

CITY OF ALBUQUERQUE



December 24, 2008

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

Re: Lumber Avenue Office and Parking, 4710 Jefferson St NE
Permanent Certificate of Occupancy (C.O.) Approval
Engineer's Stamp dated 02/07/07 (F-17/D093)
Certification dated 12-23-08

Mr. McGee,

PO Box 1293

Based upon the information provided in your submittal received 12-23-08, the above referenced Certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3695.

Sincerely,

NM 87103

Curtis A. Cherne, P.E.
Senior Engineer—Hydrology,
Development and Building Services

www.cabq.gov

C: file
Katrina Sigala, CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Lumber Av. Office and Parking ZONE MAP/DRG. FILE F17/D93
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT E-4 AND E-3-A, ALLWOODS SUB'D, ALBUQUERQUE, NM
CITY ADDRESS: _____

ENGINEERING FIRM: ISSACSON & ARFMAN, PA CONTACT: Scott M. McGee
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: Chant and Associates, Inc. CONTACT: Greg Chant
ADDRESS: 5540 Midway Park Pl. NE PHONE: 344-1633
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

ARCHITECT: Berent Groth CONTACT: Berent Groth
ADDRESS: 3546 Suquoia Rd. NW PHONE: 266-6700
CITY, STATE: Albuquerque, NM ZIP CODE: 87120

SURVEYING FIRM: Forstbauer Surveying LICENSED SURVEYOR: Ron Forstbauer
ADDRESS: 4116 Lomas Blvd. NE PHONE: 268-2112
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

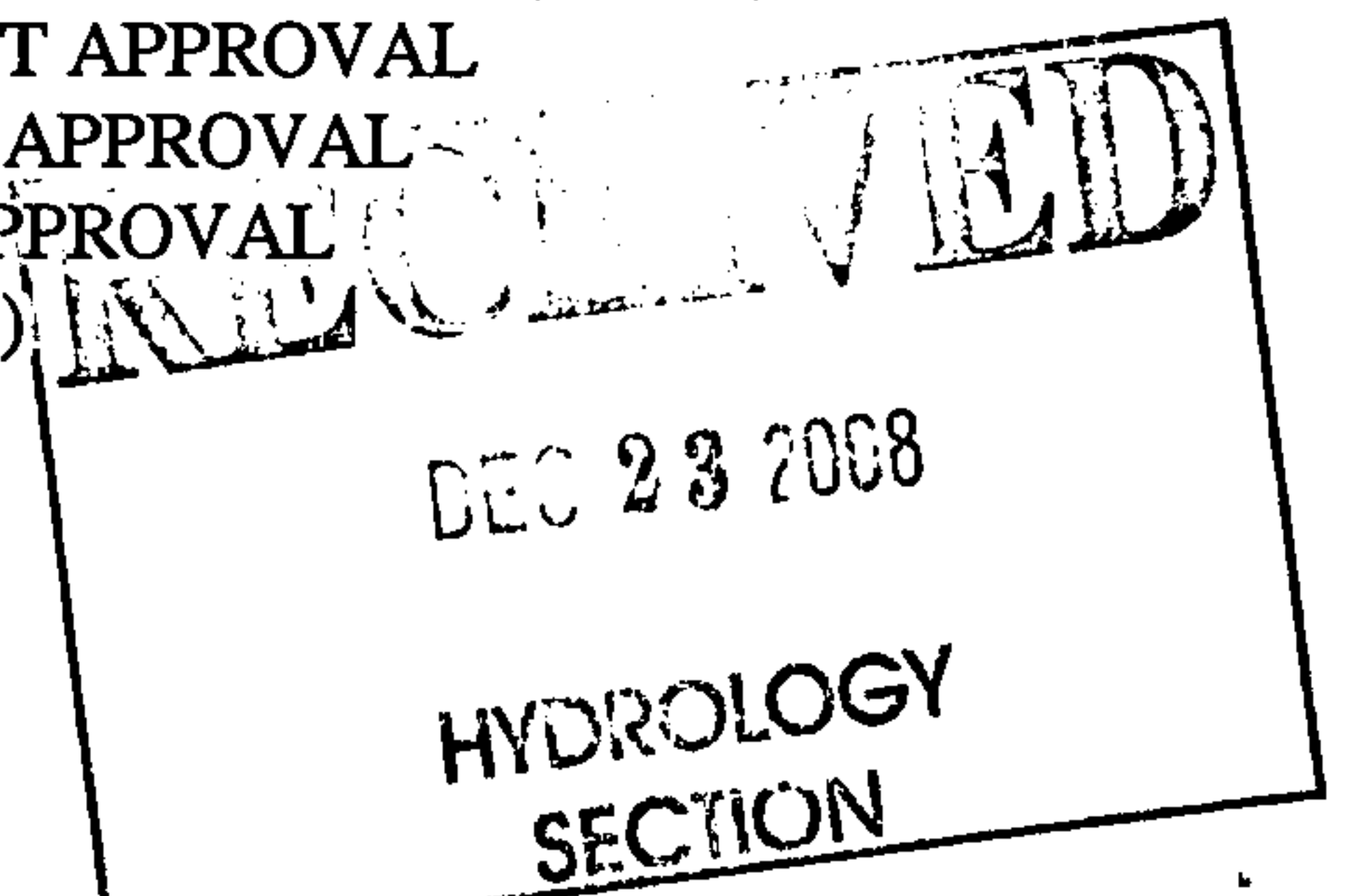
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: ISAACSON & ARFMAN: Scott McGee DATE: Dec. 23, 2008

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



December 22, 2008

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

Re: Lumber Avenue Office and Parking, 4710 Jefferson St NE
Temporary Certificate of Occupancy (C.O.) Approval
Engineer's Stamp dated 02/07/07 (F-17/D093)
Certification dated 12-18-08

Mr. McGee,

PO Box 1293

Based upon the information provided in your submittal received 12-18-08, the above referenced certification is approved for release of 90 Day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3695.

Sincerely,

NM 87103

Curtis A. Cherne, P.E.
Senior Engineer—Hydrology,
Development and Building Services

www.cabq.gov

C: file
Katrina Sigala, CO Clerk

Sims, Timothy E.

F-17/D093

From: Thompson, Charles N.
Sent: Wednesday, October 24, 2007 5:00 PM
To: Bingham, Brad L.
Cc: Metro, Kristal D.; Hoover, Jeremy; Sims, Timothy E.; Curtin, John P.
Subject: Building construction adjacent to Jefferson Office Plaza

Good Afternoon,

This e-mail is to mention a construction project that is on-going now that I would like to make sure that we watch from a drainage perspective. It is a new building and site development on Tract E-4 of the Jefferson Office Plaza subdivision and the G&D file number is F17/D93.

I have been talking with Mr. Bill Barringer who is affiliated with the property to the south of the construction site. Mr. Barringer's associates have experienced some past flooding that I think results from runoff from adjacent properties including properties as far away as the shopping center at San Mateo and Montgomery. Because they have enough problems, I would like for us to be sure that the grading on the D93 file property gets put in per plan (and does not drain south). Please note that I have no reason to believe that the site will not be constructed per G&D, I just wanted to call your attention to it. If you would like for me to keep tabs on it please let me know and I will see that one of us gets by there to check up on it periodically.

