETAIL

SCALE: 1/2"=1'-0"



2 HANDICAP SIGN DETAIL

SCALE: 1/2"=1'-0"

PARKING

122 GUEST ROOMS = 122 PARKING SPACES
TOTAL PARKING REQUIRED = 122 SPACES
TOTAL PARKING PROVIDED = 127 SPACES
TOTAL STANDARD PARKING = 91 SPACES
TOTAL COMPACT PARKING = 33 SPACES
ACCESSIBLE SPACES = 4 SPACES
ACCESSIBLE VAN SPACES = 1 SPACE

BICYCLES

1/20 SPACES REQUIRED ≈ 7
2 RACKS WITH 4 BICYCLE CAPACITY EA=8

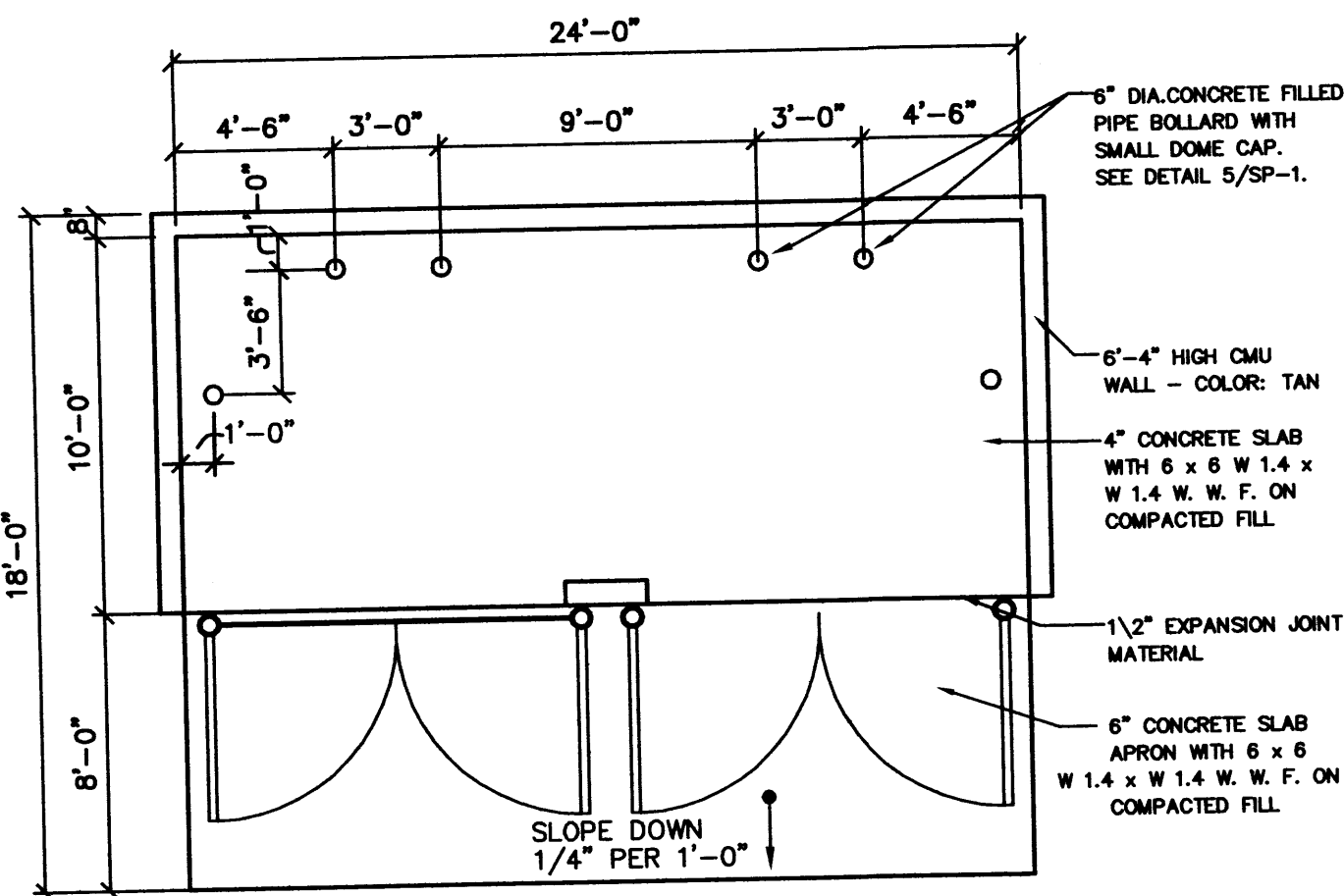
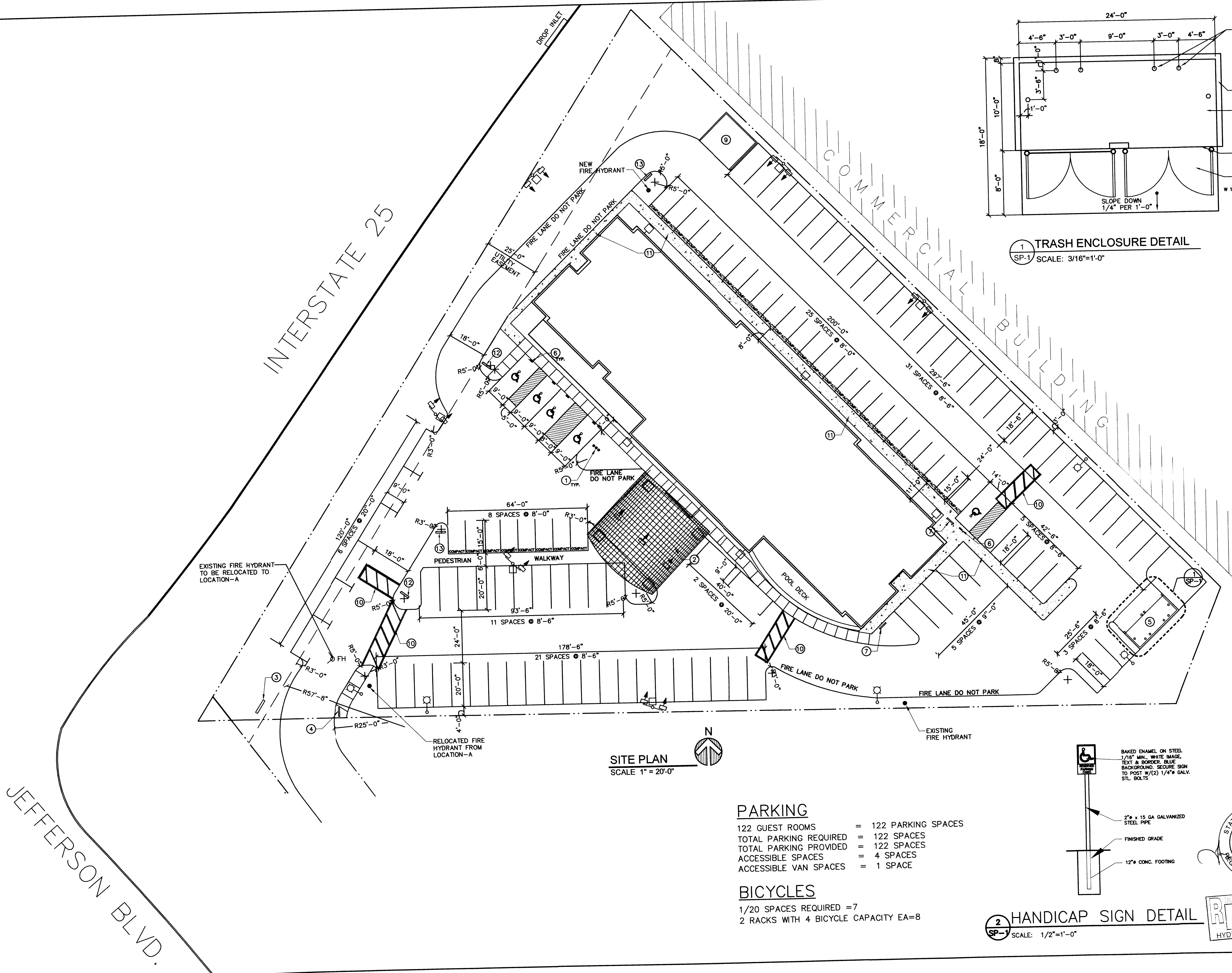
SITE PLAN
SCALE 1" = 20'-0"

NOTE 1:
CROSS ACCESS EASEMENT-EASEMENT 2 BEGINNING AS AN EASEMENT (EASEMENT 2) AT THE SOUTHWEST CORNER OF EASEMENT 1, BEING A POINT ON THE EAST RIGHT OF WAY OF JEFFERSON STREET, NE; THENCE, LEAVING SAID RIGHT OF WAY AND RUNNING COINCIDENTALLY WITH THE SOUTH EASMENT LINE OF EASEMENT 1, N 66°10'10" E A DISTANCE OF 29.5 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED EASEMENT 2, BEING ON E IN THE SAME AS THE SOUTHEAST CORNER OF EASEMENT; THENCE, 84.5 FEET ALONG AN ARC TO THE RIGHT, (NON-TANGENT TO THE PREVIOUS CALL) HAVING A RADIUS OF 772.50 FEET, A DELTA OF 6°14'03" AND A CHORD OF S 20°42'48" E, 84.01 FEET TO THE SOUTH PROPERTY LINE OF THE ABOVE REFERENCED PARCEL 1; THENCE, COINCIDING WITH THE SOUTH PROPERTY OF PARCEL 1, N 89°43'45" W, A DISTANCE OF 31.06 FEET TO THE SOUTHWEST CORNER OF BOTH PARCEL 1 AND EASEMENT 2, AND A POINT ON THE EAST RIGHT OF WAY OF JEFFERSON STREET; THENCE, COINCIDING WITH THE EAST RIGHT OF WAY, 71.31 FEET ALONG AN ARC TO THE LEFT, HAVING A RADIUS OF 743.00 FEET, A DELTA OF 5°29'57" AND A CHORD OF N 21°04'51" W, 71.31 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0526 ACRES (2,292 SQ. FT.) MORE OR LESS.

Total Parking in Lot	Required Minimum Number of Accessible Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100 over 1000

INTERSTATE 25

JEFFERSON BLVD



1 TRASH ENCLOSURE DETAIL
SCALE: 3/16"=1'-0"

- ### KEYED NOTES
- 3 FLAGPOLES WITH UPLIGHTS.
 - KEYSTONE PAVERS UNDER CANOPY OVER 4" THICK CONCRETE SLAB.
 - MONUMENTAL SIGN.
 - PYLON SIGN.
 - DUMPSTER AND ENCLOSURE WITH GATE TO SCREEN. SEE DETAIL 1/SP-1.
 - HANDICAP SIGN. SEE DETAIL 2/SP-1. SCREEN. SEE DETAIL 2/SP-1.
 - BIKE RACK FURNISHED AND INSTALLED BY GENERAL CONTRACTOR TO ACCOMMODATE 4 BIKES PER RACK.
 - PREMISE ID - JEFFERSON BLVD.
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 - 5'-0" WIDE CONCRETE SIDEWALK BROOM FINISH.
 - POST "ONE WAY" SIGN.
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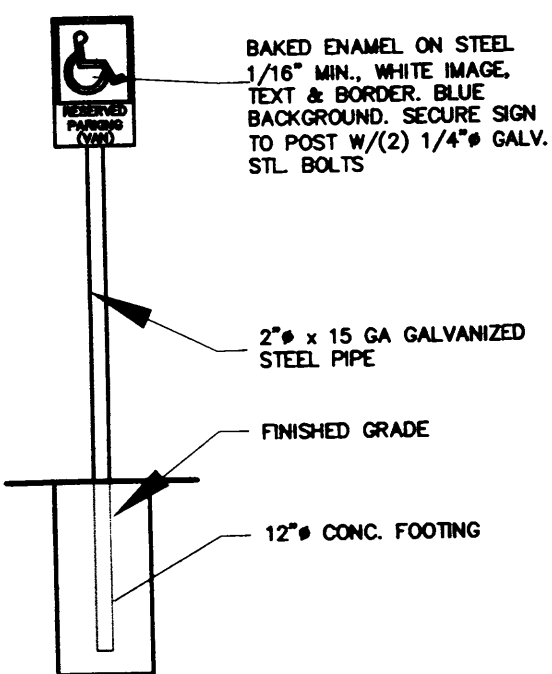
- ### GENERAL NOTES
- A. REFER TO SHEET L-1 FOR LANDSCAPING.
B. REFER TO SHEET E3 FOR SITE LIGHTING.
C. THE VEHICLES WILL NOT BE ALLOWED TO OVERHANG INTO THE LANDSCAPED AREAS.

- ### LEGEND
- LIGHT POLES 16'-0" TALL

SITE PLAN
SCALE 1" = 20'-0"

- ### PARKING
- | | | |
|------------------------|---|--------------------|
| 122 GUEST ROOMS | = | 122 PARKING SPACES |
| TOTAL PARKING REQUIRED | = | 122 SPACES |
| TOTAL PARKING PROVIDED | = | 122 SPACES |
| ACCESSIBLE SPACES | = | 4 SPACES |
| ACCESSIBLE VAN SPACES | = | 1 SPACE |

- ### BICYCLES
- 1/20 SPACES REQUIRED = 7
2 RACKS WITH 4 BICYCLE CAPACITY EA=8



2 HANDICAP SIGN DETAIL
SCALE: 1/2"=1'-0"

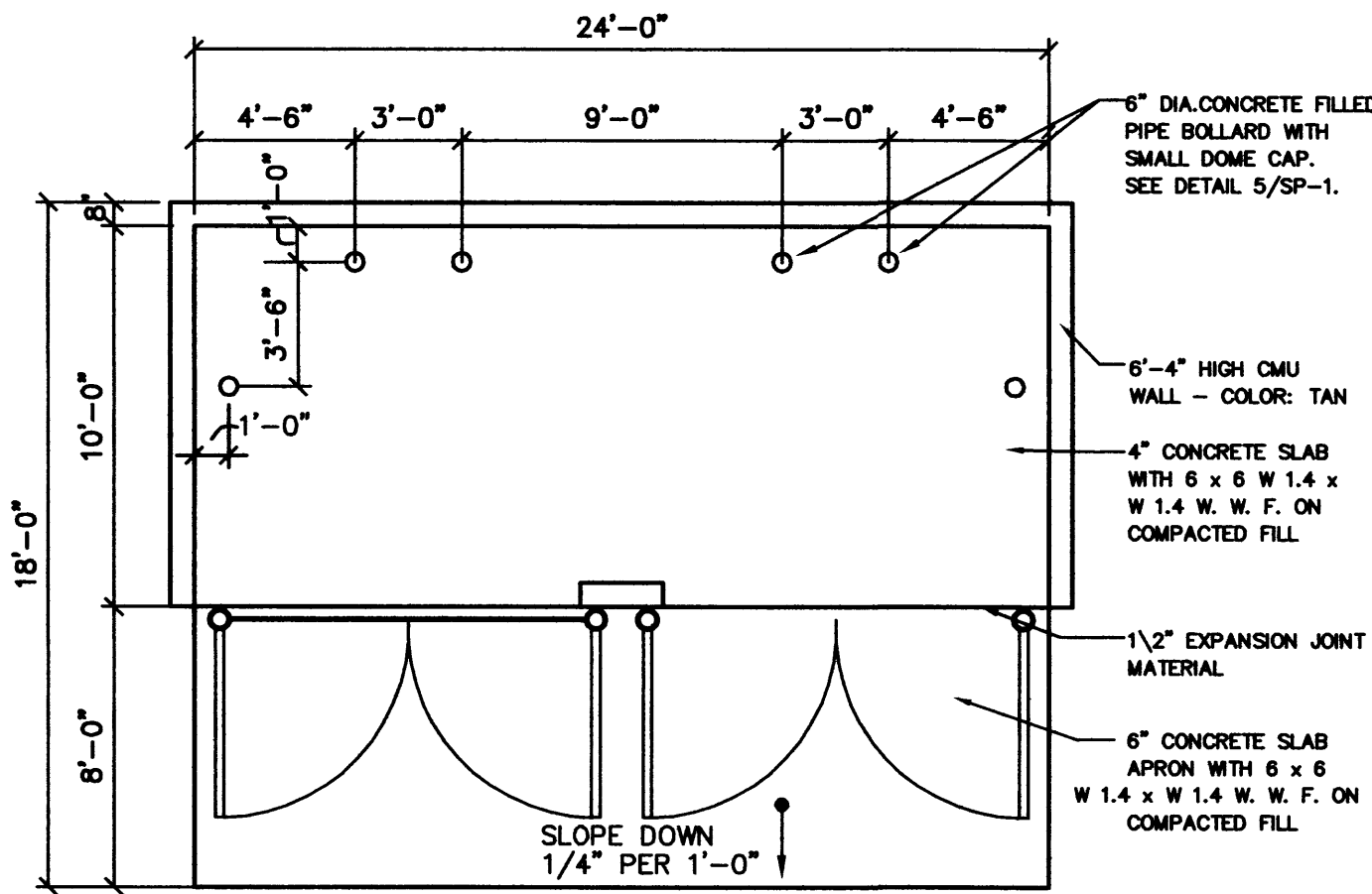
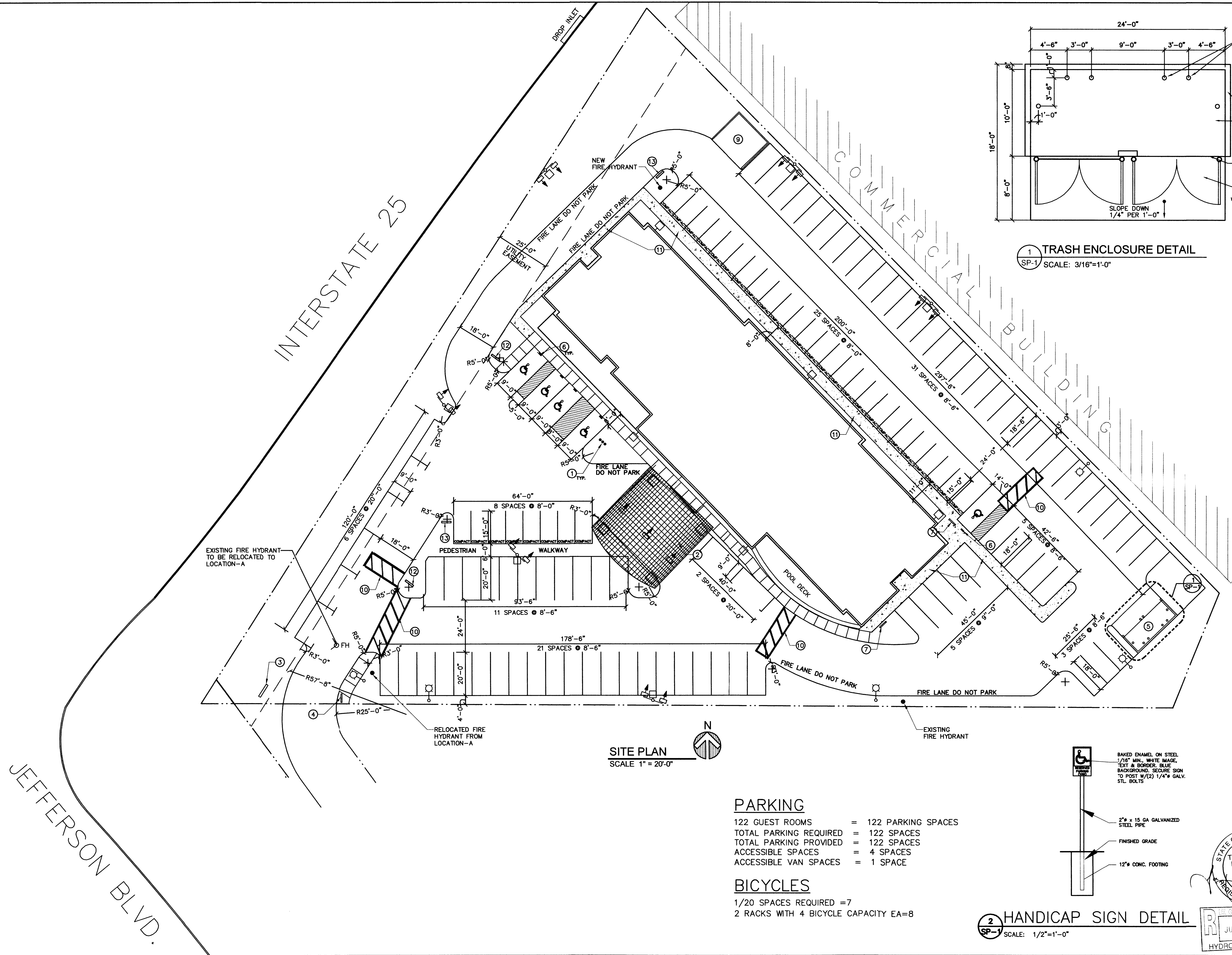
SITE PLAN
SCALE: 1" = 20'-0"