Thanks, Chuck T

Charles N. Thompson, P.E.
Storm Drainage Design Division
Dept. of Municipal Development
City of Albuquerque
768-2654 fax: 768-2765
cthompson@cabq.gov



F-17/D93

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 - KDM)

PROJECT TITLE: Lumber Av. Office and Parking ZONE MAP: F-17
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT E-4 AND E-3-A, ALLWOODS SUB'D, ALBUQUERQUE, NM
CITY ADDRESS: _____

ENGINEERING FIRM: ISAACSON AND ARFMAN CONTACT: SCOTT MCGEE
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: Chant and Associates, Inc. CONTACT: Greg Chant
ADDRESS: 5540 Midway Park Pl. NE PHONE: 344-1633
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

ARCHITECT: Berent Groth CONTACT: Berent Groth
ADDRESS: 3546 Suquoia Rd. NW PHONE: 266-6700
CITY, STATE: Albuquerque, NM ZIP CODE: 87120

SURVEYING FIRM: Forstbauer Surveying LICENSED SURVEYOR: Ron Forstbauer
ADDRESS: 4116 Lomas Blvd. NE PHONE: 268-2112
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

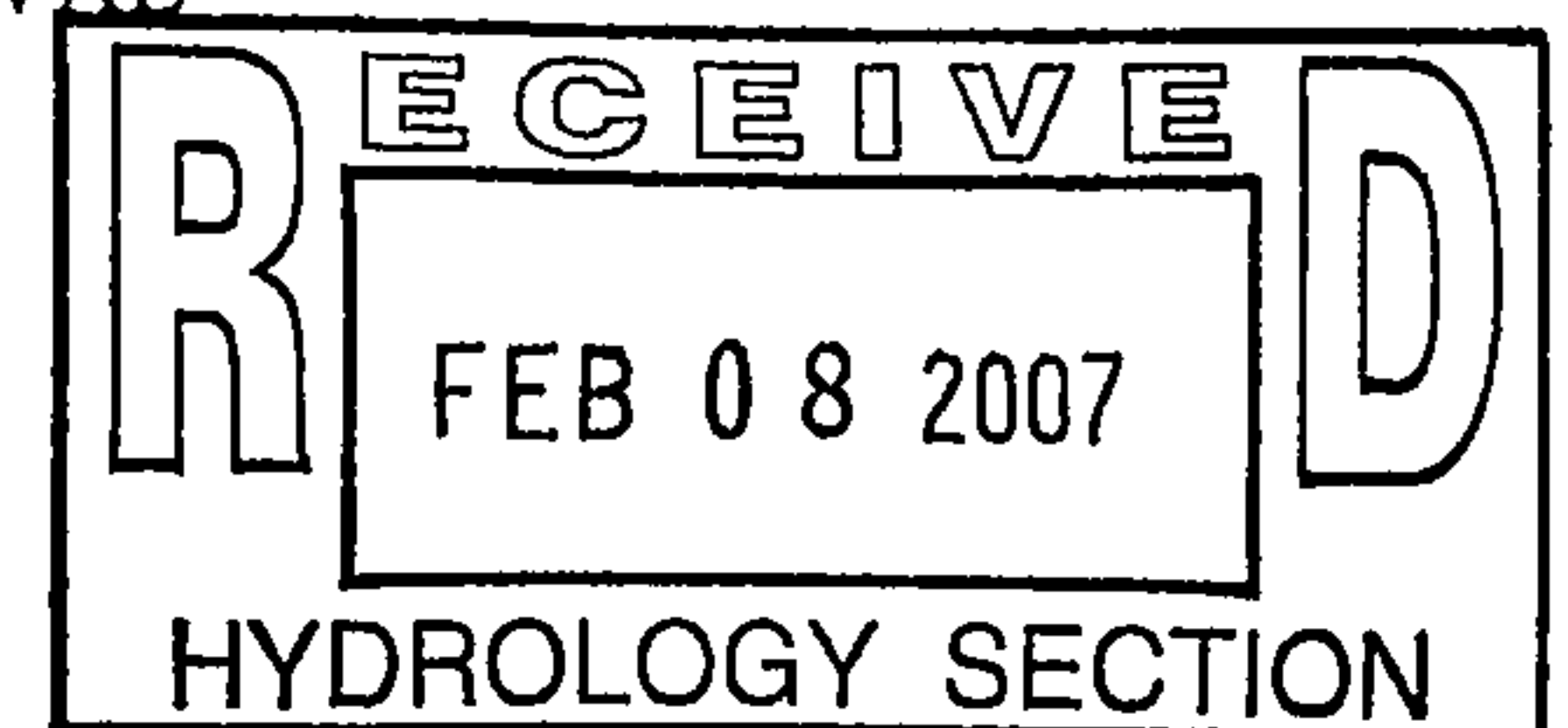
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

RESUBMITTAL



DATE SUBMITTED: Thursday, February 08, 2007 BY: Bryan Bobrick

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



February 8, 2007

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe NE
Albuquerque, NM 87108

Re: Lumber Ave. Office and Parking, Engineer's Stamp dated 2-7-07
Tracts E4 and E3A of the Allwoods Subdivision, (F17/D93)

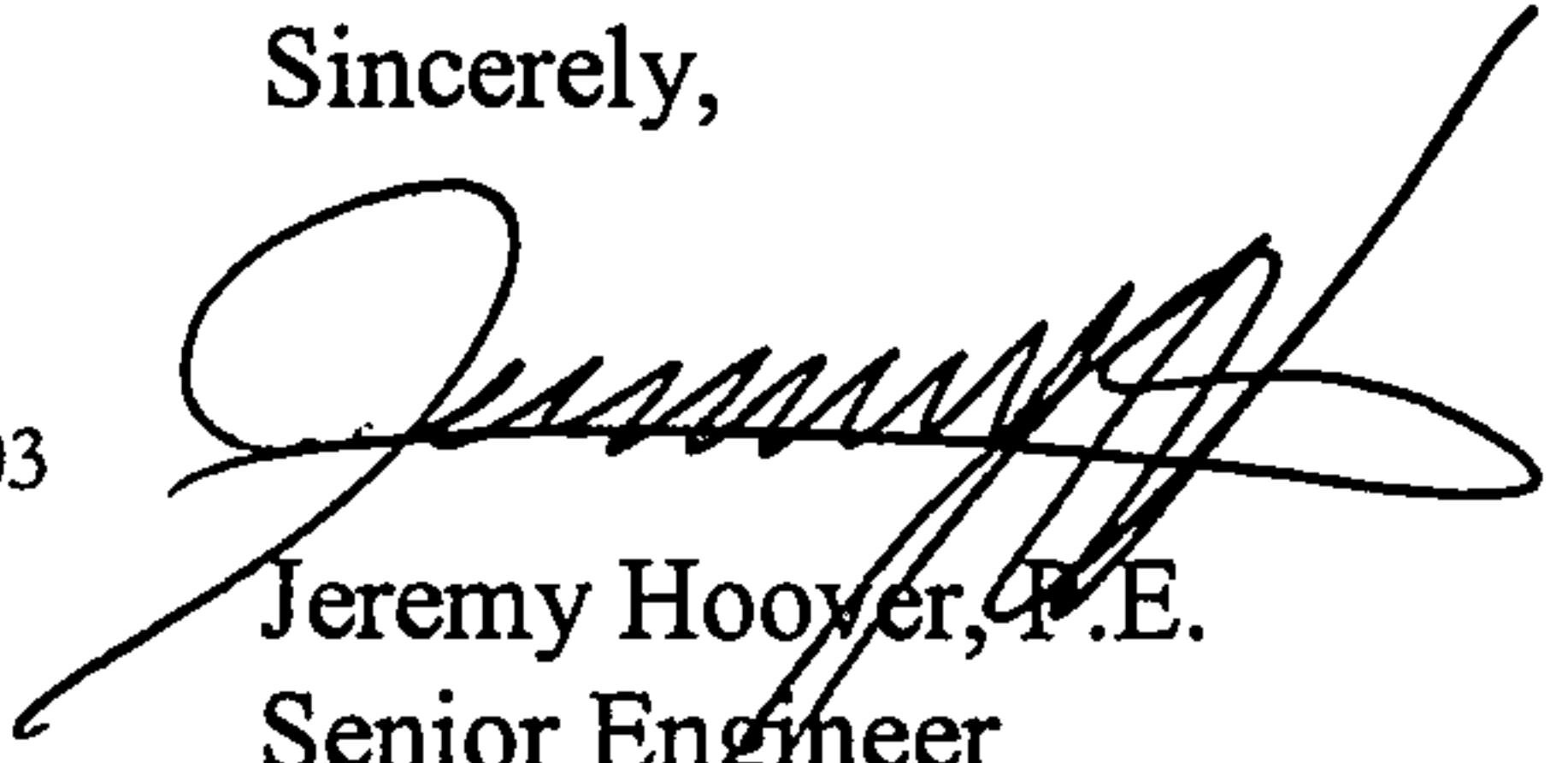
Dear Mr. McGee,

Based upon the information provided in your submittal received on February 8, 2007, the above referenced plan is approved for Building Permit. It is also approved for SO-19 Permit. A copy of this approval letter must be on hand when applying for the excavation permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,


Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (F17/D93)
Edward Elwell, DMD Street / Storm Maintenance
Antoinette Baldonado, Construction Services

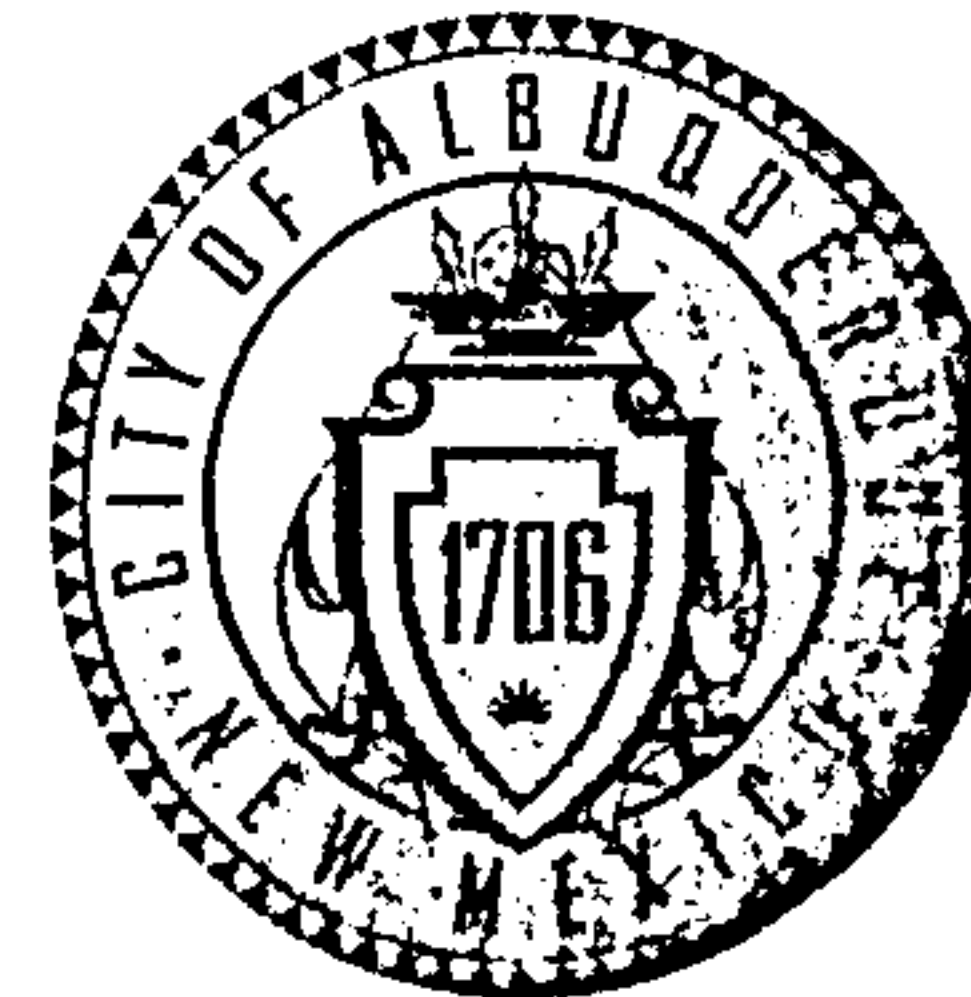
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 18, 2008

Berent Groth, Registered Architect
3516 Sequoia Place NW
Albuquerque, NM 87120

Re: Certification Submittal for Final Building Certificate of Occupancy for
Lumber Ave Office and Parking, [F-17 / D093]
4710 Jefferson NE
Architect's Stamp Dated 12/17/08

Dear Mr. Groth:

PO Box 1293

The TCL / Letter of Certification submitted on December 18, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