AFRA Construction & Design LLC
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1482

Holiday Inn
5050 JEFFERSON ST.
ALBUQUERQUE, NM 87109

REV	DATE	DESCRIPTION	APVD
1			
2			
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4			

SP-1
12.04.05
DRAWN BY:



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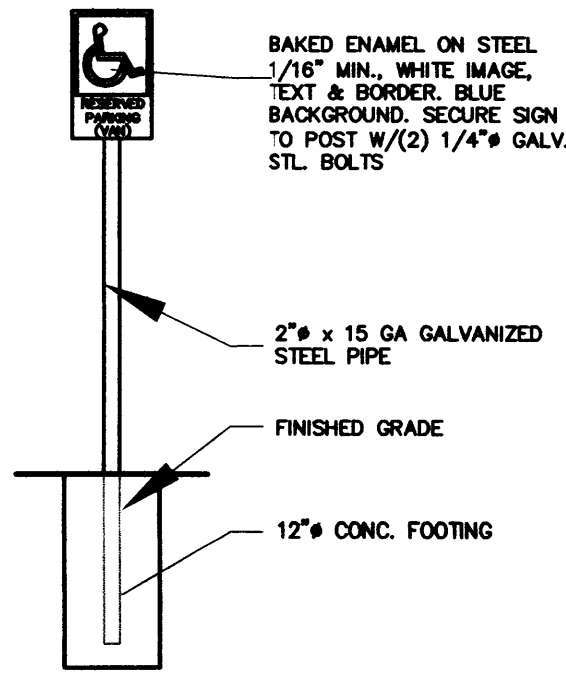
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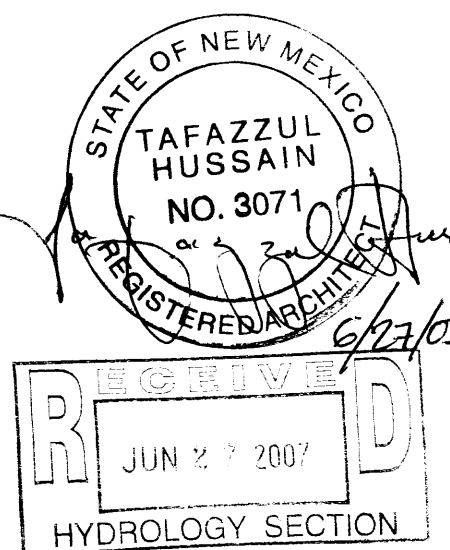
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SCALE: 1/2"=1'-0"

SITE PLAN
SCALE: 1" = 20'-0"

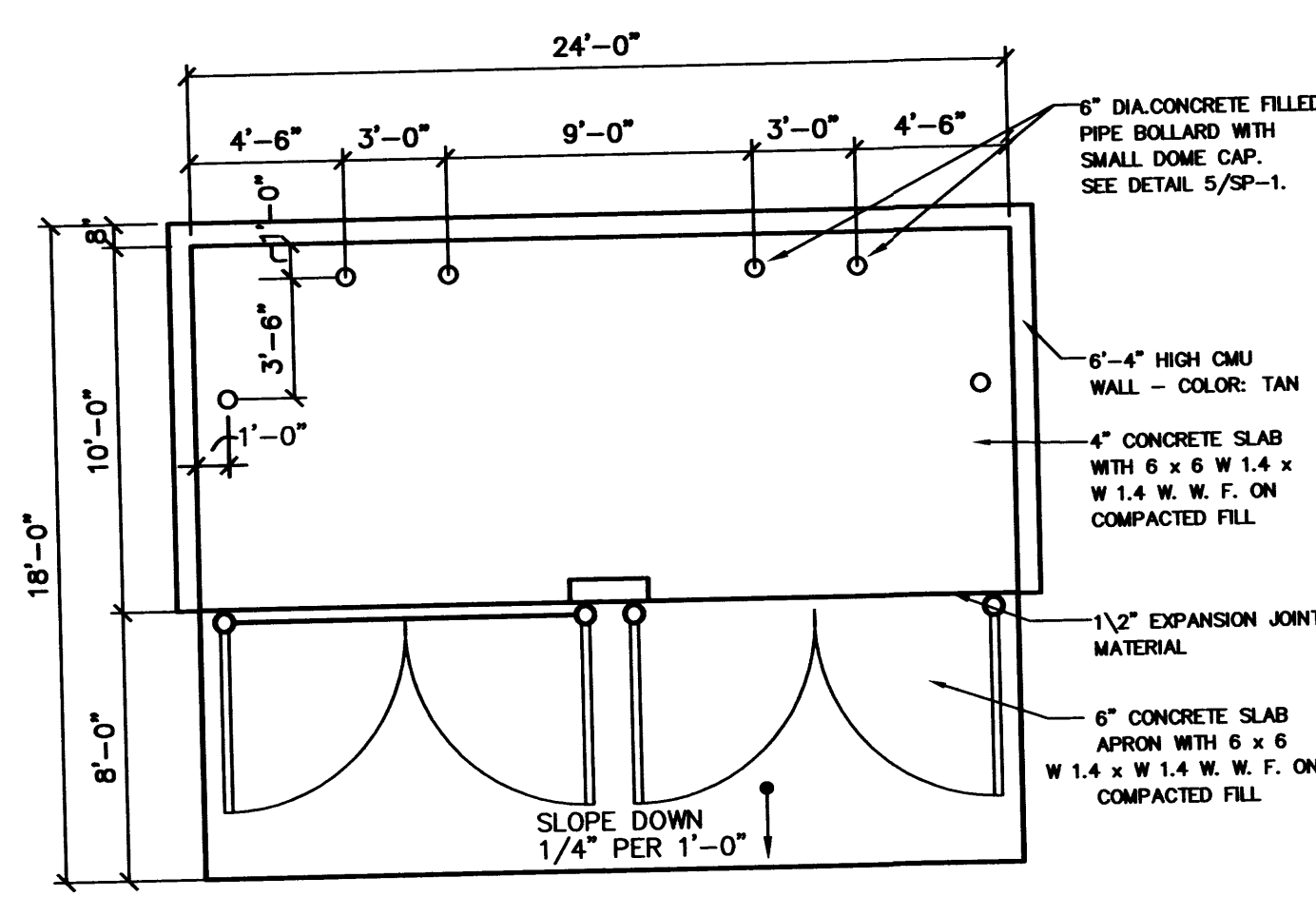
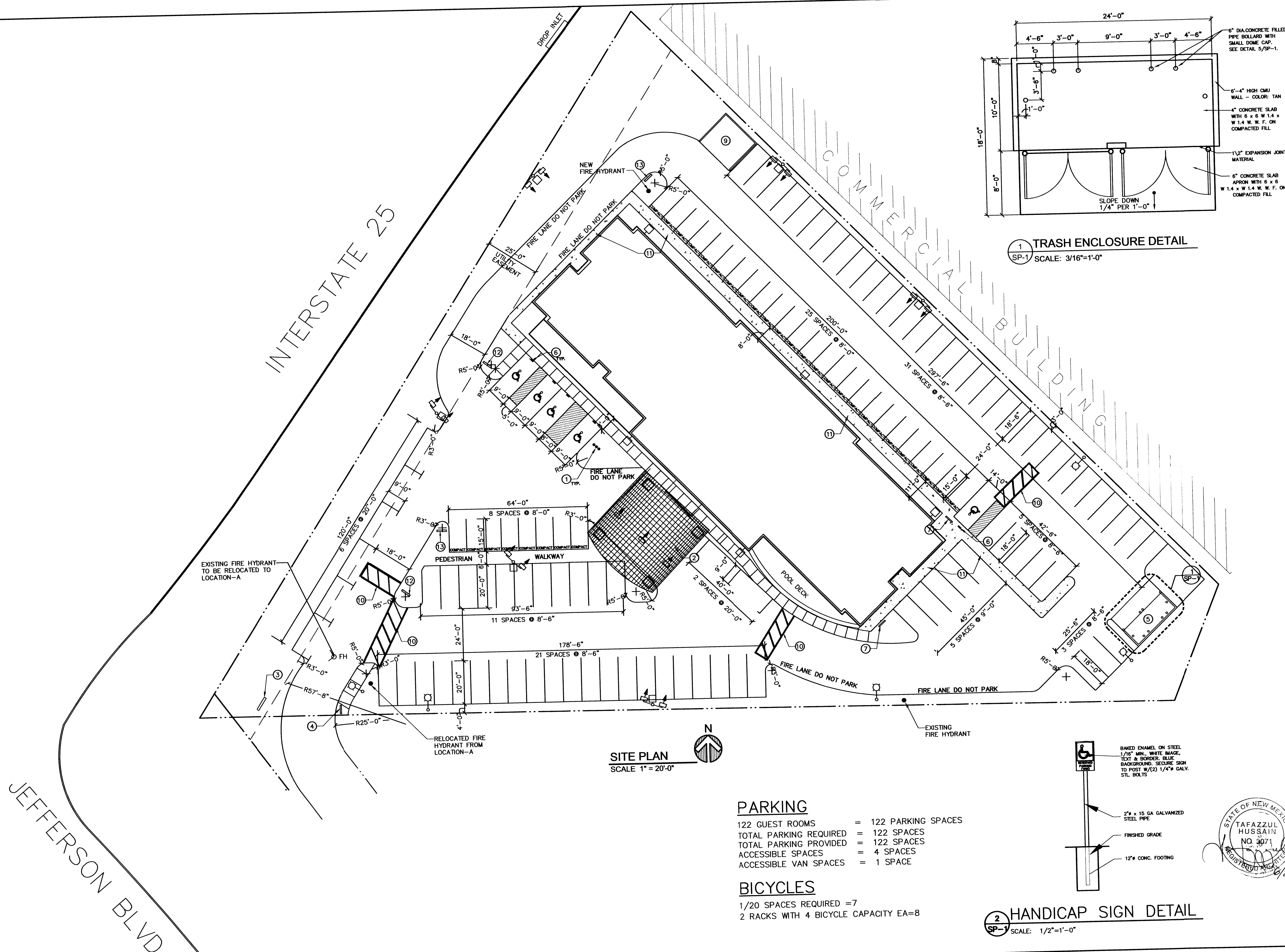
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ALBUQUERQUE, NM 87109

REV	DATE	DESCRIPTION	APVD
1			
2			
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SP-1
12.04.05
DRAWN BY:



1 TRASH ENCLOSURE DETAIL
SCALE: 3/16"=1'-0"

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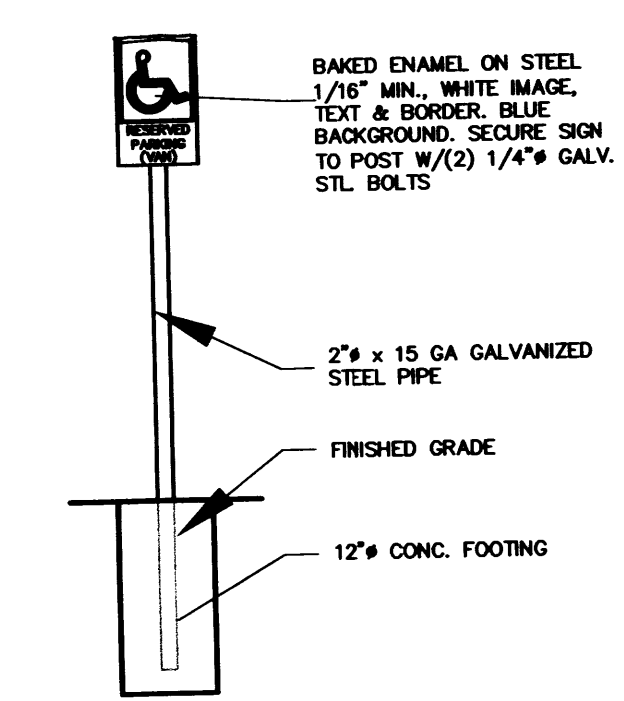
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SITE PLAN
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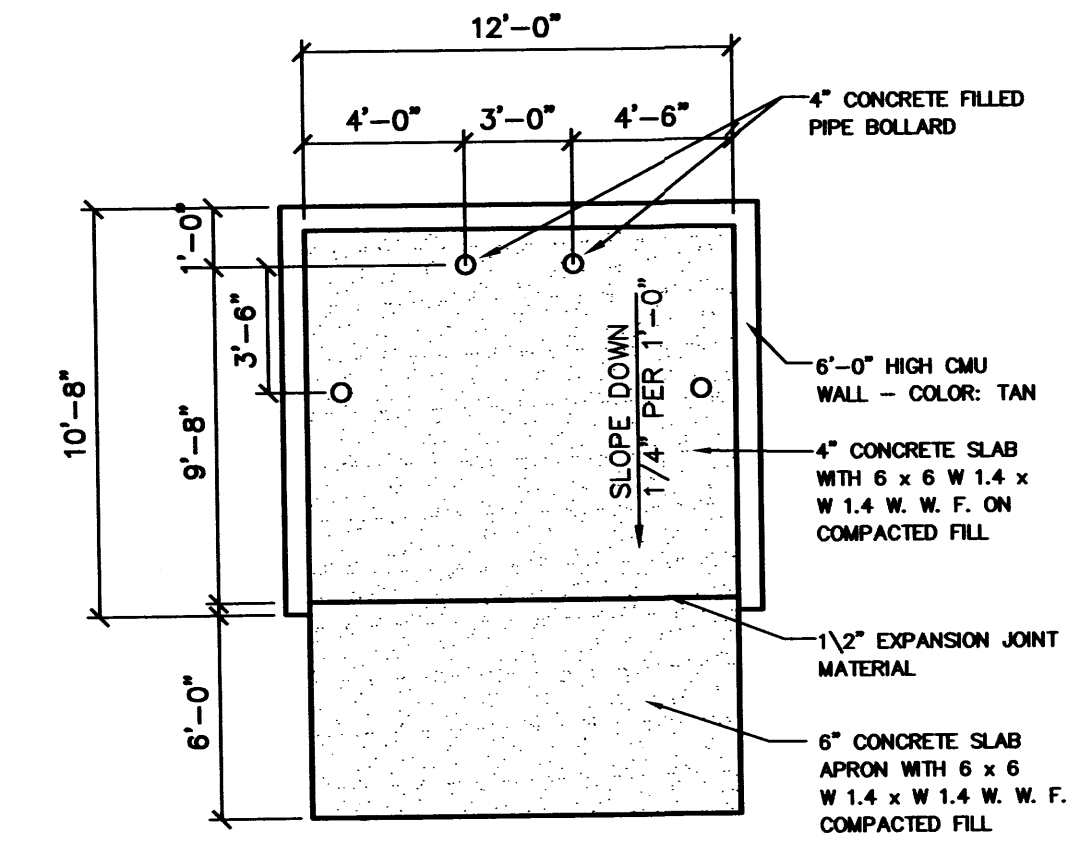
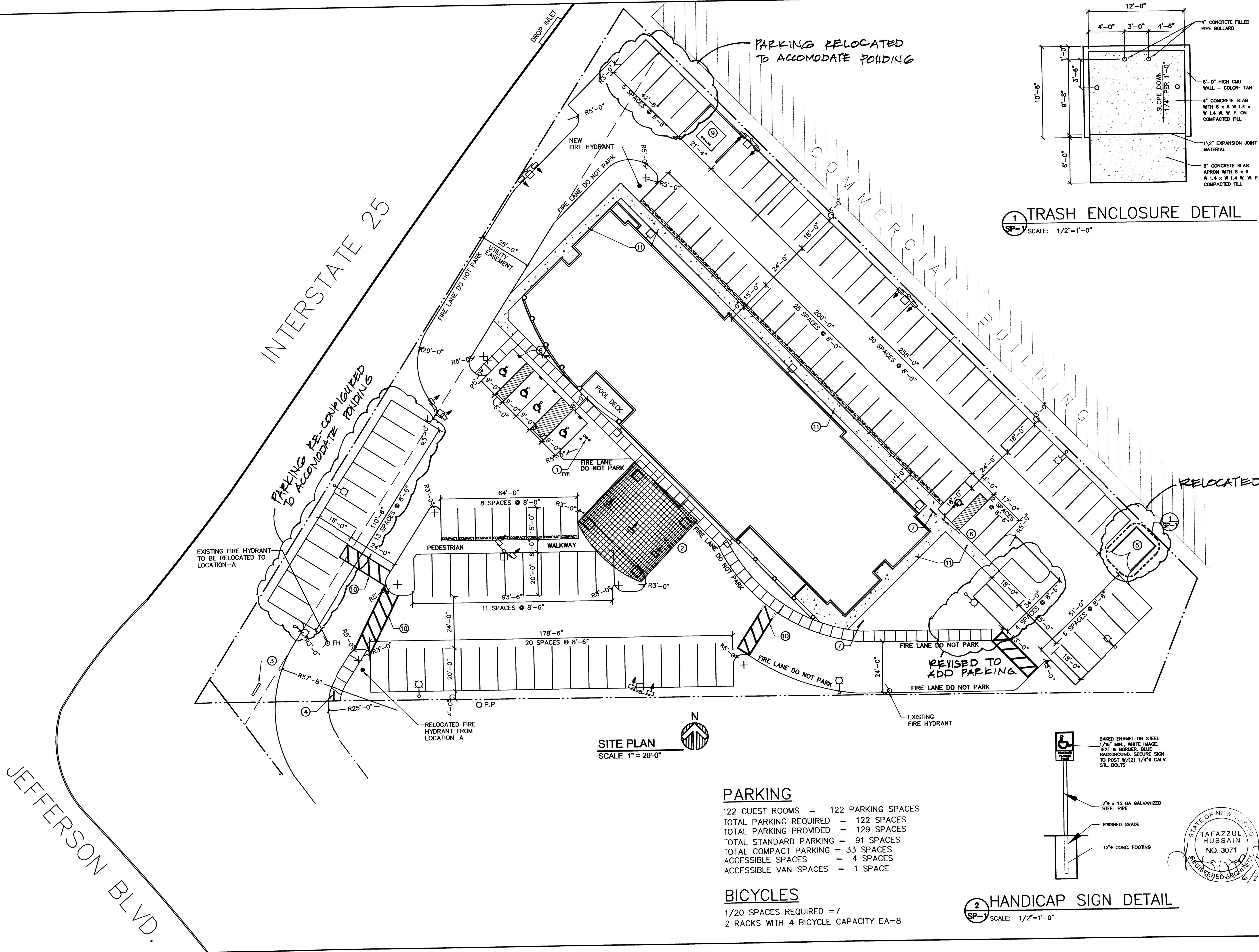
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SP-1