301
301
301
301

BERENT GROTH ARCHITECT AIA

3546 SEQUOIA PLACE NW ALBUQUERQUE NEW MEXICO 87120

e-mail: berentgroth@mac.com

phone: (505) 266 6700

fax: (505) 836 6461

nm reg no 958

Transportation Department
City of Albuquerque

Re: Final Certificate of Occupancy, 4710 Jefferson NE, Albuquerque, NM 87109

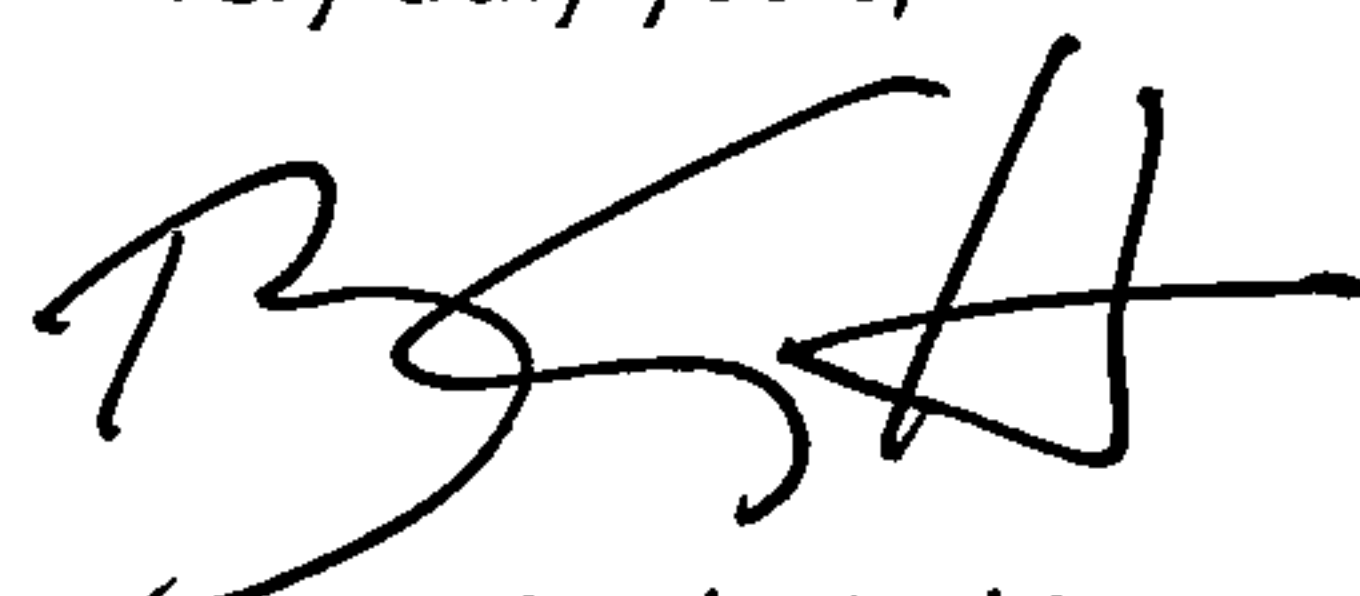
December 17, 2008

Traffic Certification

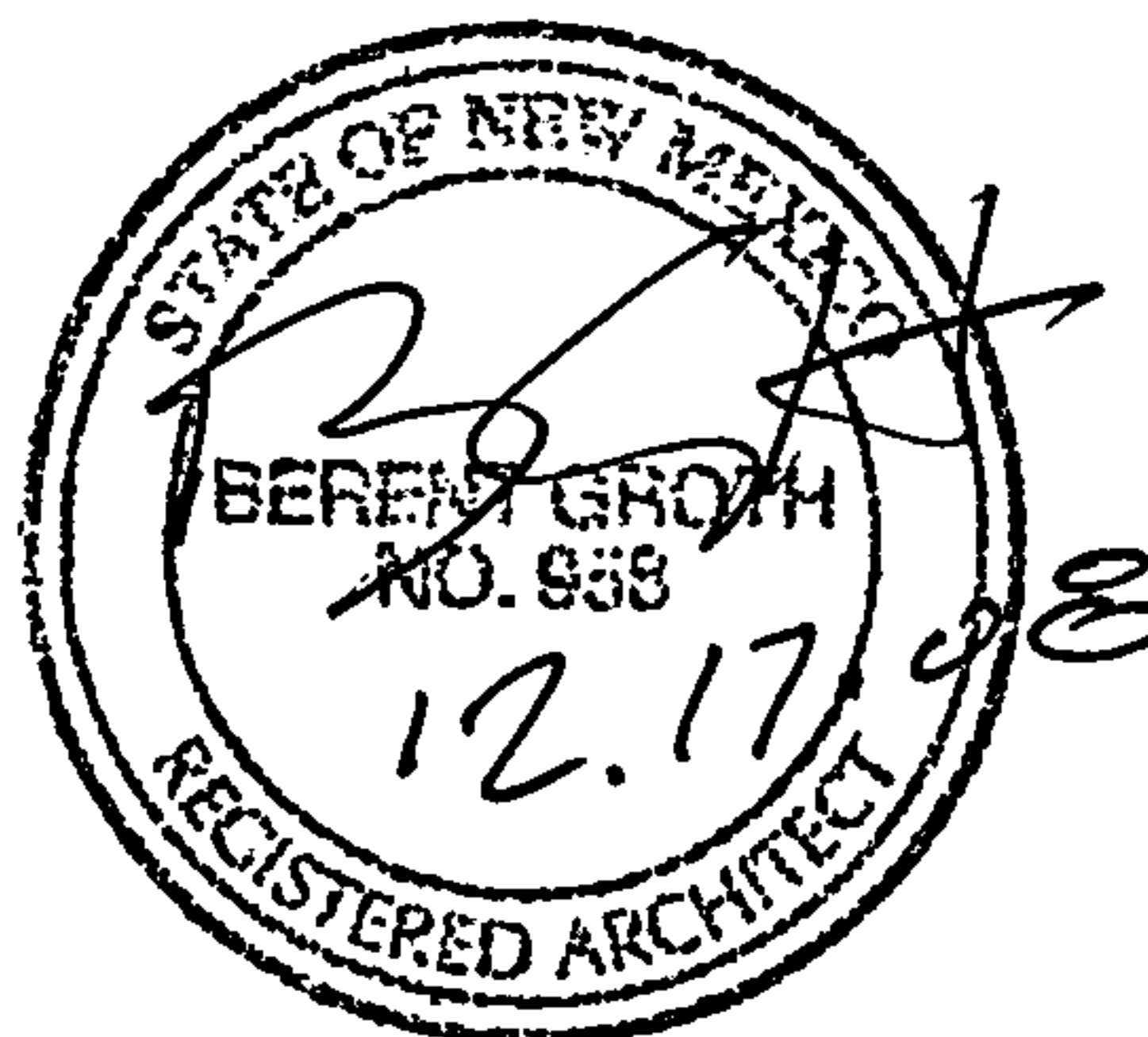
I, Berent Groth, NMRA no. 958, of the Berent Groth Architect AIA, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the plan and TCL approved on 6/29.07. The record information edited onto the original design document has been obtained by Forstbauer Surveying. I further certify that I have personally visited the project site on 10/31/08 and have determined with visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