12.04.05

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LEGEND

○ LIGHT POLES 16'-0" TALL



SITE PLAN

NORTH SCALE: 1" = 20'-0"

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Holiday Inn

5050 JEFFERSON ST.
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SP-1

11.03.04

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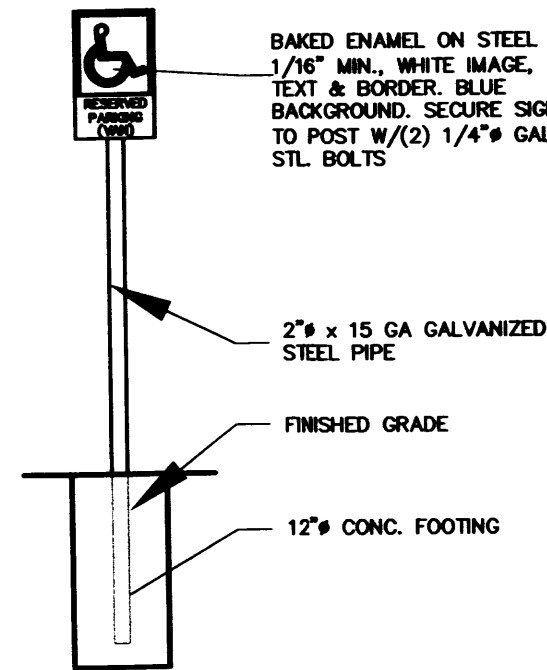
PARKING

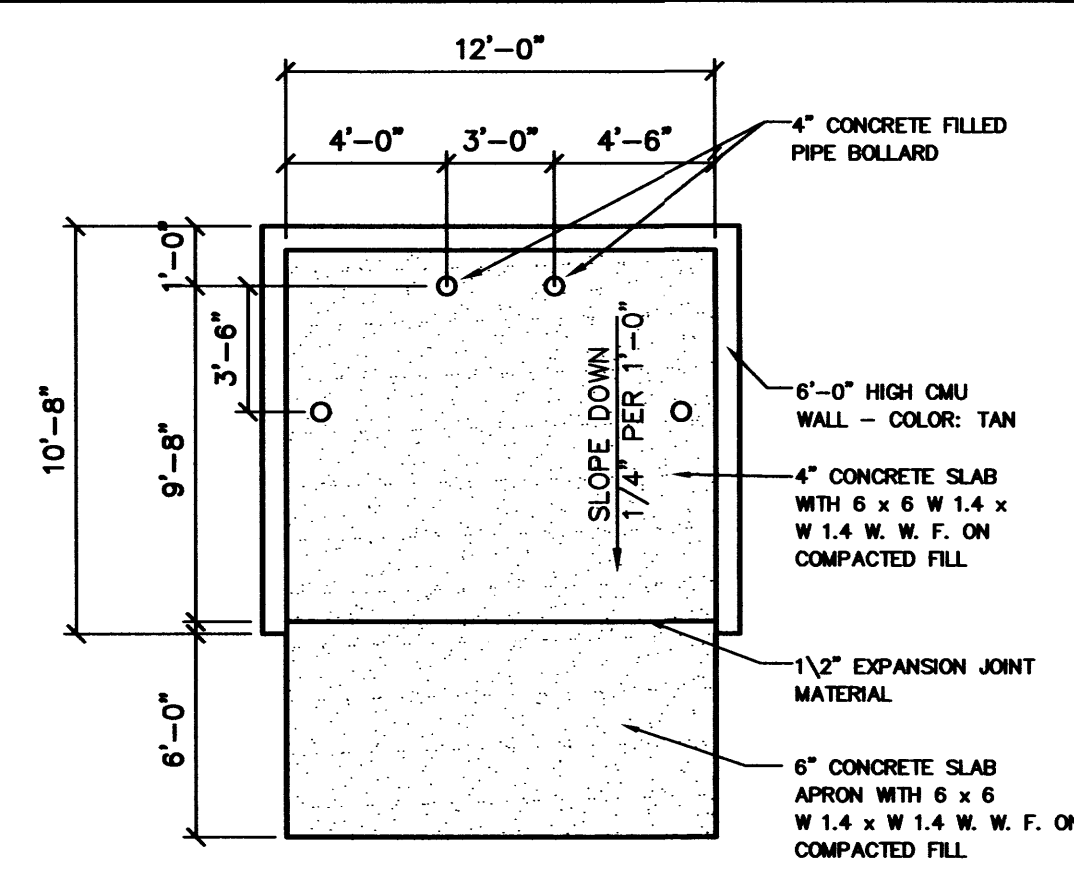
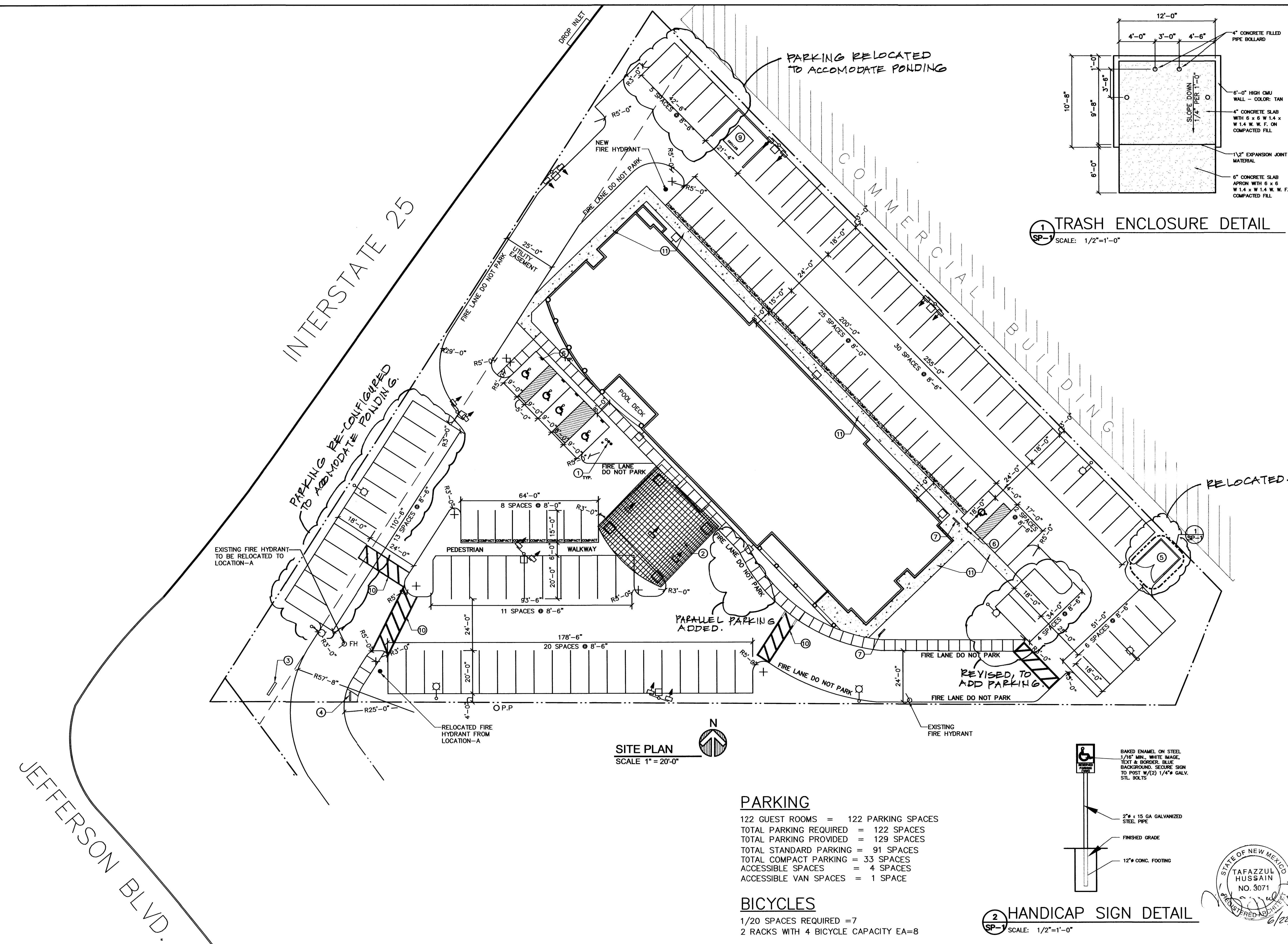
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2 HANDICAP SIGN DETAIL
SCALE: 1/2"=1'-0"





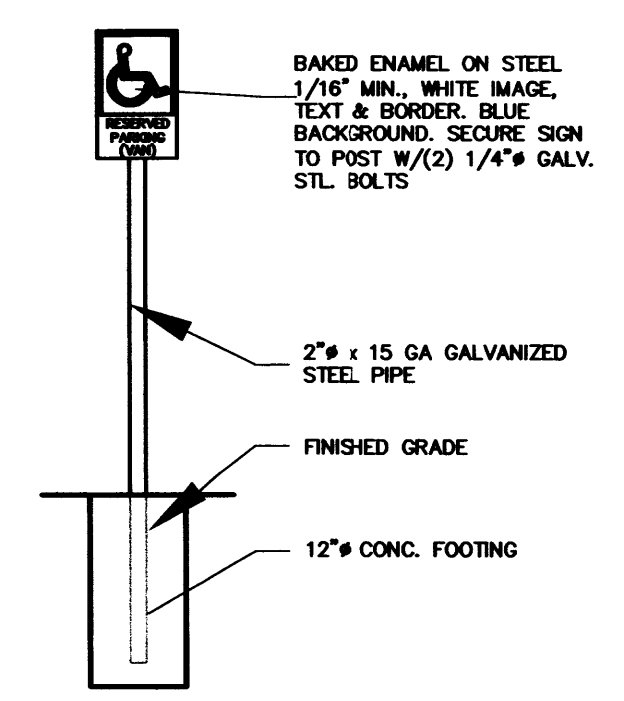
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SITE PLAN
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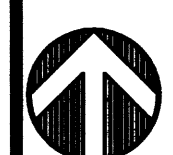
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SITE PLAN

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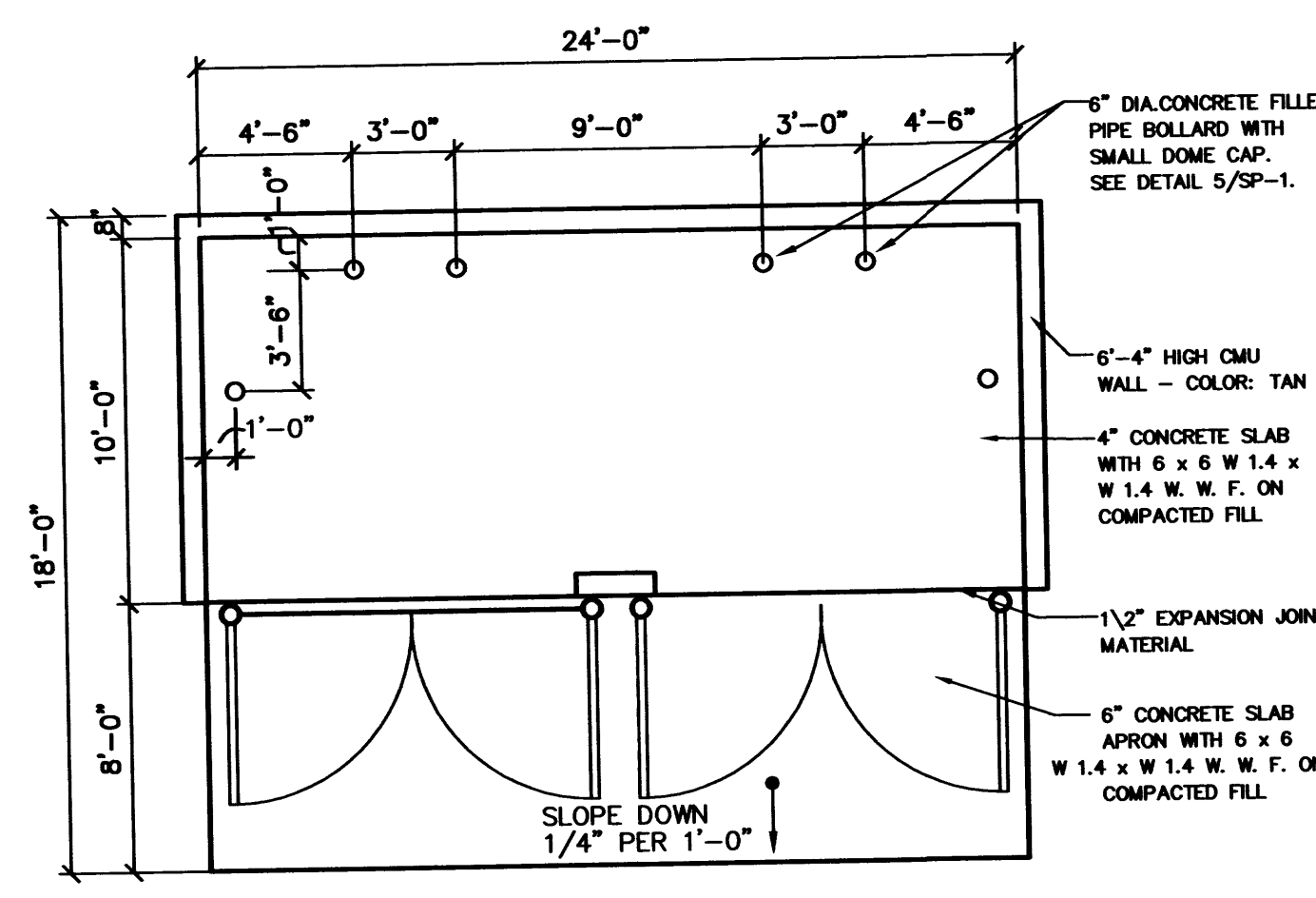
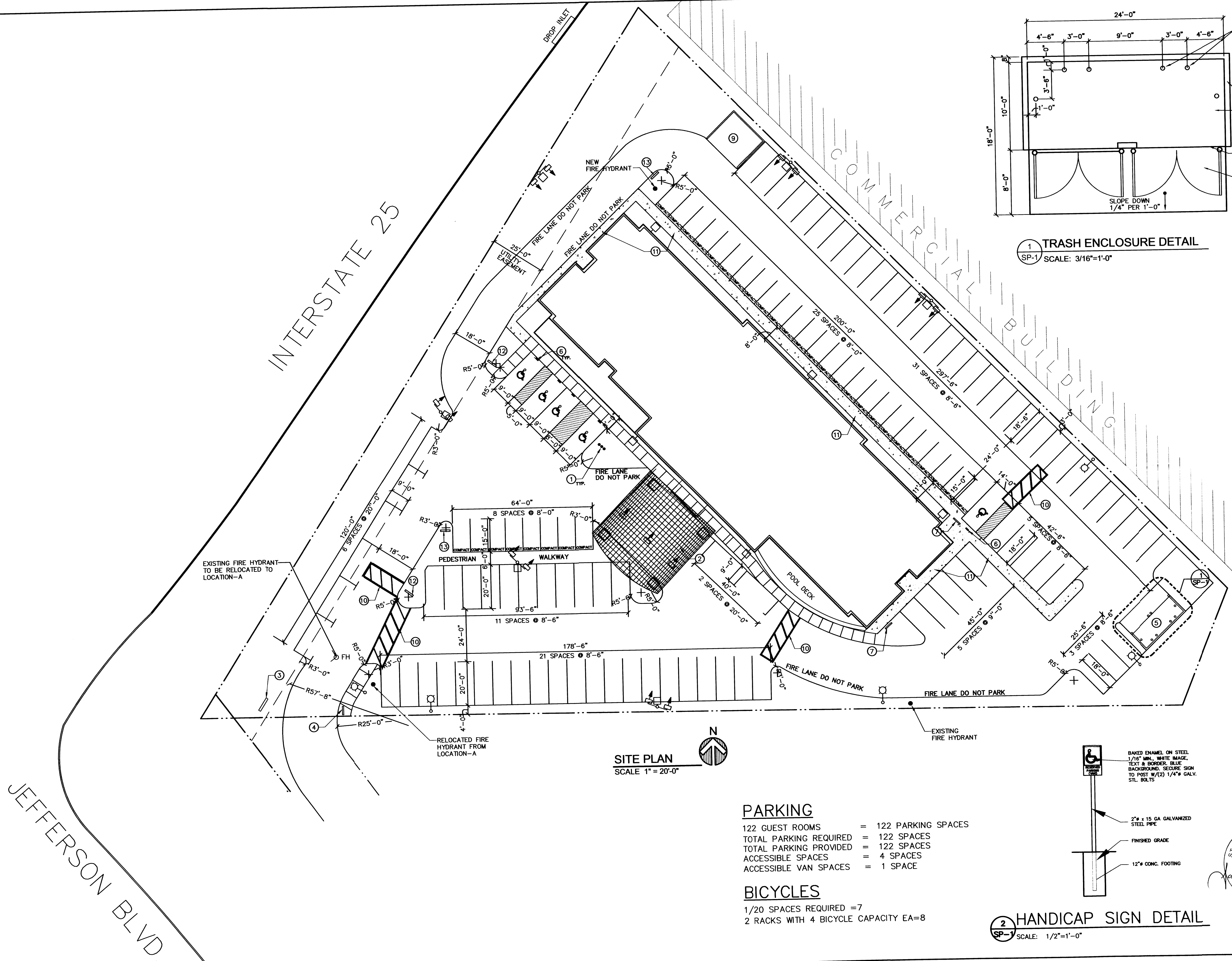
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SP-1