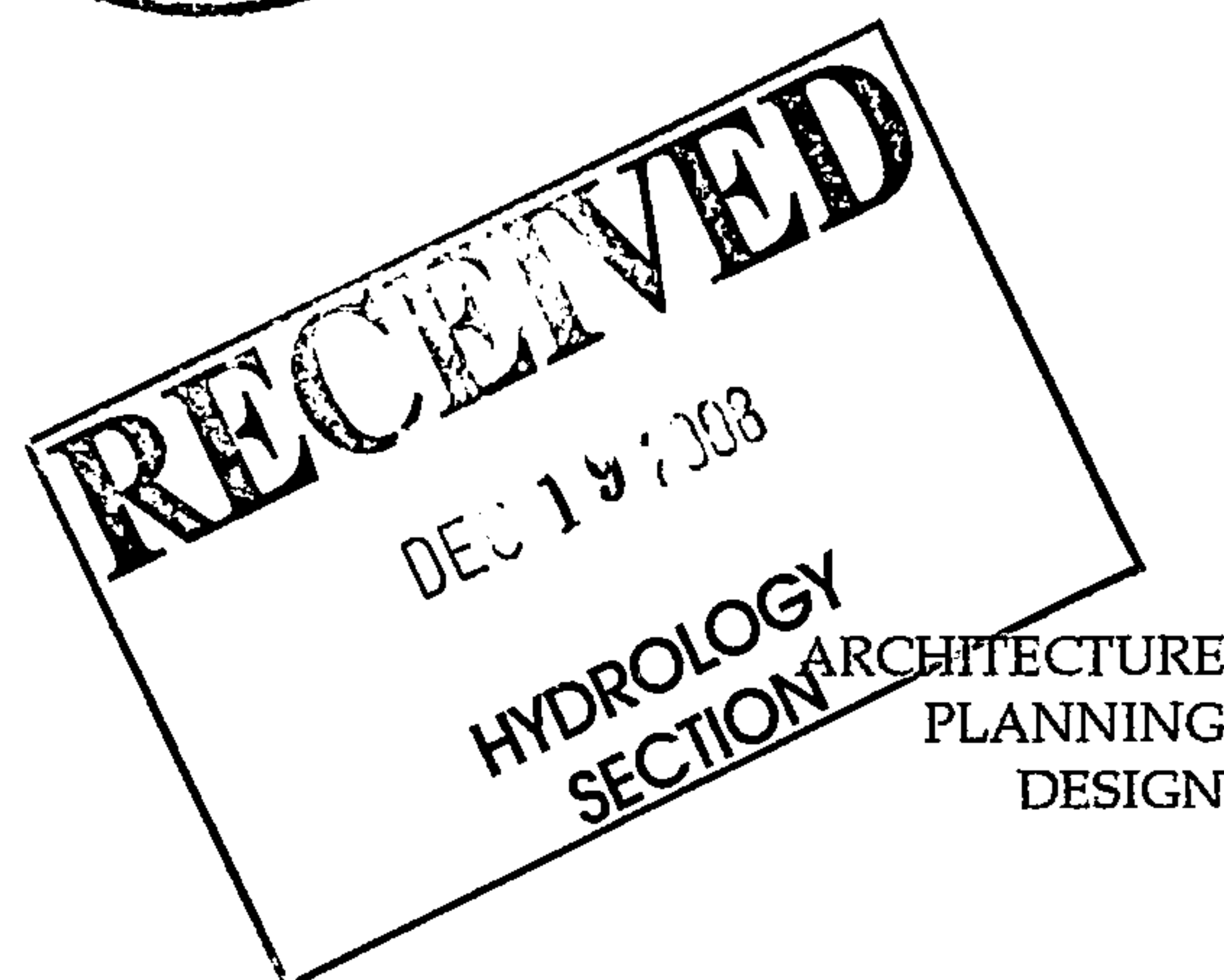
Very truly yours,

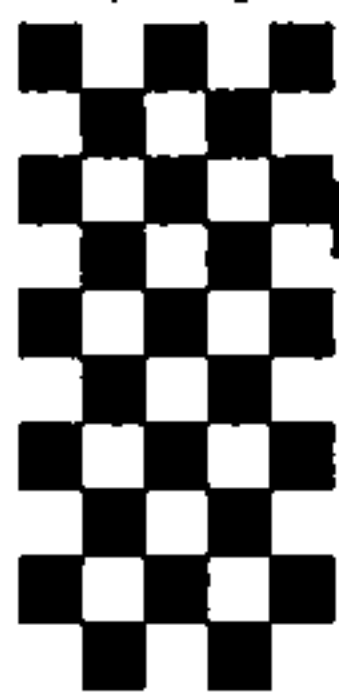


Berent Groth, Architect
NM Reg. No. 958



CC: Chant Associates





BERENT GROTH ARCHITECT AIA

1516 SEQUOIA PLACE NW ALBUQUERQUE NEW MEXICO 87120

e-mail: berentgroth@mac.com

phone: (505) 266 6700

fax: (505) 836 6461

nm reg no 958

Transportation Department
City of Albuquerque

Re: Final Certificate of Occupancy, 4710 Jefferson NE, Albuquerque, NM 87109

December 17, 2008

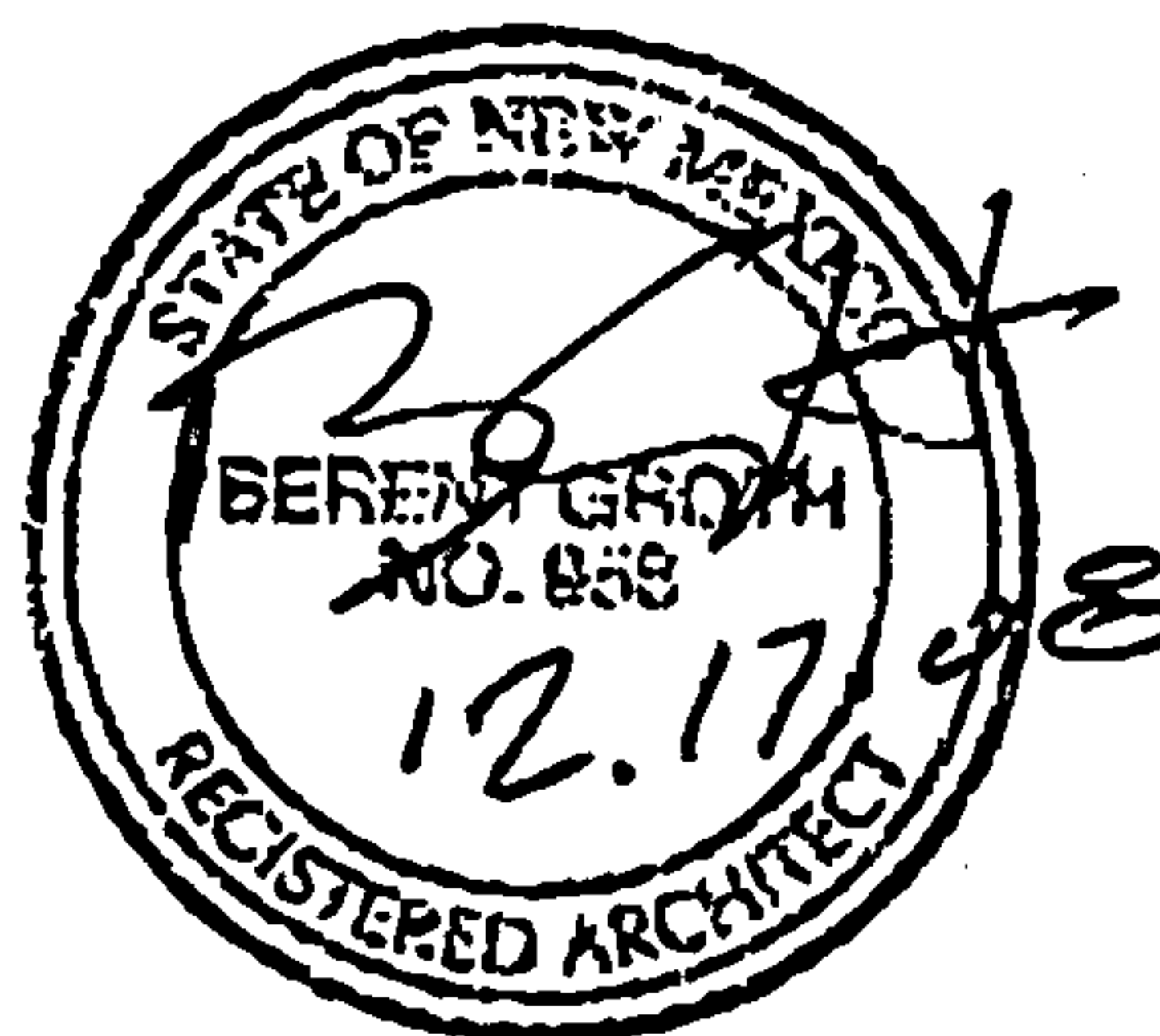
Traffic Certification

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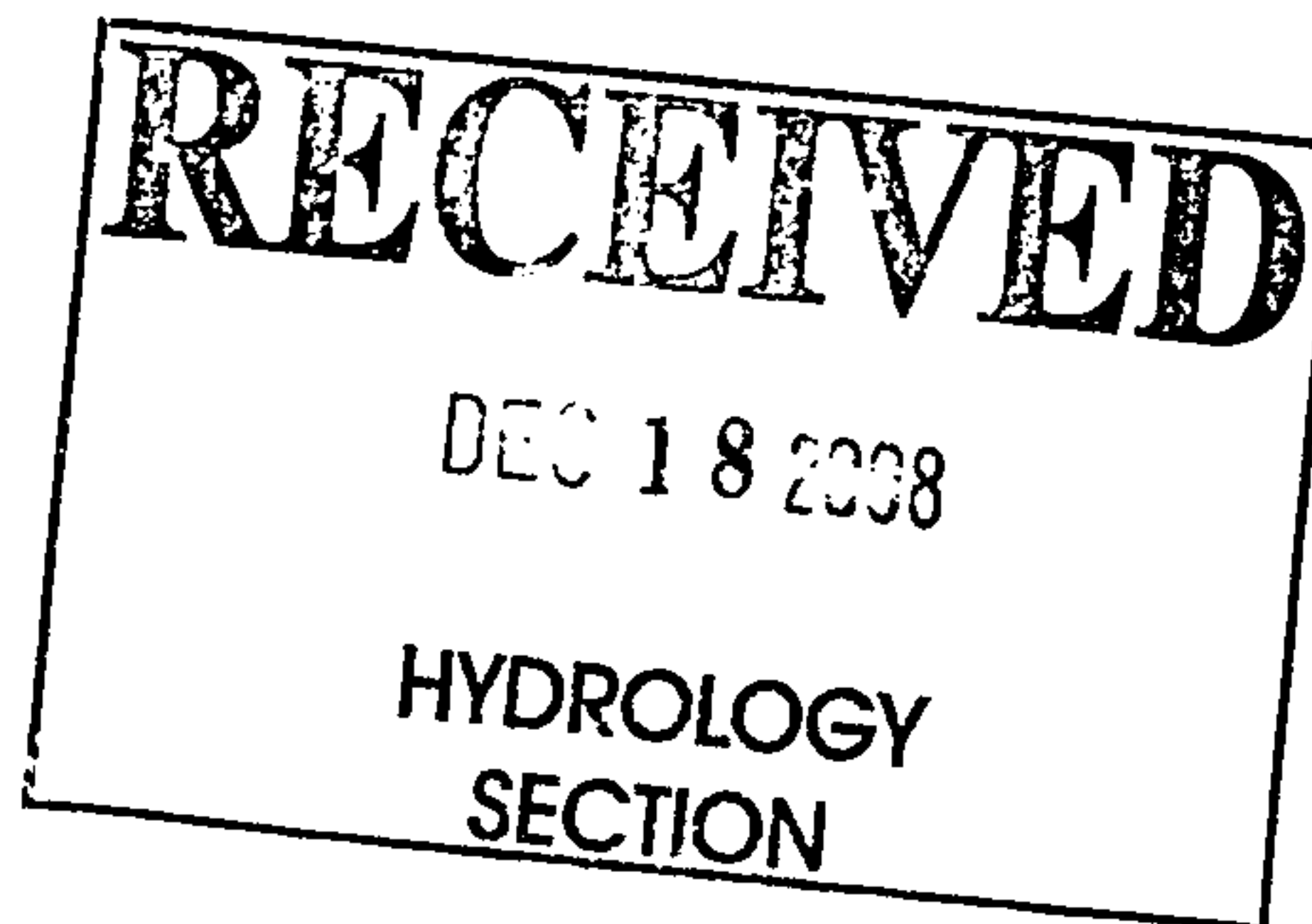
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Very truly yours,

Berent Groth, Architect
NM Reg. No. 958



CC: Chant Associates



ARCHITECTURE
PLANNING
DESIGN

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Lumber Ave OFFICE & PARKING ZONE MAP: F-17/De93
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 4710 Jefferson Ave

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: BERENT GROTH CONTACT: _____
 ADDRESS: 3516 Sequoia Place NW PHONE: _____
 CITY, STATE: Albuquerque 87120 ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

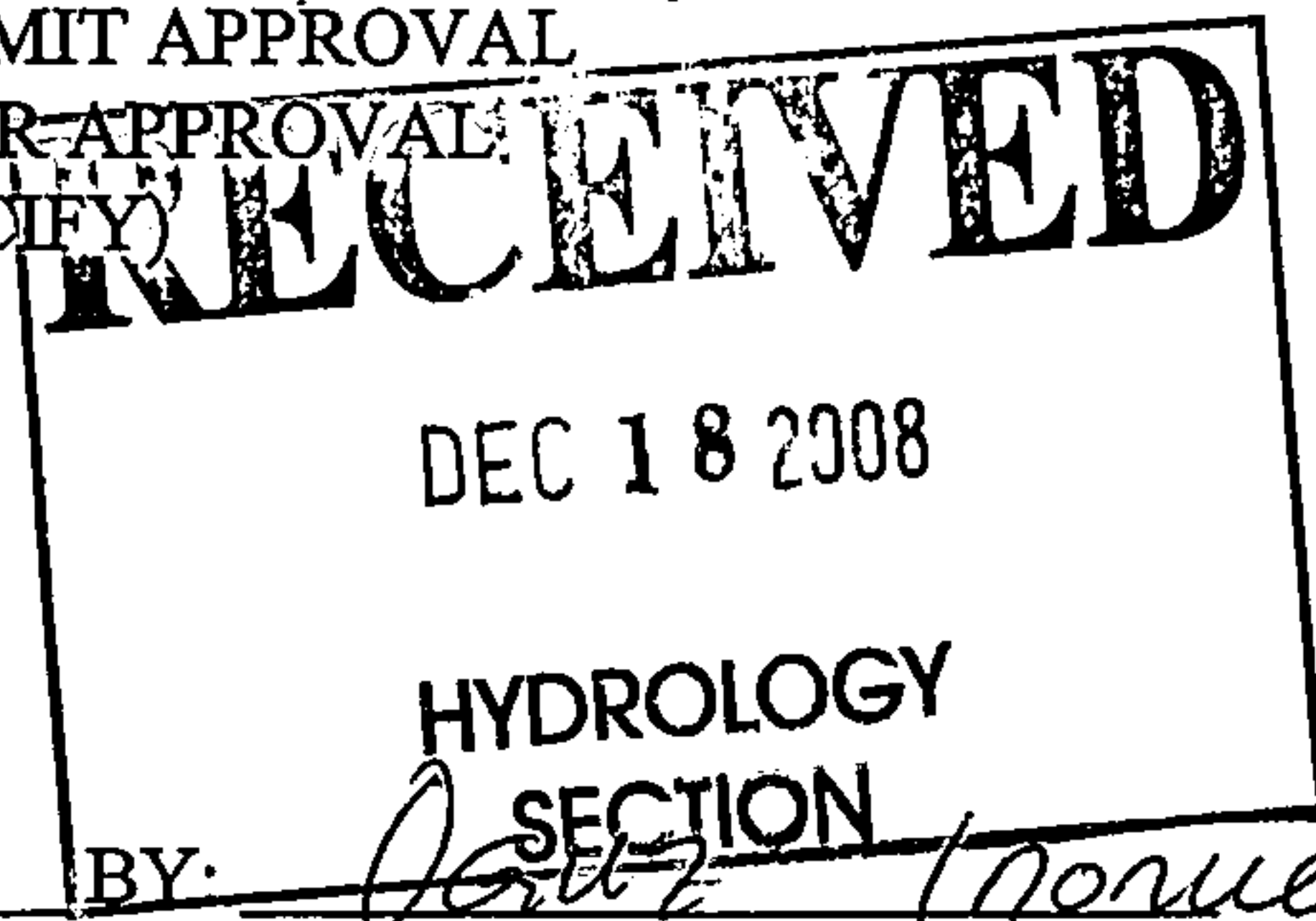
CONTRACTOR: CHANT ASSOCIATES CONTACT: _____
 ADDRESS: P.O. Box 3529 PHONE: _____
 CITY, STATE: Albuquerque ZIP CODE: _____

TYPE OF SUBMITTAL:
 _____ DRAINAGE REPORT
 _____ DRAINAGE PLAN 1st SUBMITTAL
 _____ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL G & D PLAN
 _____ GRADING PLAN
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERT (HYDROLOGY)
 _____ CLOMR/LOMR
 _____ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
 _____ ENGINEER'S CERT (DRB SITE PLAN)
 _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
 _____ SIA/FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D APPROVAL
 _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
 _____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
 _____ CERTIFICATE OF OCCUPANCY (TEMP)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 _____ YES
 _____ NO
 _____ COPY PROVIDED

DATE SUBMITTED: 12/18/2008 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: Lumber Av. Office and Parking ZONE MAP: F17/D93
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT E-4 AND E-3-A, ALLWOODS SUB'D, ALBUQUERQUE, NM
CITY ADDRESS: _____

ENGINEERING FIRM: ISAACSON AND ARFMAN CONTACT: SCOTT MCGEE
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: Chant and Associates, Inc. CONTACT: Greg Chant
ADDRESS: 5540 Midway Park Pl. NE PHONE: 344-1633
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

ARCHITECT: Berent Groth CONTACT: Berent Groth
ADDRESS: 3546 Suquoia Rd. NW PHONE: 266-6700
CITY, STATE: Albuquerque, NM ZIP CODE: 87120

SURVEYING FIRM: Forstbauer Surveying LICENSED SURVEYOR: Ron Forstbauer
ADDRESS: 4116 Lomas Blvd. NE PHONE: 268-2112
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

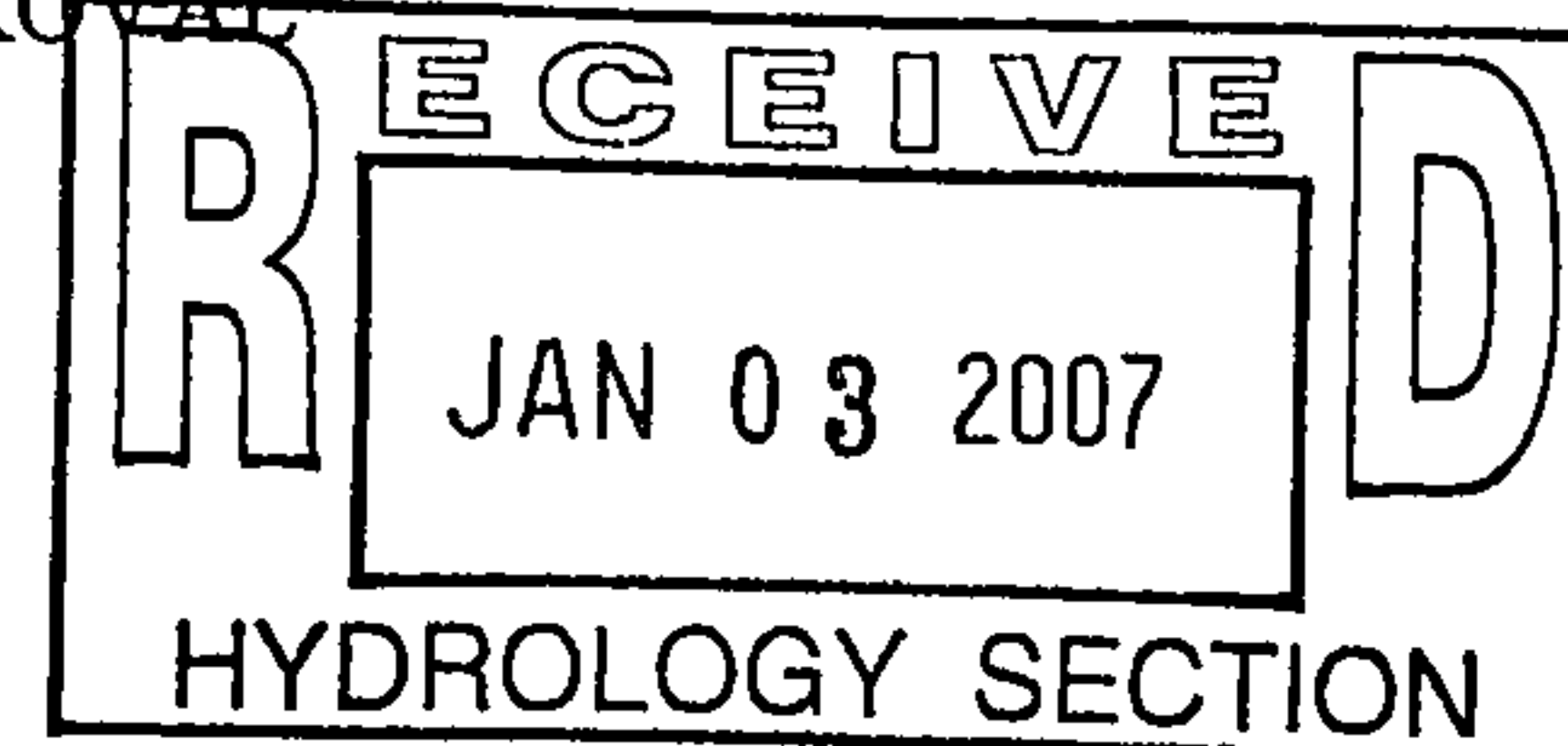
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☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
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☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

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☐ PRELIMINARY PLAT APPROVAL
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☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: January 3, 2007 BY: Scott McGee

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

January 3, 2007

Kristal D. Metro, P.E.
Senior Engineer
Hydrology Section
Development & Building Services Division
Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

RE: LUMBER AVENUE OFFICE AND PARKING (F17-D93)

Dear Kristal:

Included with this letter are two copies of the revised Grading and Drainage Plan for the above mentioned project. In addition, a second sheet with historic and developed sub-basins and calculations are provided for your review. We will not include this sheet with the construction sets.