11.03.04
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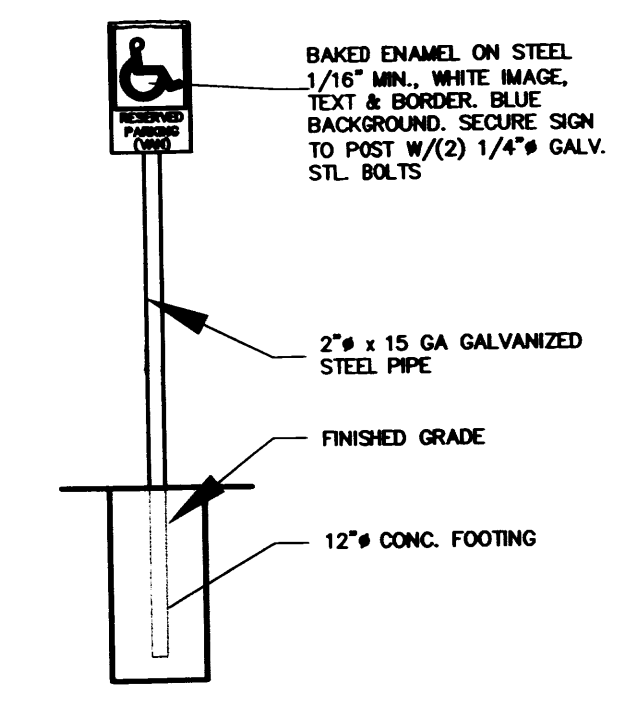


1 TRASH ENCLOSURE DETAIL
SCALE: 3/16"=1'-0"

SITE PLAN
SCALE 1"=20'-0"

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SITE PLAN
NORTH SCALE: 1"=20'-0"

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REV	DATE	DESCRIPTION	APVD
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SP-1			
12-4-05			
DRAWN BY:			

TOL CERTIFICATION

I, Tafazzul Hussain, 003071, of the firm Afra Construction & Design, hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved plan dated 12/20/04. The record information edited onto the original design document has been obtained by Tafazzul Hussain, 003071 in NM, of the firm Afra Construction and Design. I further certify that I have personally visited the project site on 01/06/2006 and have determined by visual inspection that the provided data is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions: NOTE EXCEPTIONS.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Traffic Circulation Layout aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

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1 to 25	1
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301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100 over 1000

EXISTING FIRE HYDRANT TO BE RELOCATED TO LOCATION-A

RELOCATED FIRE HYDRANT FROM LOCATION-A

SITE PLAN
SCALE 1" = 20'-0"

NOTE 1:

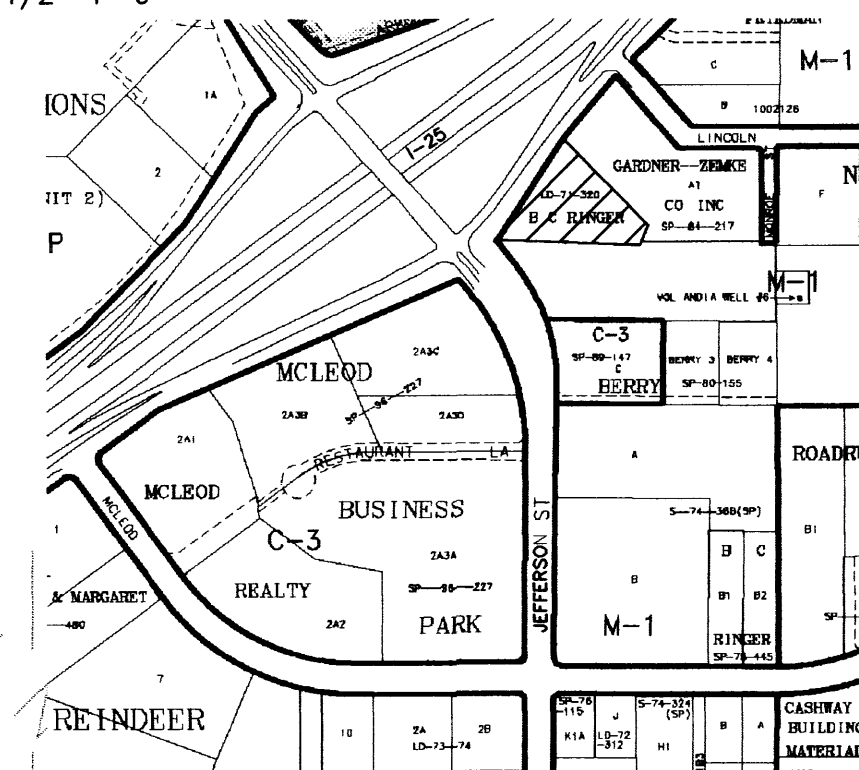
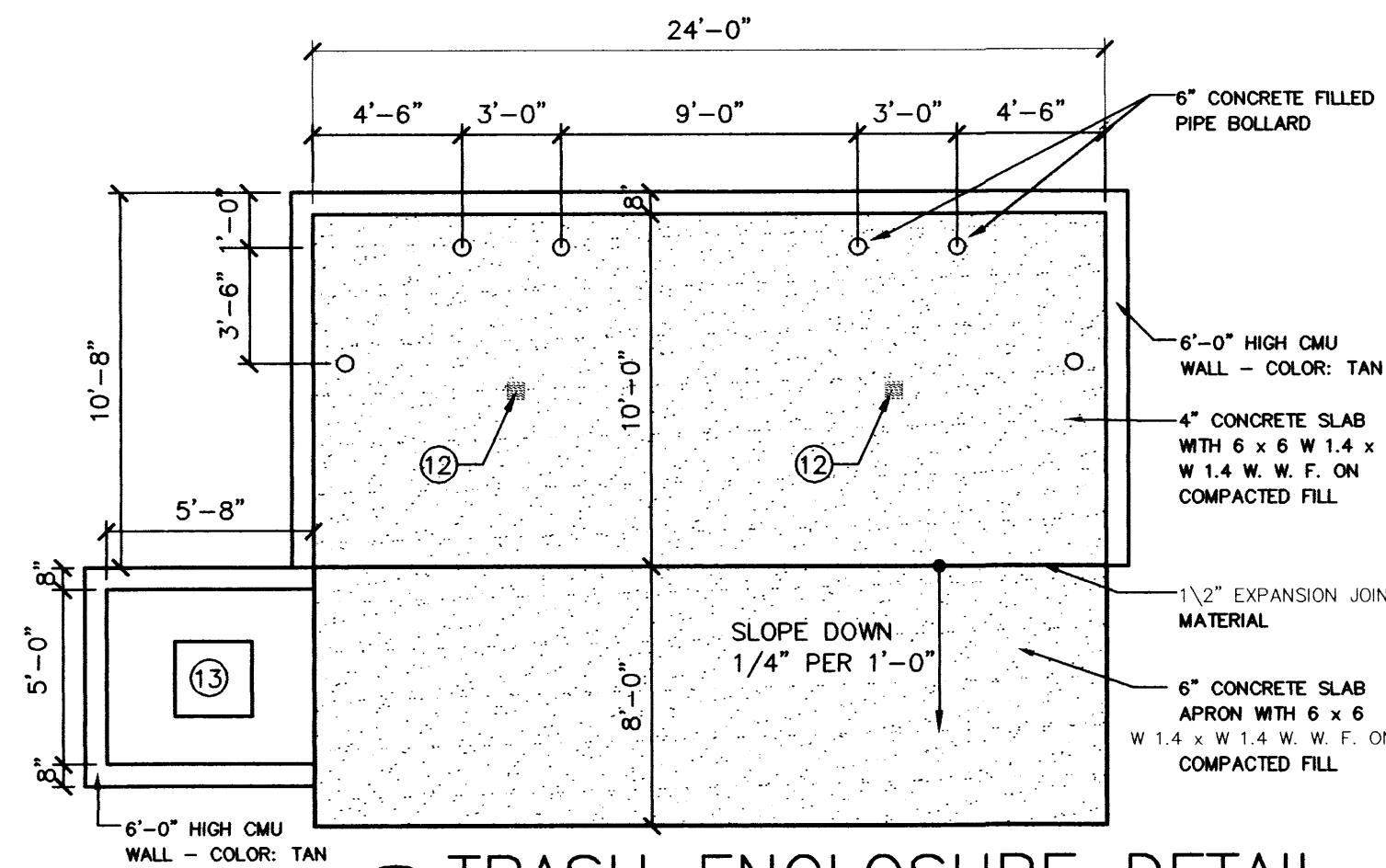
CROSS ACCESS EASEMENT-EASEMENT 2 BEGINNING AS AN EASEMENT (EASEMENT 2) AT THE SOUTHWEST CORNER OF EASEMENT 1, BEING A POINT ON THE EAST RIGHT OF WAY OF JEFFERSON STREET, NE; THENCE, LEAVING SAID RIGHT OF WAY AND RUNNING COINCIDENTALLY WITH THE SOUTH EASEMENT LINE OF EASEMENT 1, N 66°10'10" E A DISTANCE OF 29.5 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED EASEMENT 2, BEING ON E IN THE SAME AS THE SOUTHEAST CORNER OF EASEMENT; THENCE, 84.5 FEET ALONG AN ARC TO THE RIGHT, (NON-TANGENT TO THE PREVIOUS CALL) HAVING A RADIUS OF 772.50 FEET, A DELTA OF 6°14'03" AND A CHORD OF S 20°42'48" E, 84.01 FEET TO THE SOUTH PROPERTY LINE OF THE ABOVE REFERENCED PARCEL 1; THENCE, COINCIDING WITH THE SOUTH PROPERTY OF PARCEL 1, N 89°43'45" W, A DISTANCE OF 31.06 FEET TO THE SOUTHWEST CORNER OF BOTH PARCEL 1 AND EASEMENT 2, AND A POINT ON THE EAST RIGHT OF WAY OF JEFFERSON STREET; THENCE, COINCIDING WITH THE EAST RIGHT OF WAY, 71.31 FEET ALONG AN ARC TO THE LEFT, HAVING A RADIUS OF 743.00 FEET, A DELTA OF S 29°53'7" AND A CHORD OF N 21°04'51" W, 71.31 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0526 ACRES (2,292 SQ. FT.) MORE OR LESS.

PARKING

122 GUEST ROOMS = 122 PARKING SPACES
TOTAL PARKING REQUIRED = 122 SPACES
TOTAL PARKING PROVIDED = 127 SPACES
TOTAL STANDARD PARKING = 91 SPACES
TOTAL COMPACT PARKING = 33 SPACES
ACCESSIBLE SPACES = 4 SPACES
ACCESSIBLE VAN SPACES = 1 SPACE

BICYCLES

1/20 SPACES REQUIRED = 7
2 RACKS WITH 4 BICYCLE CAPACITY EA=8



ALL SLOPES ALONG JEFFERSON AND THE I-25 FRONTAGE ROAD SHALL BE COVERED WITH AMERICAN EXCELSIOR HIGH VELOCITY SOIL RETENTION BLANKET PER NMDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 603.242

AFTER NMDOT REVOKED OUR APPROVAL, THE POND WAS REDESIGNED WITH 2:1 SLOPES AGAINST THE ROW (RETAINING WALL REMOVED) AND THE RETAINING WALL ON THE SITE SIDE RELOCATED TO PROVIDE EQUIVALENT PONDING TO THE APPROVED PLAN.

8 sheet pair better

resident who
pond return wall
are couple
grass road

I-25 EAST FRONTAGE ROAD

GRADING AND DRAINAGE PLAN

SCALE 1" = 20'

TEMPORARY DRAINAGE CERTIFICATION

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 12/30/04. The record information edited onto the original design document has been obtained by Rex Vogler, NMPS 10466, of the firm Rio Grande Surveying. I further certify that I have personally visited the project site on 06/10/2007 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions: Due to NMDOT revoking our approval, the retaining wall in the NMDOT ROW was eliminated, the slope against the ROW graded to 2:1 with a stabilization fabric, the parking on the west side of the site eliminated with some spaces relocated east of the building. The rundown in the southeast corner of the site was eliminated since the runoff that previously came down the rundown was rerouted, apparently by a construction project prior to this project.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

VICINITY MAP F-17

LEGAL DESCRIPTION

PARCEL 2, PORTION OF THE LANDS OF B. C. RINGER, RECORDED 7/6/71, BK 43, PG 90 BERNALILLO COUNTY, NEW MEXICO

ACS BENCHMARK

CITY OF ALBUQUERQUE STATION NO. "I-25-17", BEING AN ACS MONUMENT, WITH AN ELEVATION OF 5171.1

SURVEY NOTES

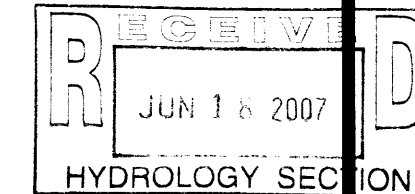
FIELD SURVEY BY: RIO GRANDE SURVEY ALBUQUERQUE, NM
SURVEY DATE: NOV. 2003
PHONE: (505) 764-8891
FAX: (505) 764-8891

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. NEITHER THE ENGINEER OR SURVEYOR GUARANTEES THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

FLOODPLAIN

THE PROPERTY SHOWN HEREON IS ADJACENT TO A ZONE "AO (DEPTH 1') DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0138 E; EFFECTIVE DATE NOVEMBER 19, 2003



AFRA Construction & Design LLC

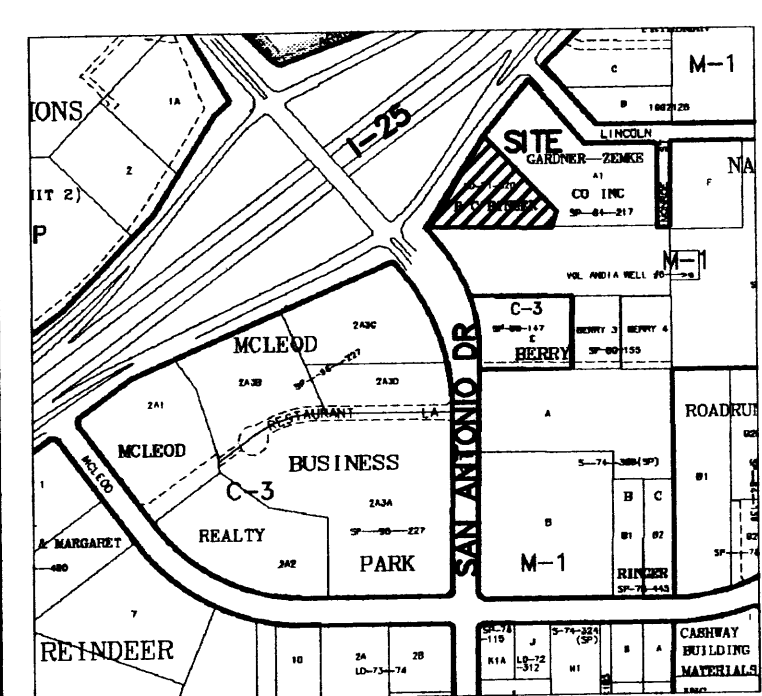
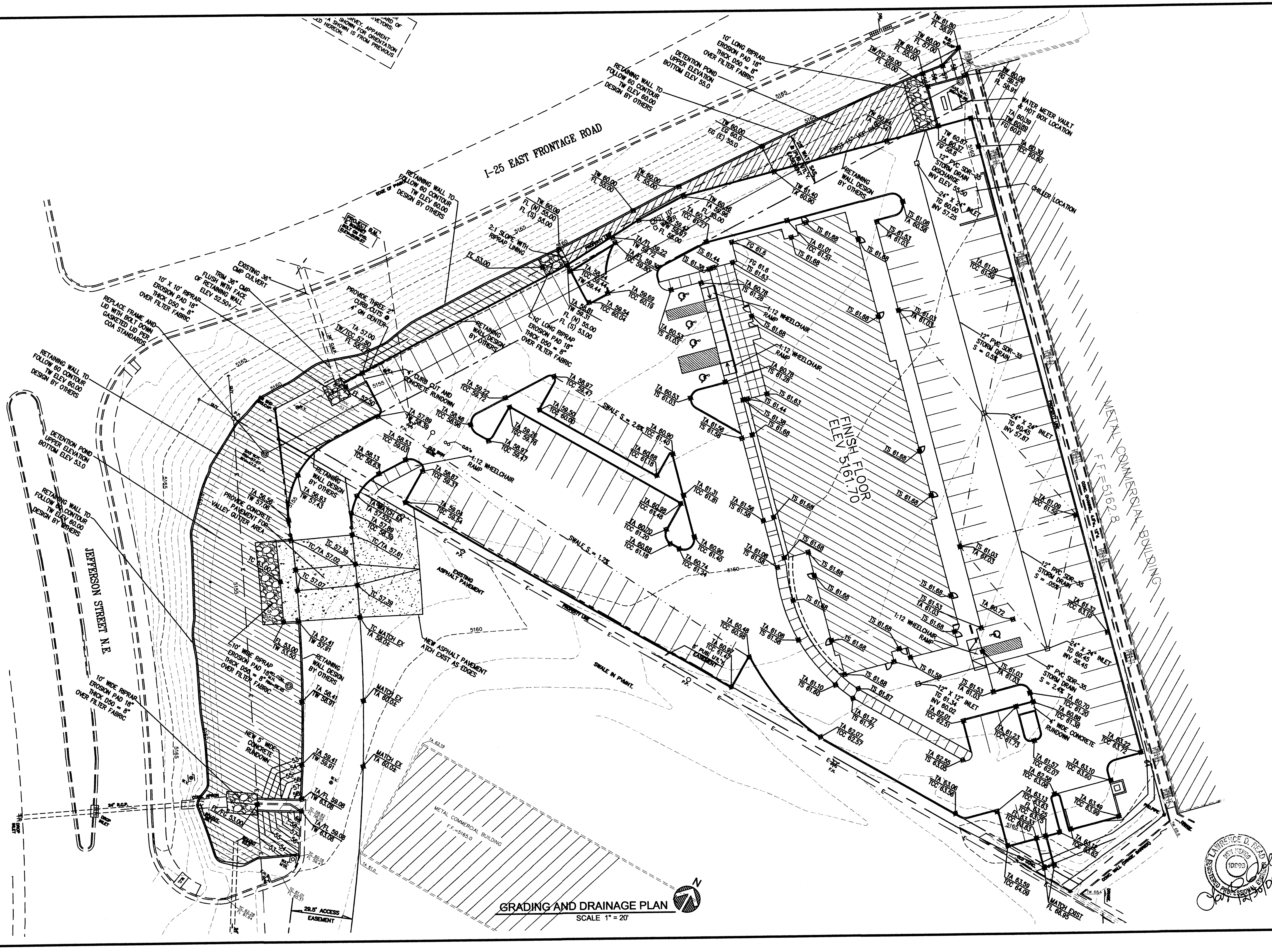
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1482