The following revisions were made in response to your review letter dated August 15, 2006.

1. Vicinity Map corrected.
2. Note 11 revised to clarify.
3. Legal description amended to include Lot E-3-A.
4. Benchmark provided.
5. Copy of Cross-Lot Drainage Easement will be provided by owner. I will get it to you as soon as I receive it.
6. S.O.19 modified to match example you provided.
7. Referenced note was a pre-design note to myself to verify drainage. Based on site inspection, this area drains to Lumbar Ave. and will not be adversely affected by the proposed construction.
8. See EXTRA sheet for sub-basin analysis.
9. See EXTRA sheet for sub-basin analysis.

Please don't hesitate to call me if you have any additional questions or comments.

Sincerely,

ISAACSON AND ARFMAN


Bryan J. Bobrick

BJB/bjb

128 Monroe St. NE • Albuquerque, NM 87108 • (505) 268-8828 • FAX (505) 268-2632



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

February 7, 2007

Mr. Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development & Building Services Division
Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

RE: LUMBER AVENUE OFFICE AND PARKING (F17-D93)

Dear Mr. Hoover:

Included with this letter are two copies of the revised Grading and Drainage Plan and a copy of the Cross-Lot Drainage Easement for the above mentioned project. In addition, a second sheet with historic and developed sub-basins and calculations are provided for your review. We will not include this sheet with the construction sets.

The following revisions were made in response to your review letter dated January 30, 2006.

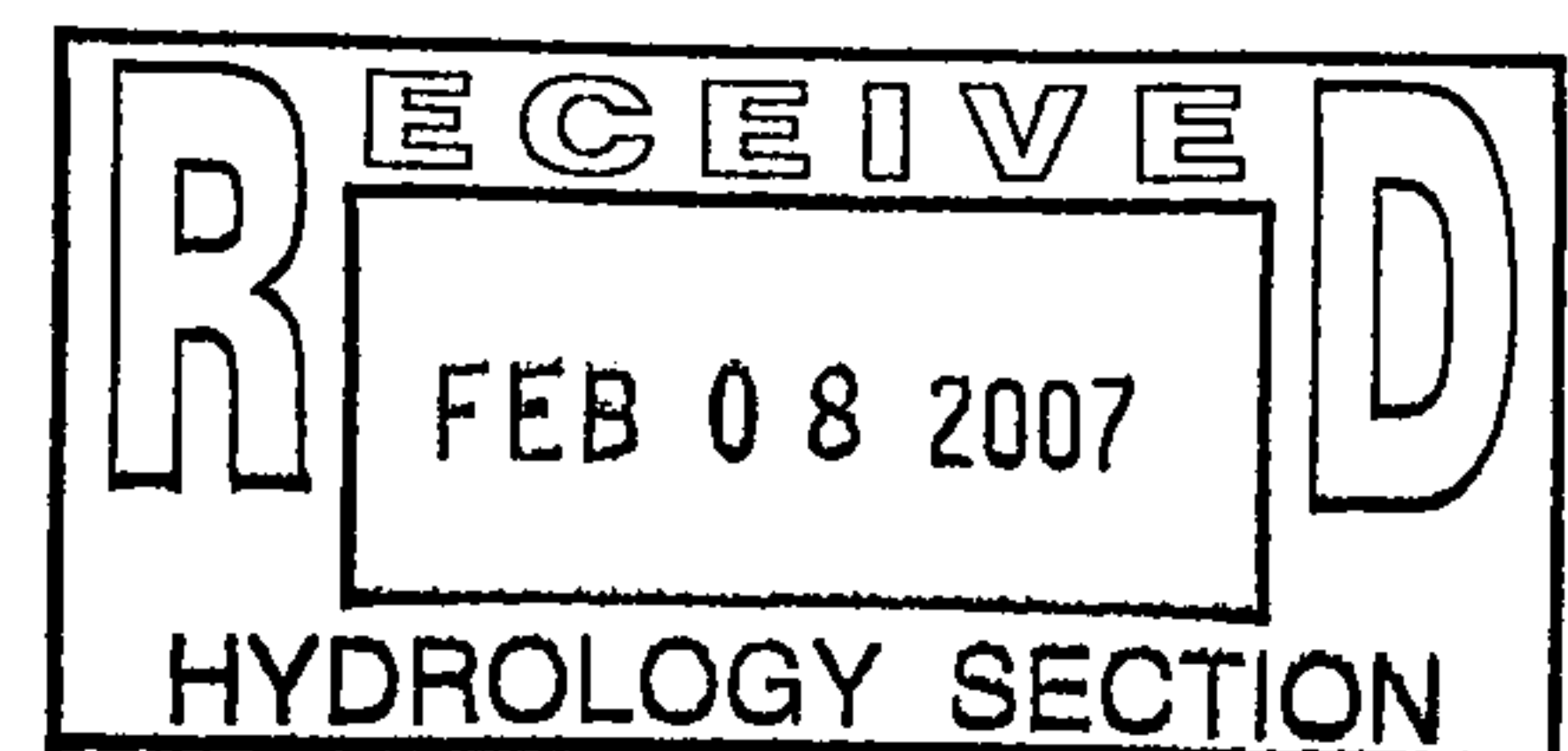
1. Copy of Cross-Lot Drainage Easement provided.
2. Narrative revised to reference correct zone map.
3. Dumpster enclosure drain added.
4. C.O.A. standard details referenced for on-site curb and gutter.
5. Basin map numbering corrected.
6. S.O.19 modified to match example you provided.

Please don't hesitate to call me if you have any additional questions or comments.

Sincerely,

ISAACSON AND ARFMAN


Bryan J. Bobrick
BJB/bjb



(12/19/06)

RECIPROCAL EASEMENT

CHANT LIMITED PARTNERSHIP, a New Mexico limited partnership, as the Owner of Tract E-4 ("E-4"), and as the Owner of Tract E-3-A ("E-3-A"), as such Tracts are described more fully on Exhibit A, attached hereto, does hereby declare, establish and impose the following reciprocal easements on and over such two (2) Tracts.

"Specific Provisions"

The Easements described herein on each Tract shall be for the benefit of the Owner of the other Tract, as such Ownership may change after the date of this reciprocal easement and shall be binding upon and shall benefit the successors and assigns of Chant Limited Partnership in Ownership of each of such Tracts from time to time.

The easements created hereunder consist of:

(a) an easement for storm water to flow over and across each of such Tracts from the other Tract to the extent reasonably required to accommodate the surface flow of such storm waters as provided by the grading and drainage plan for development of each Tract that has been or may subsequently be reviewed and approved by the City of Albuquerque,

(b) an easement for ingress and egress between such Tracts and from the public streets adjacent to the Tracts and through and across each of such Tracts for use by the Owners of each Tract, their officers, employees, contractors, invitees, lessees, and service providers, and

(c) a cross-easement for parking by the Owners of each Tract, their employees, contractors, invitees, lessees and service providers for vehicle parking, as may be reasonably convenient and/or necessary for the Owners of the other Tract, their employees, contractors, invitees, lessees, and service providers.

"General Provisions"

1. Enforceability. The easements created by this Reciprocal Easement shall be binding and enforceable by the then current Owner of each Tract against the then current Owner of the other Tract as such Ownership may change after the date of signing this Easement, as covenants running with the land.