Holiday Inn

I-25 & JEFFERSON
ALBUQUERQUE, NM 87109

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

C2



VICINITY MAP F-17

LEGAL DESCRIPTION

PARCEL 2, PORTION OF THE LANDS OF B. C. RINGER, RECORDED 7/8/71, BK. 43, PG. 90 BERNALILLO COUNTY, NEW MEXICO

ACS BENCHMARK

CITY OF ALBUQUERQUE STATION NO. 7-25-17, BEING AN ACS MONUMENT, WITH AN ELEVATION OF 5171.1

SURVEY NOTES

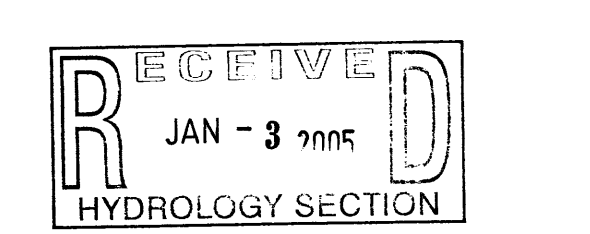
FIELD SURVEY BY: RIO GRANDE SURVEY ALBUQUERQUE, NM
SURVEY DATE: NOV. 2003
PHONE: (505) 764-8891
FAX: (505) 764-8891

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THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

FLOODPLAIN

THE PROPERTY SHOWN HEREON IS ADJACENT TO A ZONE 1A0 (DEPTH 1') DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0138 E, EFFECTIVE DATE NOVEMBER 19, 2003



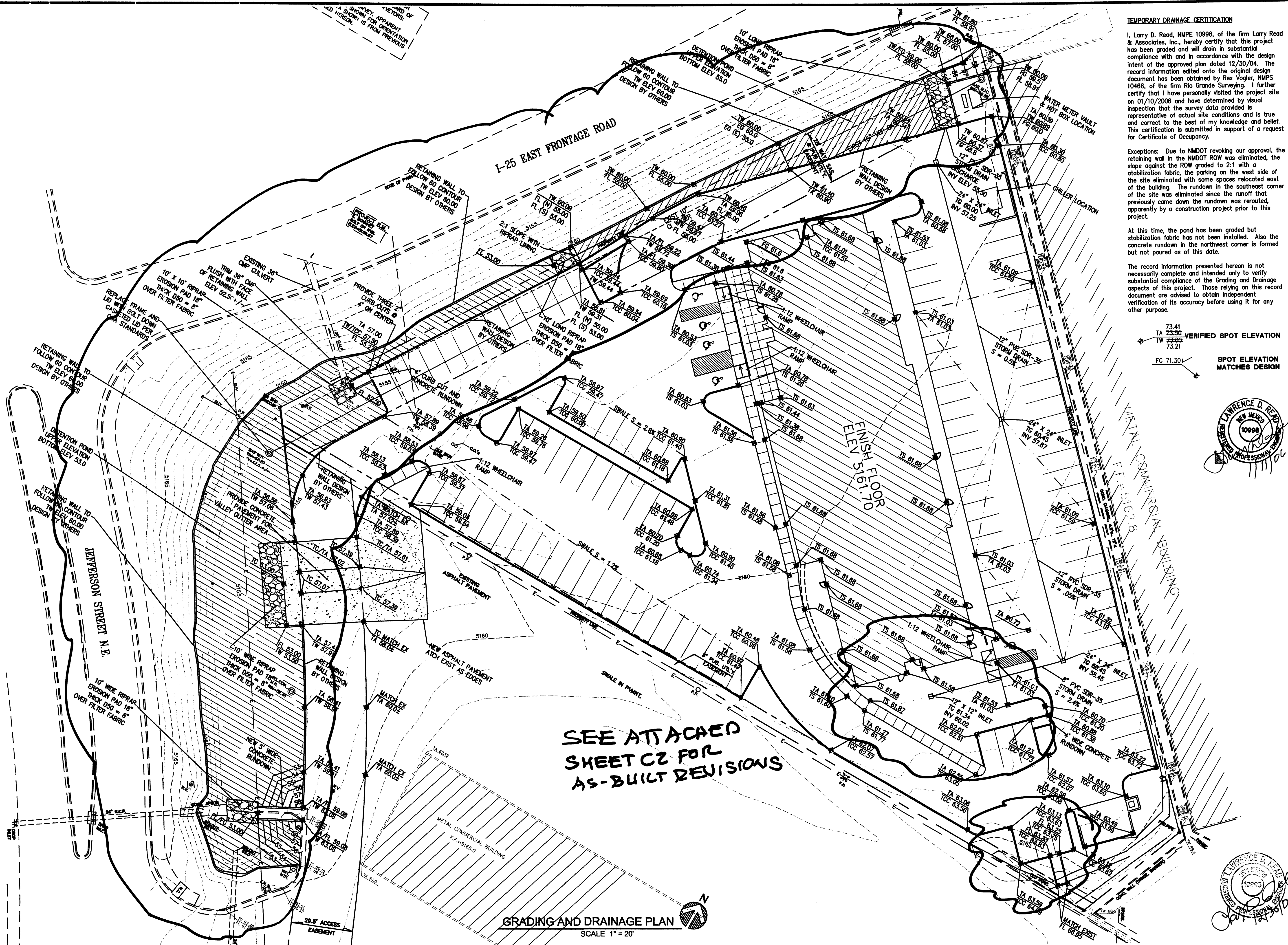
AFRA Construction & Design LLC
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1482

Holiday Inc
1-25 & JEFFERSON
ALBUQUERQUE, NM 87109

REV	DATE	DESCRIPTION	APVD
1			
2			
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4			

C2

GRADING AND DRAINAGE PLAN
SCALE 1" = 20'



TEMPORARY DRAINAGE CERTIFICATION

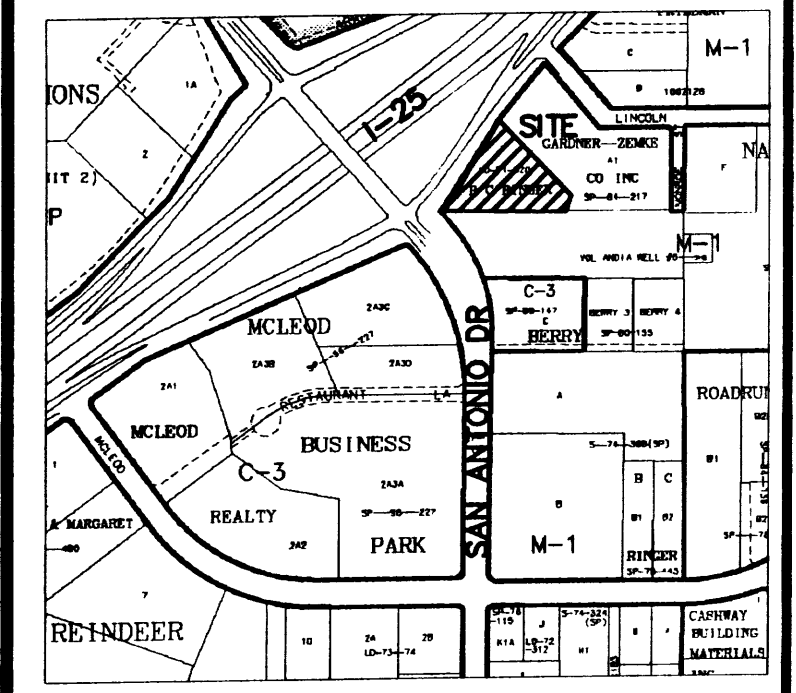
I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 12/30/04. The record information edited onto the original design document has been obtained by Rex Vogel, NMPS 10466, of the firm Rio Grande Surveying. I further certify that I have personally visited the project site on 01/10/2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions: Due to NMDOT revoking our approval, the retaining wall in the NMDOT ROW was eliminated, the slope against the ROW graded to 2:1 with a stabilization fabric, the parking on the west side of the site eliminated with some spaces relocated east of the building. The rundown in the southeast corner of the site was eliminated since the runoff that previously came down the rundown was rerouted, apparently by a construction project prior to this project.

At this time, the pond has been graded but stabilization fabric has not been installed. Also the concrete rundown in the northwest corner is formed but not poured as of this date.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

VERIFIED SPOT ELEVATION
SPOT ELEVATION MATCHES DESIGN



VICINITY MAP F-17

LEGAL DESCRIPTION

PARCEL 2, PORTION OF THE LANDS OF B. C. RINGER, RECORDED 7/8/71, BK 43, PG 90 BERNALILLO COUNTY, NEW MEXICO

ACS BENCHMARK

CITY OF ALBUQUERQUE STATION NO. 7-25-17, BEING AN ACS MONUMENT, WITH AN ELEVATION OF 5171.1

SURVEY NOTES

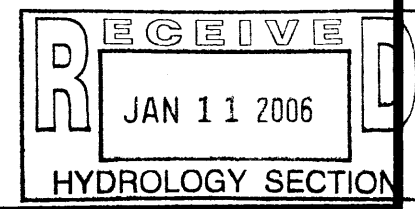
FIELD SURVEY BY: RIO GRANDE SURVEY ALBUQUERQUE, NM
SURVEY DATE: NOV. 2003
PHONE: (505) 764-8891
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THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

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THE PROPERTY SHOWN HEREON IS ADJACENT TO A ZONE "AO (DEPTH 1') DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 3500100138 E. EFFECTIVE DATE NOVEMBER 19, 2003



AFRA Construction & Design LLC
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1482

Holiday Inc
1-25 & JEFFERSON
ALBUQUERQUE, NM 87109

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

C2

SEE ATTACHED SHEET C2 FOR AS-BUILT REVISIONS

GRADING AND DRAINAGE PLAN
SCALE 1" = 20'

ALL SLOPES ALONG JEFFERSON AND THE I-25 FRONTAGE ROAD SHALL BE COVERED WITH AMERICAN EXCELSIOR HIGH VELOCITY SOIL RETENTION BLANKET PER NMDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 603.242

AFTER NMDOT REVOKED OUR APPROVAL, THE POND WAS REDESIGNED WITH 2:1 SLOPES AGAINST THE ROW (RETAINING WALL REMOVED) AND THE RETAINING WALL ON THE SITE SIDE RELOCATED TO PROVIDE EQUIVALENT PONDING TO THE APPROVED PLAN. POND IS FINISH GRADED BUT NOT STABILIZED

CONCRETE RUNDOWN IS FORMED BUT NOT POURED. RUNDOWN WILL BE POURED THIS WEEK

RETAINING WALL (DESIGN BY OTHERS) PROVIDE T CUTS IN WALL AT 6' O.C.

2: SLOPE WITH NMDOT APPROVED EROSION MAT

I-25 EAST FRONTAGE ROAD

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

PROJECT S.M. EROSION MAT NOT TO BE EXCLUDED

EXISTING 36" CMP CULVERT FLUSH WITH FACE ELEV 52.50+/-

10' X 10' RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

REPLACE FRAME AND SKIDED LID PER SOA STANDARDS

BUILD NEW WHEELCHAIR RAMP TO REMAIN

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

DETENTION POND ELEVATION UPPER BOTTOM ELEV 53.0

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

JEFFERSON STREET N.E.

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

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EXISTING SIDEWALK TO REMAIN

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INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

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INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

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INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

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INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

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INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

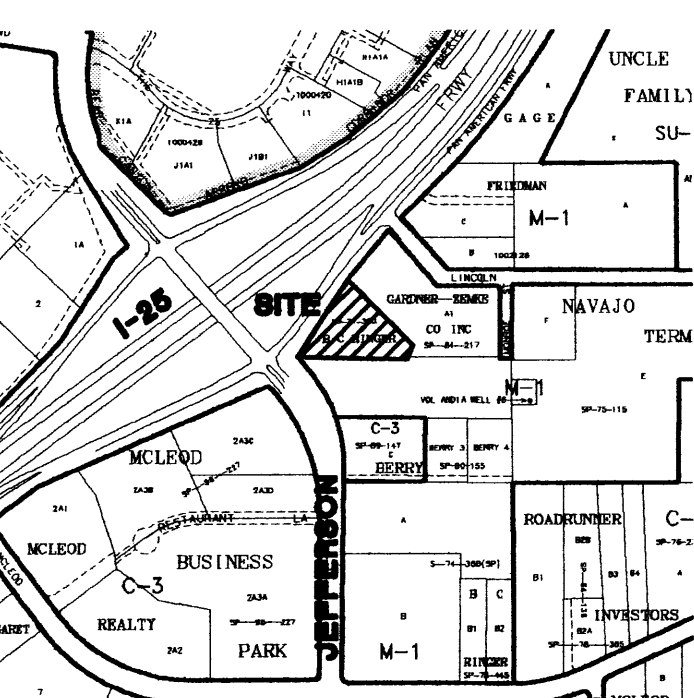
10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3

EXISTING SIDEWALK TO REMAIN

10' WIDE RIPRAP EROSION PAD 18" THICK D50 = 8" OVER FILTER FABRIC

INSTALL STEEL PIPE HANDRAIL PER DETAIL SHEET C3



VICINITY MAP F-17

LEGAL DESCRIPTION

PARCEL 2, PORTION OF THE LANDS OF B. C. RINGER, RECORDED 7/6/71, BK 43, PG 90 BERNALILLO COUNTY, NEW MEXICO

ACS BENCHMARK

CITY OF ALBUQUERQUE STATION NO. "I-25-17", BEING AN ACS MONUMENT, WITH AN ELEVATION OF 5171.1

SURVEY NOTES

FIELD SURVEY BY: RIO GRANDE SURVEY ALBUQUERQUE, NM
SURVEY DATE: NOV. 2003
PHONE: (505) 764-8891
FAX: (505) 764-8891

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. NEITHER THE ENGINEER OR SURVEYOR GUARANTEES THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

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FLOODPLAIN

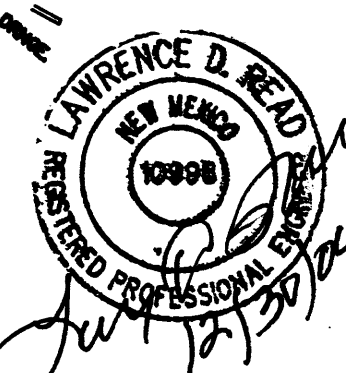
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AFRA Construction & Design LLC
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1482

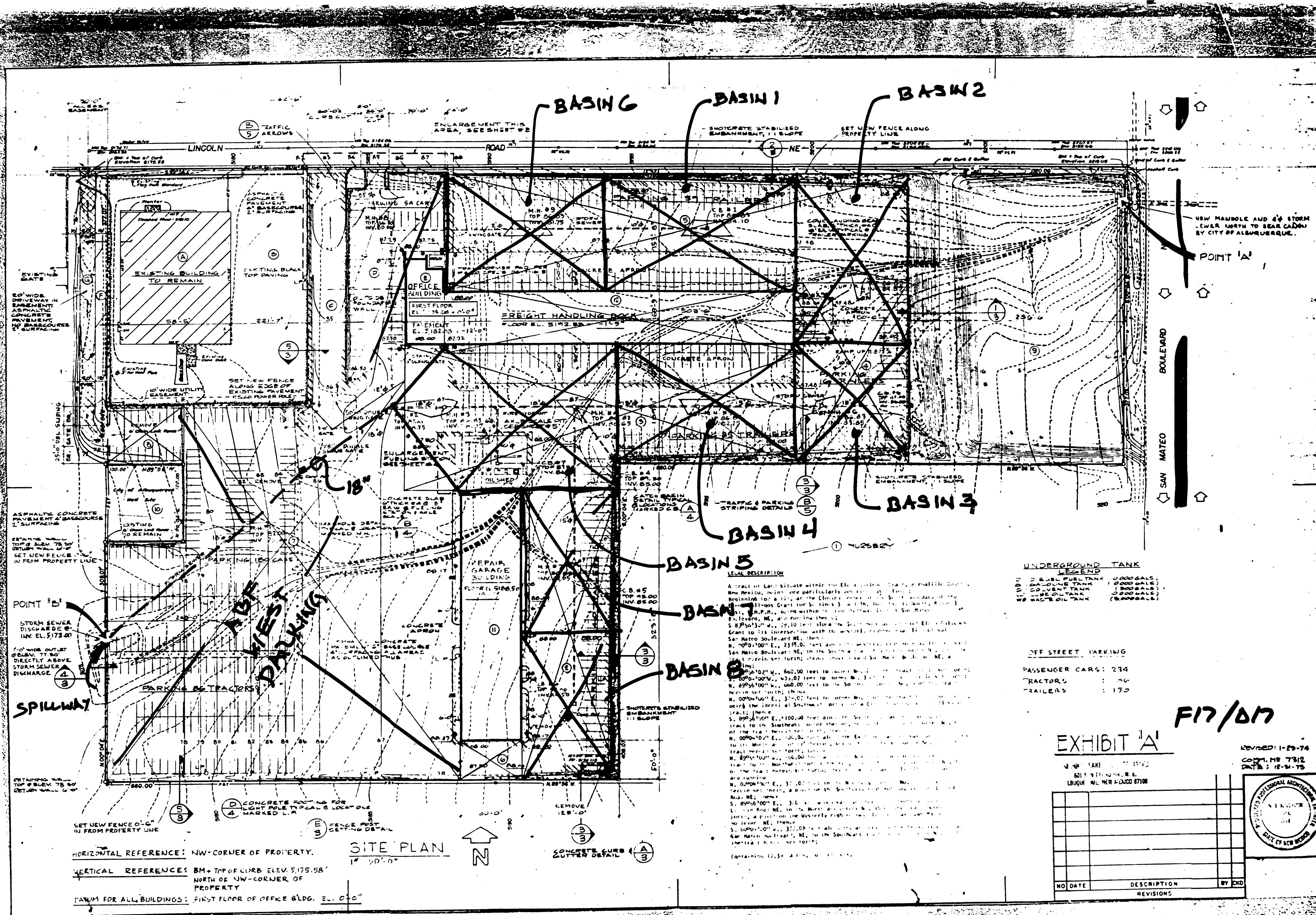
Holiday Inc
I-25 & JEFFERSON
ALBUQUERQUE, NM 87109

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

C2



GRADING AND DRAINAGE PLAN
SCALE 1" = 20'



MAIN SITE PONDING

BASIN 1
 TG 86.84 A=0
 SPILL 87.48 A=31612 V=10,116 cf

BASIN 2
 TG 86.83 A=0
 SPILL 87.48 A=27431 V=8778 cf

BASIN 3
 TG 86.83 A=0
 SPILL 87.48 A=21,53 V=6769 cf

BASIN 4
 TG 86.83 A=0
 SPILL 88.00 A=34289 V=10,972 cf (BELOW 87.48)

BASIN 5
 TG 86.83 A=0
 SPILL 88.00 A=45675 V=14,616 cf (BELOW 87.48)

BASIN 6
 TG 86.83 A=0
 SPILL 87.48 A=31631 V=10,128 cf

BASIN 7
 TG 86.83 A=0
 SPILL 88.00 A=22739 V=7276 cf (BELOW 87.48)

BASIN 8
 TG 87.00 A=0
 SPILL 88.00 A=20,229 V=6793.28
 V=75,448 (BELOW 87.48)

$V(88-87.48) = 0.52(235,77) = 122,605 \text{ cf}$
 TOTAL STORAGE = 198,053 cf (4.55 ac ft)
 USE A=0 B=5% C=5% D=90%

ADF TRUCKING SITE

UNDERGROUND TANK LEGEND
 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.

OFF STREET PARKING
 PASSENGER CARS: 234
 TRACTORS: 174
 TRAILERS: 172

EXHIBIT 'A'

| NO. | DATE | DESCRIPTION | BY | CHKD. |
|-----|---------|-------------------|---------------|-------|
| 1 | 1/25/74 | ISSUED FOR REVIEW | W. L. LEBLANC | |
| 2 | 1/25/74 | REVISIONS | | |

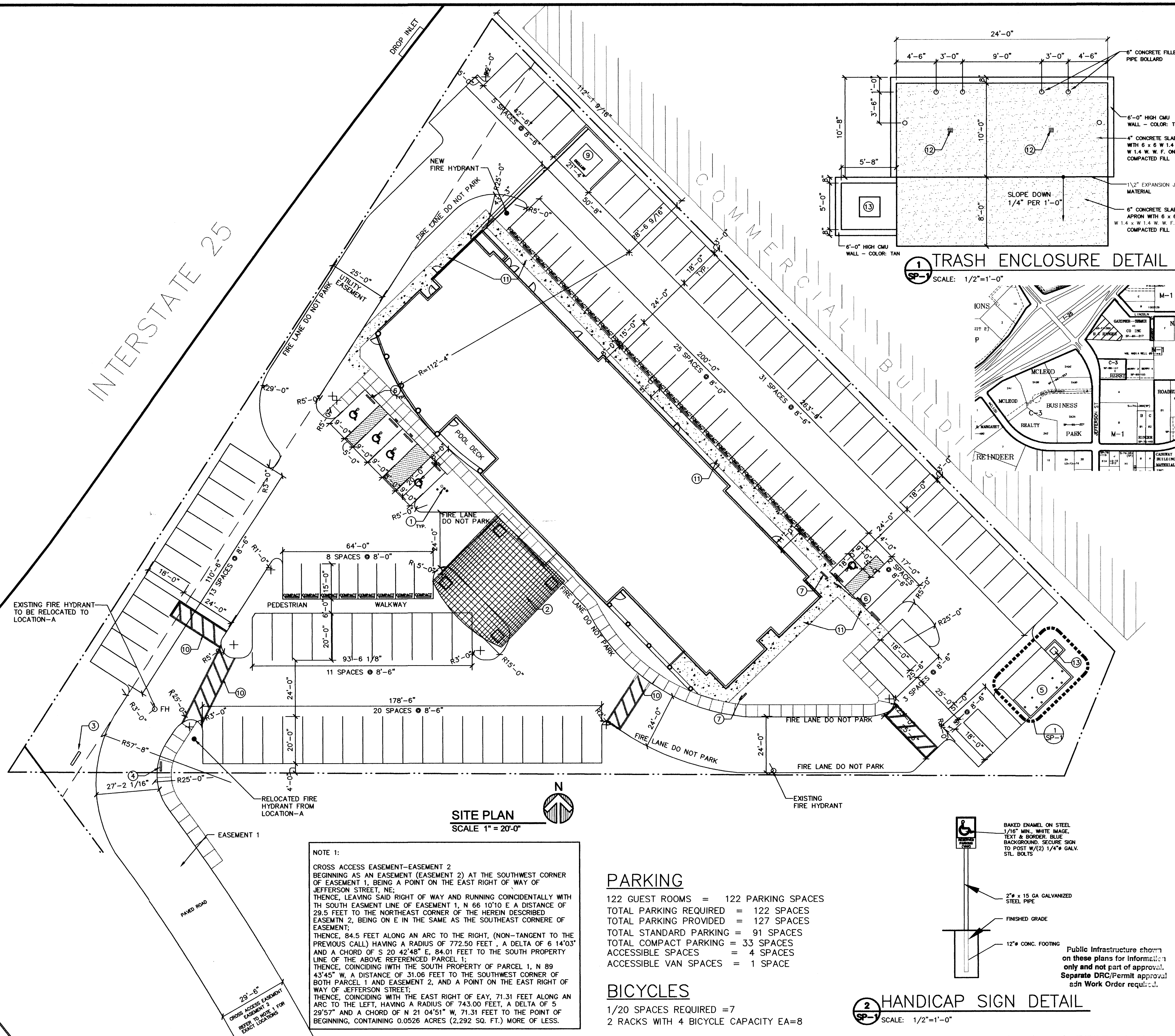
REVISED: 1-25-74

COMPILED BY: W. L. LEBLANC

DATE: 1-25-74



| Total Parking in Lot | Required Minimum Number of Accessible Spaces |
|----------------------|--|
| 1 to 25 | 1 |
| 26 to 50 | 2 |
| 51 to 75 | 3 |
| 76 to 100 | 4 |
| 101 to 150 | 5 |
| 151 to 200 | 6 |
| 201 to 300 | 7 |
| 301 to 400 | 8 |
| 401 to 500 | 9 |
| 501 to 1000 | 2 percent of total |
| 1001 and over | 20 plus 1 for each 100 over 1000 |



SITE PLAN
SCALE 1" = 20'-0"

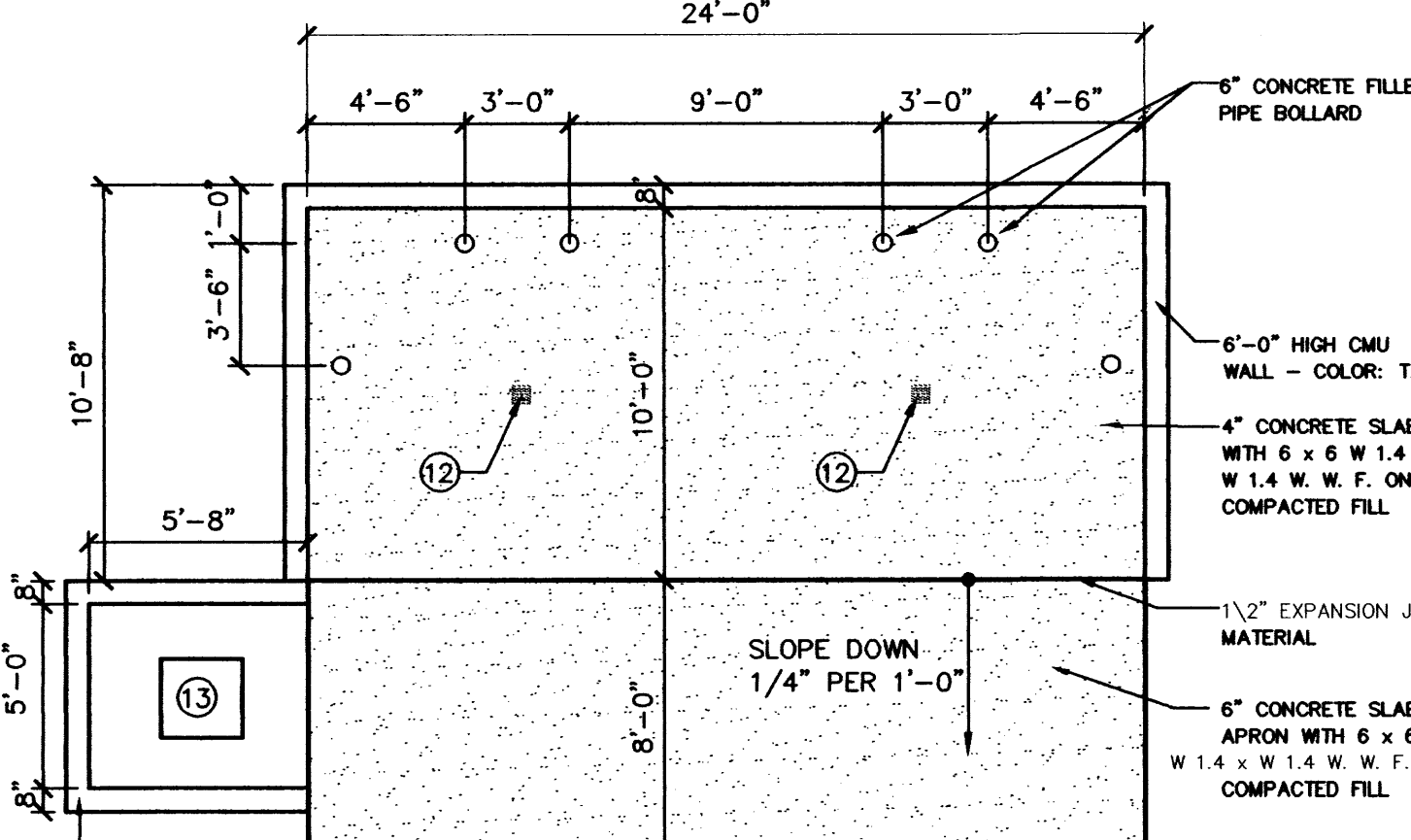
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ACCESSIBLE SPACES = 4 SPACES
ACCESSIBLE VAN SPACES = 1 SPACE

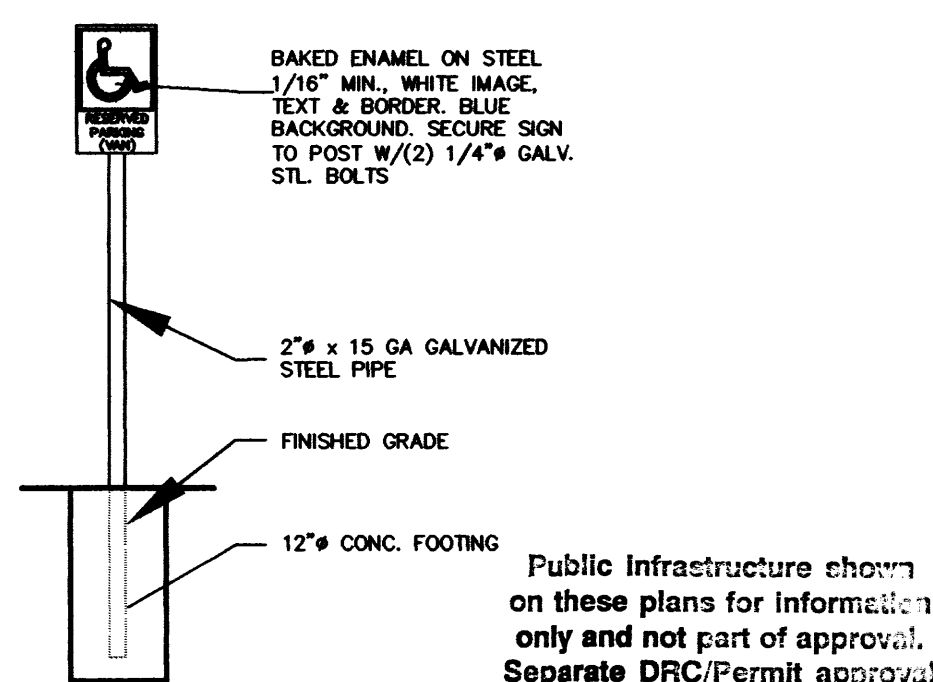
BICYCLES

1/20 SPACES REQUIRED = 7
2 RACKS WITH 4 BICYCLE CAPACITY EA=8

TRASH ENCLOSURE DETAIL
SCALE: 1/2" = 1'-0"



HANDICAP SIGN DETAIL
SCALE: 1/2" = 1'-0"



KEYED NOTES

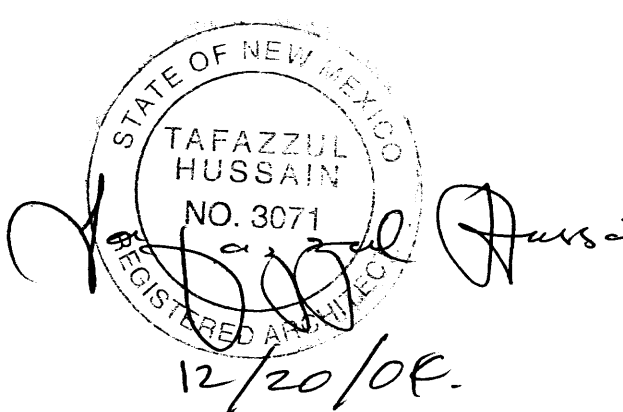
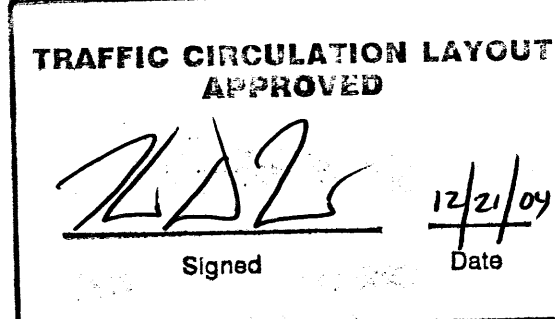
- 3 FLAGPOLES WITH UPLIGHTS.
- KEYSTONE PAVERS UNDER CANOPY OVER 4" THICK CONCRETE SLAB.
- MONUMENTAL SIGN.
- PYLON SIGN.
- DUMPSTER AND ENCLOSURE WITH GATE TO SCREEN. SEE DETAIL 2/SP-1.
- HANDICAP SIGN. SEE DETAIL 2/SP-1.
- BIKE RACK FURNISHED AND INSTALLED BY GENERAL CONTRACTOR TO ACCOMMODATE 4 BIKES PER RACK.
- PREMISE ID - JEFFERSON BLVD.
- CHILLER PAD 17'-0"x10'-0".
- YELLOW STRIPPING FOR PEDESTRIAN CROSSING.
- 5'-0" WIDE CONCRETE SIDEWALK BROOM FINISH.
- FLOOR DRAIN. SLOPE SLAB TO DRAIN AND CONNECT TO SEWER LINE.
- GREASE TRAP.

GENERAL NOTES

- REFER TO SHEET L-1 FOR LANDSCAPING.
- REFER TO SHEET E3 FOR SITE LIGHTING.
- THE VEHICLES WILL NOT BE ALLOWED TO OVERHANG INTO THE LANDSCAPED AREAS.

LEGEND

LIGHT POLES 16'-0" TALL



SITE PLAN

SCALE: 1" = 20'-0"

AFRA Construction & Design LLC
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel: 505-915-1492

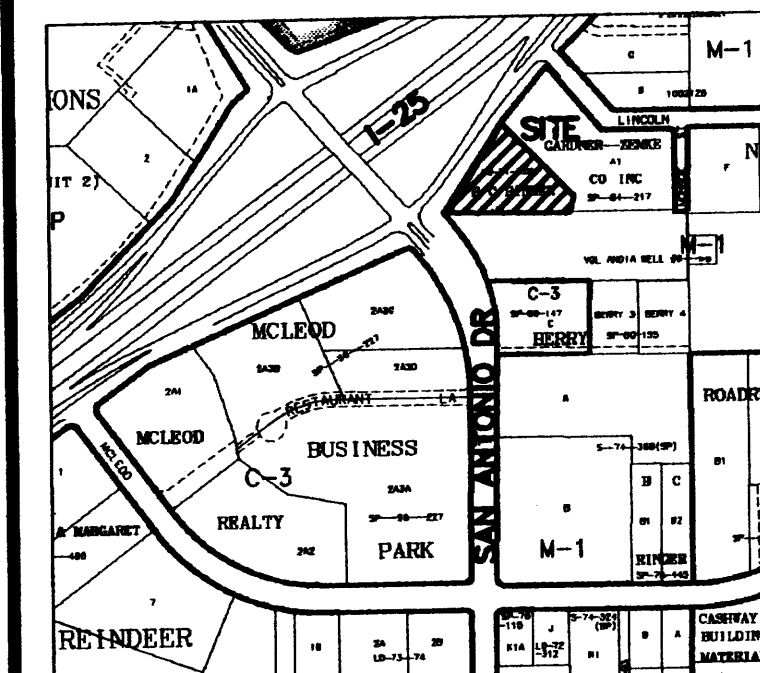
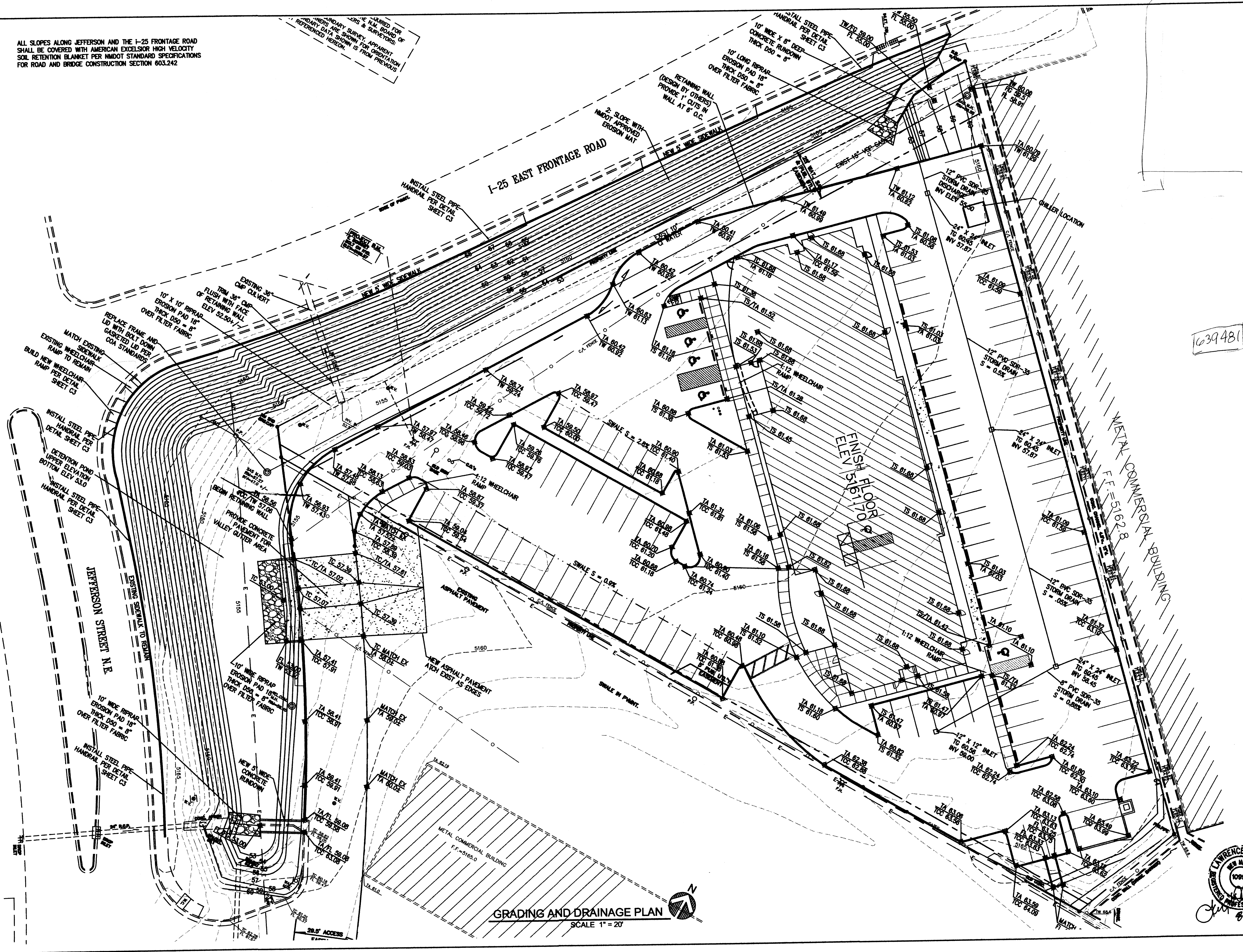
Holiday Inn
HYDROLOGY SECTION
5050 JEFFERSON ST.
ALBUQUERQUE, NM 87109

| REV | DATE | DESCRIPTION | APVD |
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SP-1
12.20.04
DRAWN BY: MMS

ALL SLOPES ALONG JEFFERSON AND THE I-25 FRONTAGE ROAD SHALL BE COVERED WITH AMERICAN EXCELSIOR HIGH VELOCITY SOIL RETENTION BLANKET PER NMDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 603.242

ALL SLOPES ALONG JEFFERSON AND THE I-25 FRONTAGE ROAD SHALL BE COVERED WITH AMERICAN EXCELSIOR HIGH VELOCITY SOIL RETENTION BLANKET PER NMDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 603.242



VICINITY MAP F-17

LEGAL DESCRIPTION

PARCEL 2, PORTION OF THE LANDS OF B. C. RINGER, RECORDED 7/6/71, BK 43, PG 90 BERNALILLO COUNTY, NEW MEXICO

ACS BENCHMARK

CITY OF ALBUQUERQUE STATION NO. 1-25-17, BEING AN ACS MONUMENT, WITH AN ELEVATION OF 5171.1

SURVEY NOTES

FIELD SURVEY BY: RIO GRANDE SURVEY ALBUQUERQUE, NM SURVEY DATE: NOV. 2003 PHONE: (505) 764-8891 FAX: (505) 764-8891

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. NEITHER THE ENGINEER OR SURVEYOR GUARANTEES THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTRACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

FLOODPLAIN

THE PROPERTY SHOWN HEREON IS ADJACENT TO A ZONE "AO (DEPTH 1)" DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY PANEL NO. 35001C0138 E. EFFECTIVE DATE NOVEMBER 19, 2003

AFRA Construction & Design LLC 7004 Avenida La Costa NE Albuquerque, New Mexico 87109 Tel 505.315.1482

Holiday Inn I-25 & JEFFERSON ALBUQUERQUE, NM 87109

| REV | DATE | DESCRIPTION | APVD |
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RECEIVED

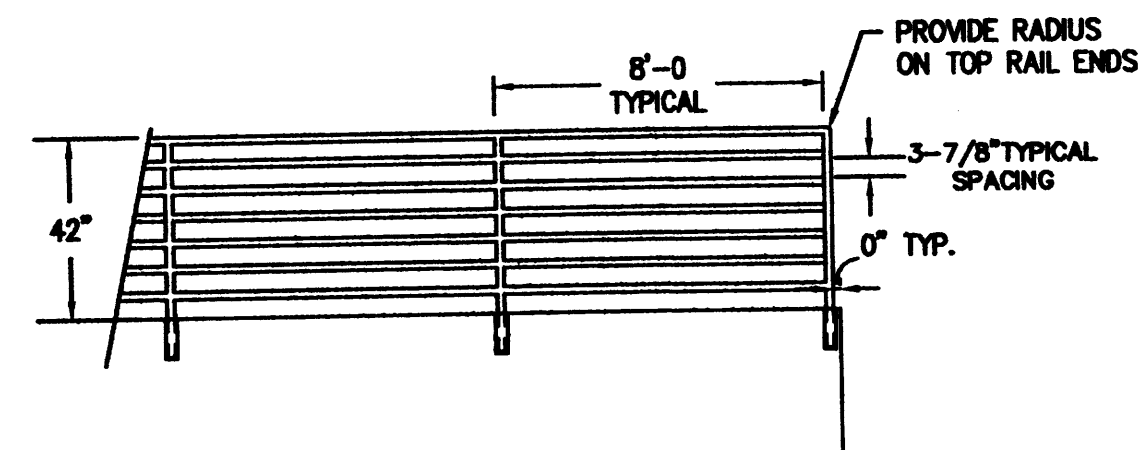
AUG 3 2005

HYDROLOGY SECTION

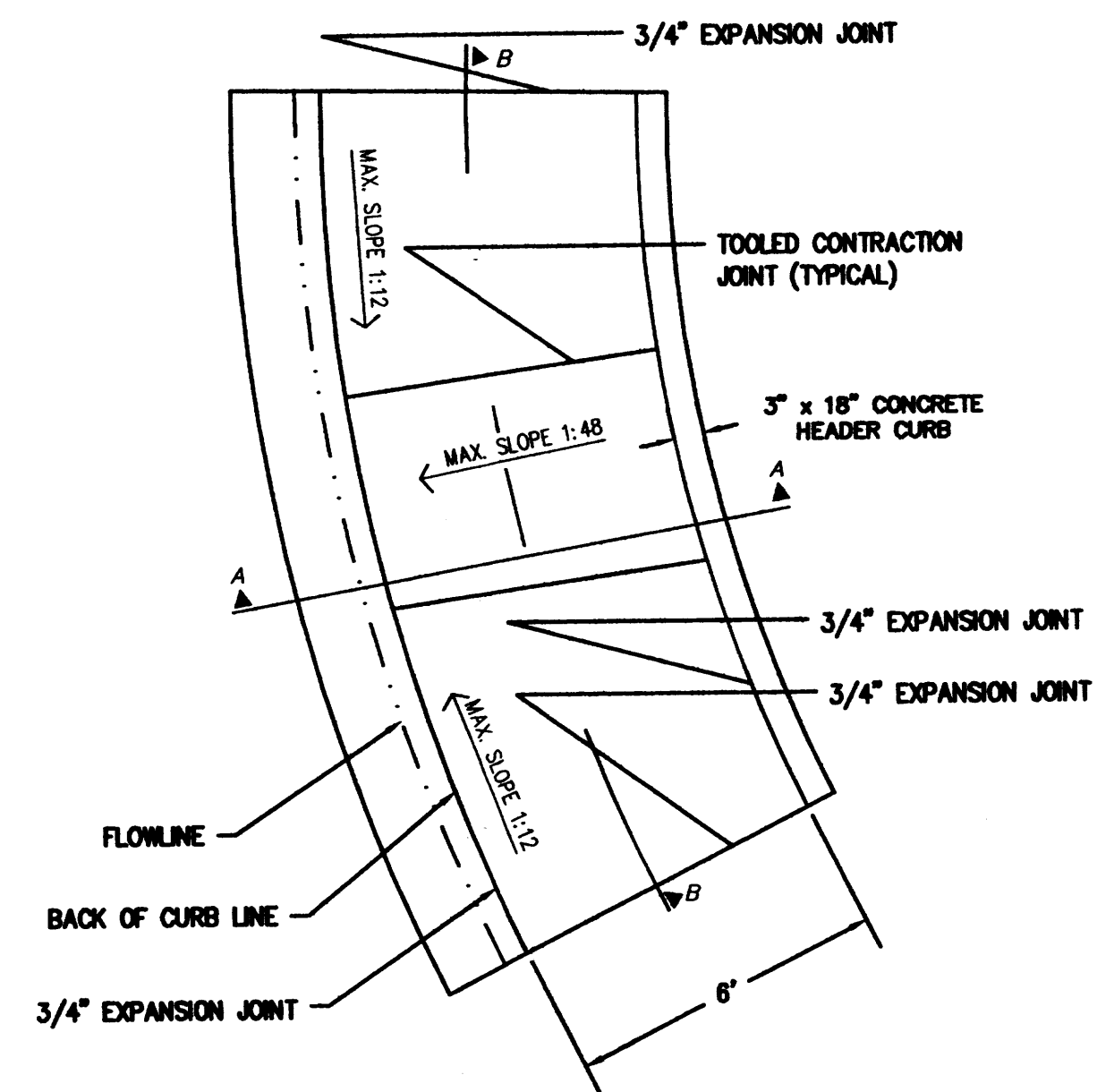
C2



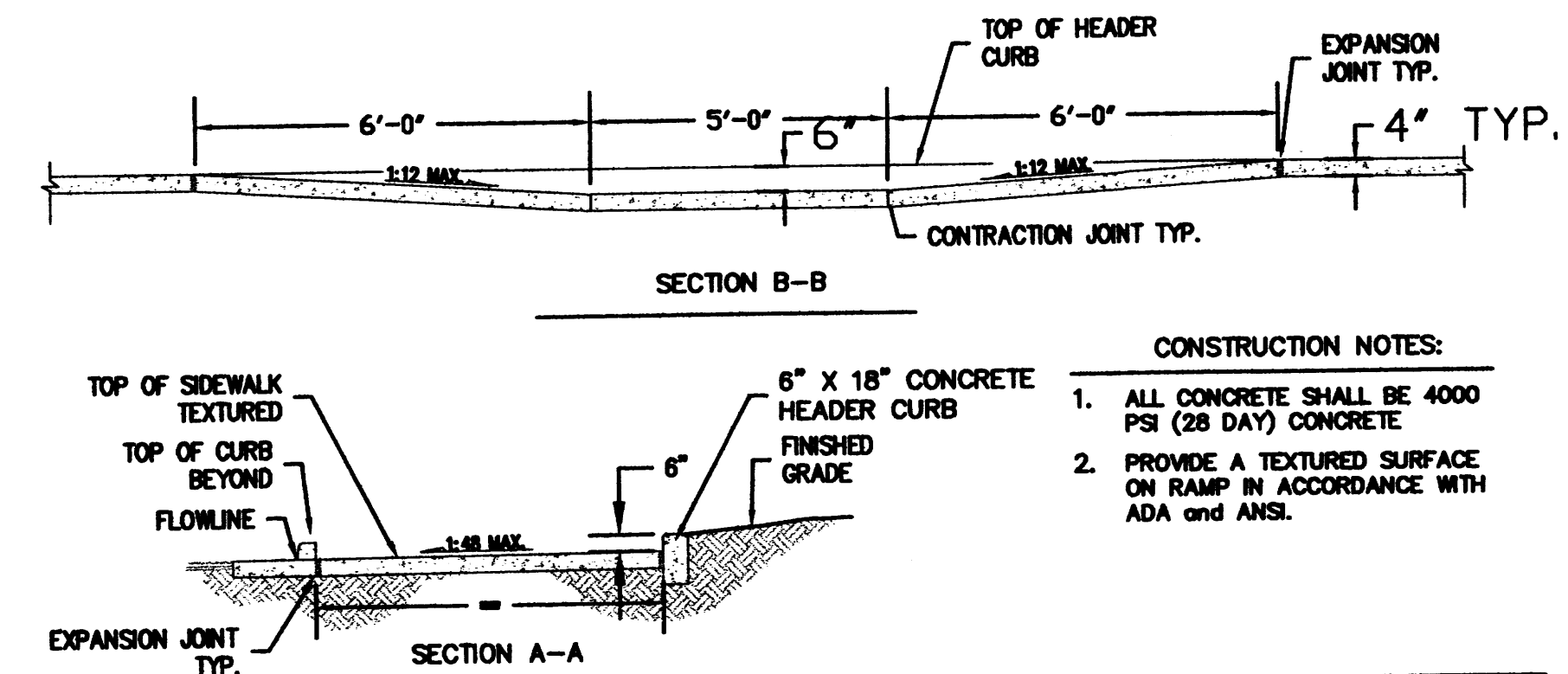
1. RAILS SHALL BE 1-1/2 A-36 STEEL
2. ALL WELDS SHALL BE GROUND SMOOTH FREE OF POT MARKS AND VOIDS.
3. STANDARDS SHALL BE IMBEDDED 4" MIN. IN CONCRETE AND VOIDS GROUTED FULL WITH HIGH STRENGTH, NON-SHRINK GROUT.
4. GUARD RAIL SHALL BE SANDED, TWO COATS OF PRIMER APPLIED, AND A COLOR COAT OF EPOXY ENAMEL APPLIED. CONTRACTOR SHALL PROVIDE OWNER A COLOR CHART TO CHOOSE THE FINAL COAT PAINT COLOR.



1 PEDESTRIAN GUARD RAIL
C3 N. T. S.



2 CONCRETE HANDICAP RAMP DETAIL
C3 N. T. S.



CONSTRUCTION NOTES:

1. ALL CONCRETE SHALL BE 4000 PSI (28 DAY) CONCRETE
2. PROVIDE A TEXTURED SURFACE ON RAMP IN ACCORDANCE WITH ADA and ANSI.

AFRA Construction & Design LLC

7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1482

Holiday Inn

**I-25 & JEFFERSON
ALBUQUERQUE, NM 87109**

| # | DATE | DESCRIPTION | APVD |
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REGISTERED

R

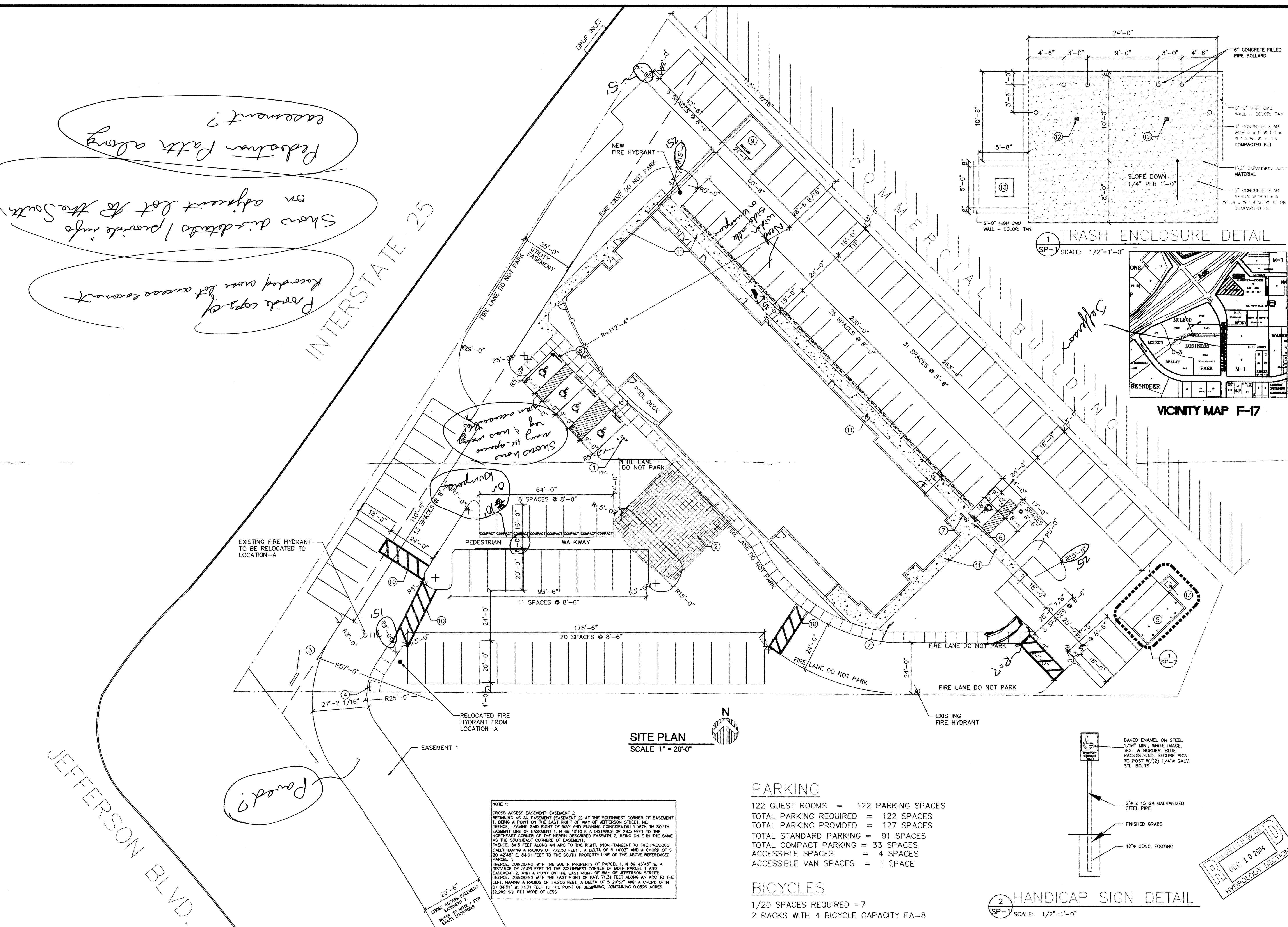
AUG 6 2005

D

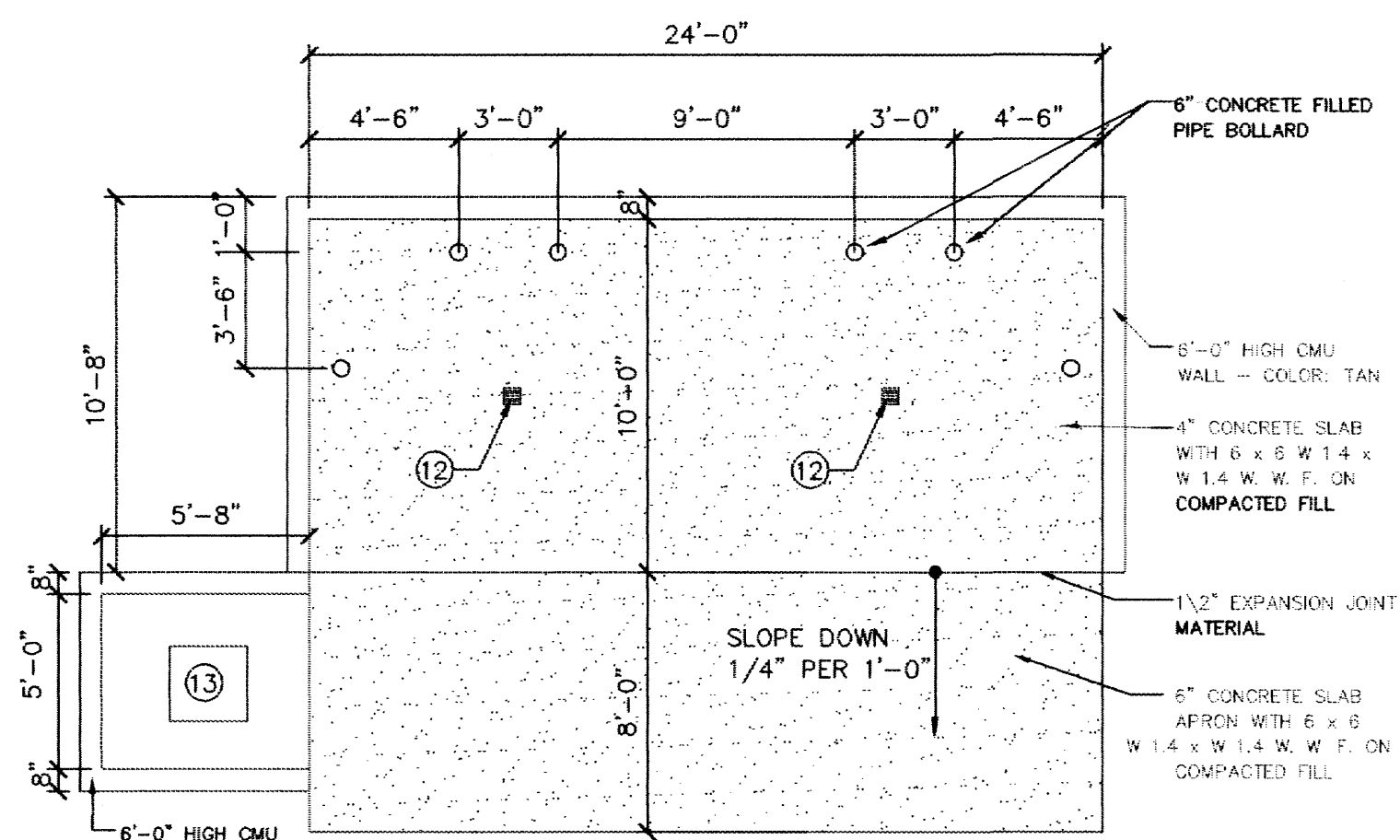
HYDROLOGY SECTION

C3

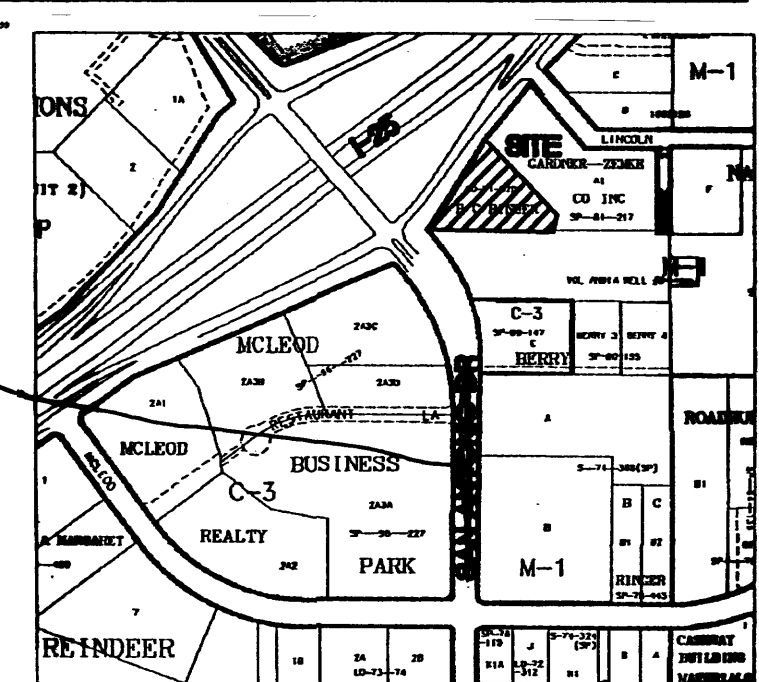
DRAWN BY:
NMS



Handed over lot access easement
Provide copy of easement to adjacent lot to the South
Provide details / provide info on adjacent lot to the South
Pedestrian Path along easement?



1 TRASH ENCLOSURE DETAIL
SCALE: 1/2"=1'-0"



VICINITY MAP F-17

KEYED NOTES

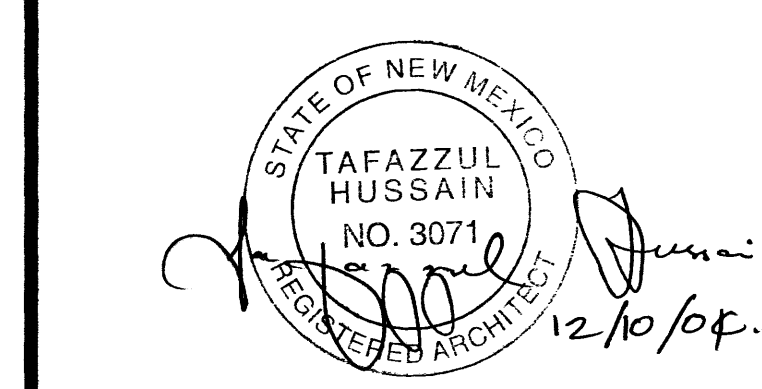
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- FLOOR DRAIN, SLOPE SLAB TO DRAIN AND CONNECT TO SEWER LINE.
- GREASE TRAP.

GENERAL NOTES

- REFER TO SHEET L-1 FOR LANDSCAPING.
- REFER TO SHEET E-3 FOR SITE LIGHTING.
- THE VEHICLES WILL NOT BE ALLOWED TO OVERHANG INTO THE LANDSCAPED AREAS.

LEGEND

LIGHT POLES 16'-0" TALL



SITE PLAN
NORTH
SCALE: 1" = 20'-0"

AFRA Construction & Design LLC
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.313.1452

Holiday Inn
5050 JEFFERSON ST.
ALBUQUERQUE, NM 87109

| REV | DATE | DESCRIPTION | APVD |
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SP-1
12.03.04
DRAWN BY: MMS

NOTE 1:
CROSS ACCESS EASEMENT-EASEMENT 2 BEGINNING AS AN EASEMENT (EASEMENT 2) AT THE SOUTHWEST CORNER OF EASEMENT 1, BEING A POINT ON THE EAST RIGHT OF WAY OF JEFFERSON STREET, NE, THENCE LEAVING SAID RIGHT OF WAY AND RUNNING CONCORDANTLY WITH THE SOUTH EASEMENT LINE OF EASEMENT 1, N 66 10'10" E A DISTANCE OF 29.5 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED EASEMENT 2, BEING ON E IN THE SAME AS THE SOUTHEAST CORNER OF EASEMENT 1, THENCE 64.5 FEET ALONG AN ARC TO THE RIGHT, (NON-TANGENT TO THE PREVIOUS CALL) HAVING A RADIUS OF 772.50 FEET, A DELTA OF 6 14'03" AND A CHORD OF 5 20' 42'48" E. 84.01 FEET TO THE SOUTH PROPERTY LINE OF THE ABOVE REFERENCED PARCEL 1, THENCE CONCORDING WITH THE SOUTH PROPERTY OF PARCEL 1, N 89 43'45" W A DISTANCE OF 31.06 FEET TO THE SOUTHWEST CORNER OF BOTH PARCEL 1 AND EASEMENT 2, AND A POINT ON THE EAST RIGHT OF WAY OF JEFFERSON STREET, THENCE CONCORDING WITH THE EAST RIGHT OF WAY, 71.31 FEET ALONG AN ARC TO THE LEFT, HAVING A RADIUS OF 745.00 FEET, A DELTA OF 5 22'57" AND A CHORD OF N 21 04'51" W 71.31 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0526 ACRES (2,292 SQ. FT.) MORE OR LESS.

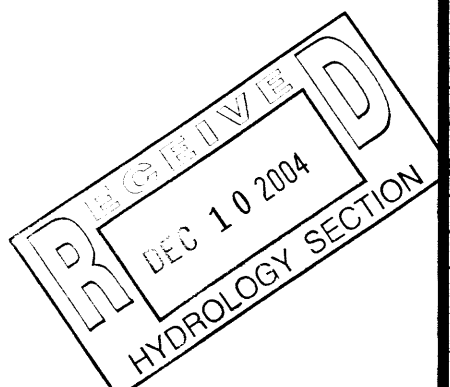
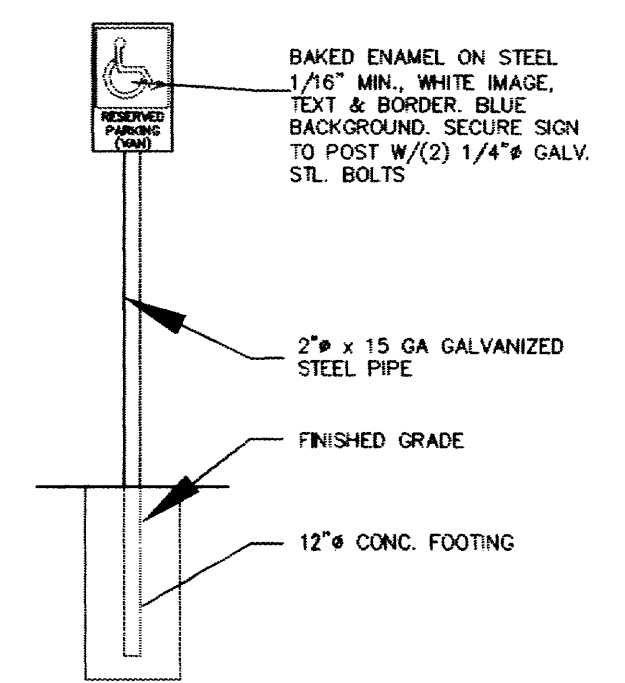
PARKING

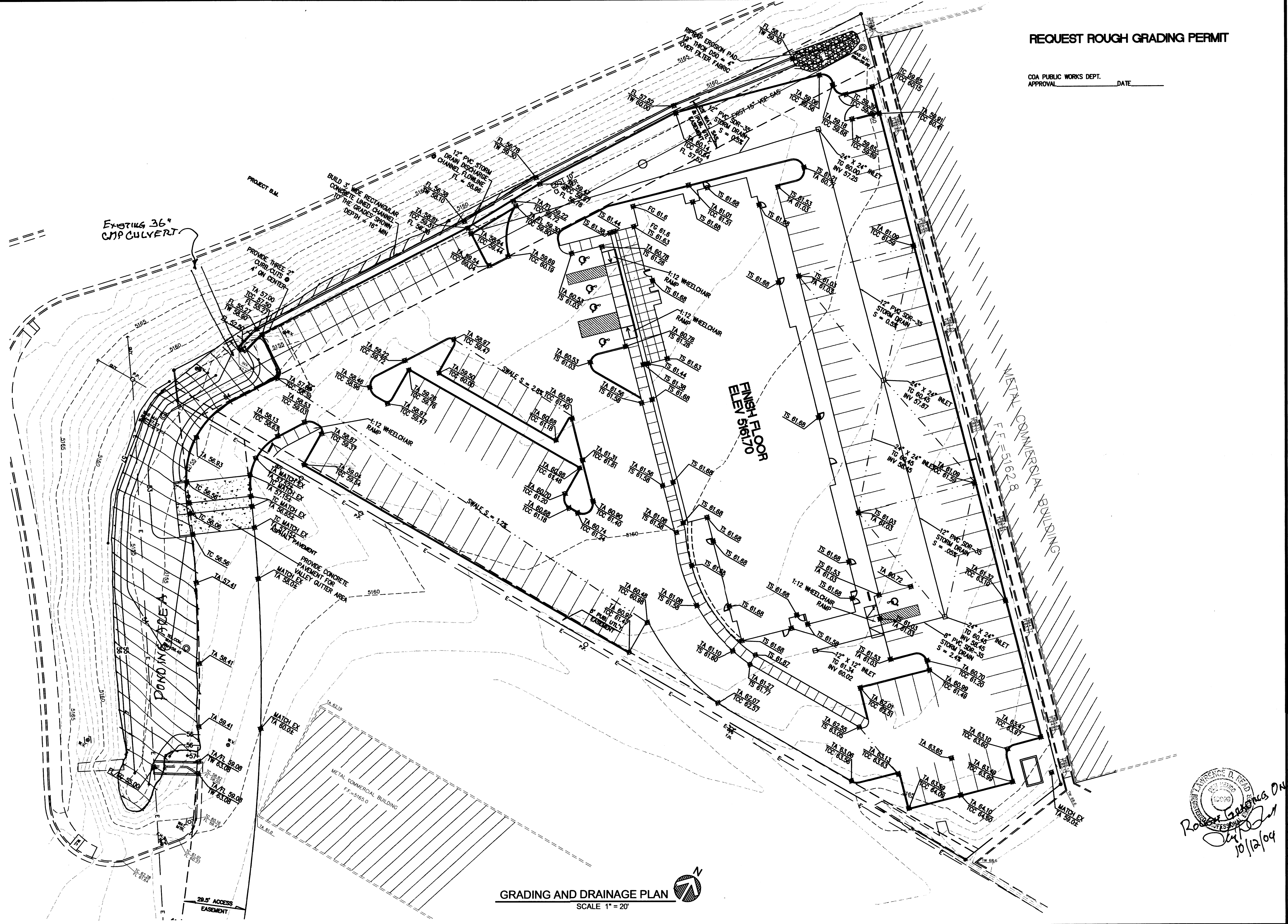
122 GUEST ROOMS = 122 PARKING SPACES
TOTAL PARKING REQUIRED = 122 SPACES
TOTAL PARKING PROVIDED = 127 SPACES
TOTAL STANDARD PARKING = 91 SPACES
TOTAL COMPACT PARKING = 33 SPACES
ACCESSIBLE SPACES = 4 SPACES
ACCESSIBLE VAN SPACES = 1 SPACE

BICYCLES

1/20 SPACES REQUIRED = 7
2 RACKS WITH 4 BICYCLE CAPACITY EA=8

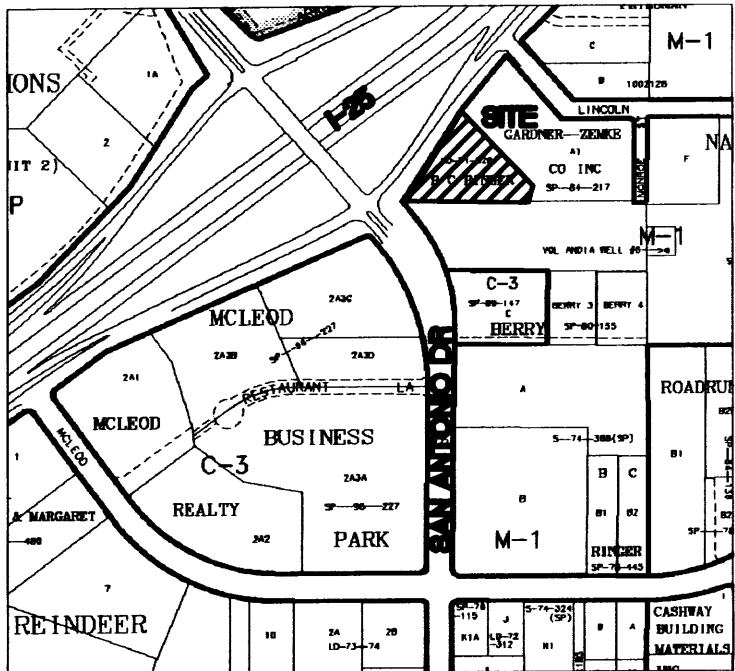
2 HANDICAP SIGN DETAIL
SCALE: 1/2"=1'-0"





REQUEST ROUGH GRADING PERMIT

COA PUBLIC WORKS DEPT. APPROVAL _____ DATE _____



VICINITY MAP F-17

LEGAL DESCRIPTION

PARCEL 2, PORTION OF THE LANDS OF B. C. RINGER, RECORDED 7/6/71, BK 43, PG 90 BERNALILLO COUNTY, NEW MEXICO

ACS BENCHMARK

CITY OF ALBUQUERQUE STATION NO. "1-25-17", BEING AN ACS MONUMENT, WITH AN ELEVATION OF 5171.1

SURVEY NOTES

FIELD SURVEY BY: RIO GRANDE SURVEY ALBUQUERQUE, NM SURVEY DATE: NOV. 2003 PHONE: (505) 764-8891 FAX: (505) 764-8891

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AFRA Construction & Design LLC
7004 Avenida La Costa NE
Albuquerque, New Mexico 87109
Tel 505.315.1482

Holiday Smr
1-25 & JEFFERSON
ALBUQUERQUE, NM 87109

| REV | DATE | DESCRIPTION | APVD |
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C2

Robert G. Galt
Professional Engineer
10/12/04