2. Amendments. The terms, provisions and conditions of the easements created by this Reciprocal Easement may be modified or amended from time to time only by a written document signed by both of the then current Owners of each Tract described above.

3. Maintenance and Repair. The Owner of each Tract shall be responsible, at such party's own cost and expense, shall provide maintenance, repair, and replacement of all improvements on such Owner's Tract reasonably necessary for enjoyment of the easements in a manner sufficient to prevent impairment or loss of the use and benefit of the easements described herein by the Owner of the other Tract.

4. Default. If either party to this Agreement shall fail or refuse to keep and perform its duties and obligations hereunder and continue such failure of performance for more than thirty (30) days after written notice thereof from the other party, then it shall constitute an uncured default under this Agreement. Upon the occurrence of an uncured default, the non-defaulting party shall have the right to take any action and enforce any right granted or arising under this Agreement through the exercise of rights and remedies afforded by law, in equity or otherwise including, but not limited to recovery of damages for loss, cost, expense and injury arising from or related to such

REALEST.CHANT.2006.JEFF MEDICAL (RECIPROCAL EASEMENT)



Haggie Toulouse

Bern. Co. ERSE

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default. Any right arising under this Agreement during the term of this Agreement shall survive the termination of this Agreement and may be enforced thereafter.

5. Severability. In the event any provisions of this Agreement shall be held invalid or unenforceable by any court of competent jurisdiction, such holding shall not invalidate or render unenforceable any other provision hereof; provided, however, that this sentence shall not be given effect if enforcement of this Agreement absent the invalid or unenforceable provisions would destroy the essential purpose of the issuance of this Agreement.

6. Complete Agreement and Amendment. This constitutes the entire understanding and agreement of the parties concerning the easements created herein.

7. Waiver. No waiver or failure by a party to enforce its rights or to declare a default under the provisions of this Agreement shall be considered to be a waiver of such party's rights upon any subsequent breach, regardless of the time, nature or form of the subsequent breach.

8. Additional Acts. Each party shall, upon request of the other, promptly execute, acknowledge and deliver such other and further documents and take such other and further lawful acts as may be requested in order to carry out the intent and to implement the purposes of this Agreement.

9. Effective Date and Time of the Essence. Time is of the essence under this Agreement. This Agreement shall be effective on the date of execution by Chant Limited Partnership.

10. Governing Law. This Agreement shall be governed by and construed in accordance with the laws of the State of New Mexico applicable to agreements made and to be performed in the State, without regard or effect given to conflict of law principles or rules which would require the application of the laws of any other jurisdiction. Each party hereby consents to the jurisdiction of any court located in the State of New Mexico.

11. No Joint Venture. The relationship between the parties to this Agreement shall not, under any circumstances, be construed or deemed to be a partnership, joint venture or any other similar relationship.

12. Notice. All notices given under this Agreement shall be in writing and shall be deemed to be received when delivered to the addressee in person or to an officer or principal of the addressee, or to the addressee's address, as specified below, by overnight delivery service (such as Federal Express) or five (5) business days after the date of deposit in the United States Mail, postage prepaid, by registered or certified mail addressed to the then current Owner of each Tract at the address for such Owner on the recorded deed conveying title of such Tract to the Owner, or at such alternative address as the Owner of each Tract may designate for notice by a notice given, from time to time, to the Owner of the other Tract:

Chant: Chant Associates Inc
5540 Midway Park PI NE
POB 3529 (87190)
Albuquerque, NM 87109

13. Successors and Assigns. The covenants and agreements contained in this Agreement shall be binding upon the heirs, personal representatives, successors and assigns of each party, and shall inure to the benefit of the respective heirs, personal representatives, successors, assigns, officers, directors, employees, agents, contractors, subcontractors, and invitees of each party under this Agreement.

14. Attorney's Fees and Expenses. If either party to this Agreement is required to employ an attorney to enforce such party's rights under this Agreement, then the prevailing party in any such enforcement action shall be entitled to recover all costs and expenses incurred in such enforcement action in addition to a reasonable attorney's fee.

SIGNED on the date indicated below.

Date: 1/12/07

CHANT LIMITED PARTNERSHIP
By CHANT LIMITED LIABILITY COMPANY,
Its General Partner

By: [Signature]
Judith Chant
Member

By: [Signature]
Gregory A. Chant
Member

By: [Signature]
Christopher H. Chant
Member

Acknowledgment

State of New Mexico
County of Bernalillo

This instrument was acknowledged before me on January 12, 2007,
by Judith Chant, Gregory A. Chant and Christopher H. Chant, as members of Chant
Limited Liability Company.

[Signature]
Notary Public

Commission expiration: 11-1-2010

EXHIBIT A

Tract "E-4" of the Plat of Tracts E-1, E-2, E-3 and E-4, Allwood's Subdivision, Albuquerque, Bernalillo County, New Mexico, as shown on the plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 30, 1984, Plat Book 94C, page 329.

Tract "E-3-A" of the Plat of Tract E-3-A, Allwood's Subdivision, a Replat of Tracts E-1, E-2 and E-3, Allwood's Subdivision, Albuquerque, Bernalillo County, New Mexico, as shown on the plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 20, 1995, in Plat Book 95C, page 421.



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I, MAGGIE TOULOUSE, County Clerk of Bernalillo
County, New Mexico, hereby certify that the foregoing
is true, correct and full copy of the instrument herewith
set out as appears of record in my office.
Dated this 6th day of Feb 2007
MAGGIE TOULOUSE
Bernalillo County Clerk
By [Signature]
Deputy Clerk

CITY OF ALBUQUERQUE



January 30, 2007

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe NE
Albuquerque, NM 87108

Re: Lumber Ave. Office and Parking, Engineer's Stamp dated 1-3-07
Tracts E4 and E3A of the Allwoods Subdivision, (F17/D93)

Dear Mr. McGee,

Based upon the information provided in your submittal received on January 3, 2007, there are some additional items that must be addressed prior to Building Permit Approval.

- A copy of the cross-lot, drainage easement documents must be provided.
- Please revise the narrative to reference zone map F-17 instead of G-20.
- Runoff from dumpster enclosures may not be transported off-site via surface flow. Drains to the sanitary sewer collection system must be included in the site work. As such, a detail of the enclosure with the drain and revised corner spot elevations must be shown.
- Please provide a cross section for the proposed curb and gutter (general notes 6 and 14) or reference the appropriate standard drawing (2415A and / or 2415B) as applicable.
- The basin map numbering conflicts with the drainage narrative. Basin 1 is described as the new building and landscaping but is shown on the plan as the parking area. It appears that these basin numbers were transposed on the plan drawings.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (F17/D93)

CITY OF ALBUQUERQUE



August 15, 2006

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Lumber Avenue Office and Parking, _____ Lumber Ave NE,
Grading and Drainage Plan
Engineer's Stamp dated 8-03-06 (F17-D93)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 8-04-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Update the vicinity map to show the correct location. In addition, please refer to the correct zone atlas page.
2. Please revise note 11. The proposed concrete channel cannot be built with City Standard 2236. This City Standard can be used to build the proposed sidewalk culvert, but an additional detail must be provided for the concrete channel.
3. Amend the legal description to include both lot E-3-A and tract E-4.
4. Provide a benchmark.
5. Prior to building permit approval, a copy of the cross lot drainage easement must be provided for our files.
6. Revise the SO#19 notes to match the example provided (see attached).
7. In the northwest corner of the site, a note states that the area must be regraded to drain to the sidewalk culvert. Which sidewalk culvert is this? Is this an existing culvert? Show additional elevations in this area.
8. Define the increase in flow to the private storm drain system.
9. Call out the sub-basins on the grading and drainage plan.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: Lumber Av. Office and Parking ZONE MAP: G-20 F-17/D93
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT E-4 AND E-3-A, ALLWOODS SUB'D, ALBUQUERQUE, NM
CITY ADDRESS: _____

ENGINEERING FIRM: ISAACSON AND ARFMAN CONTACT: SCOTT MCGEE
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: Chant and Associates, Inc. CONTACT: Greg Chant
ADDRESS: 5540 Midway Park Pl. NE PHONE: 344-1633
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

ARCHITECT: Berent Groth CONTACT: Berent Groth
ADDRESS: 3546 Suquoia Rd. NW PHONE: 266-6700
CITY, STATE: Albuquerque, NM ZIP CODE: 87120

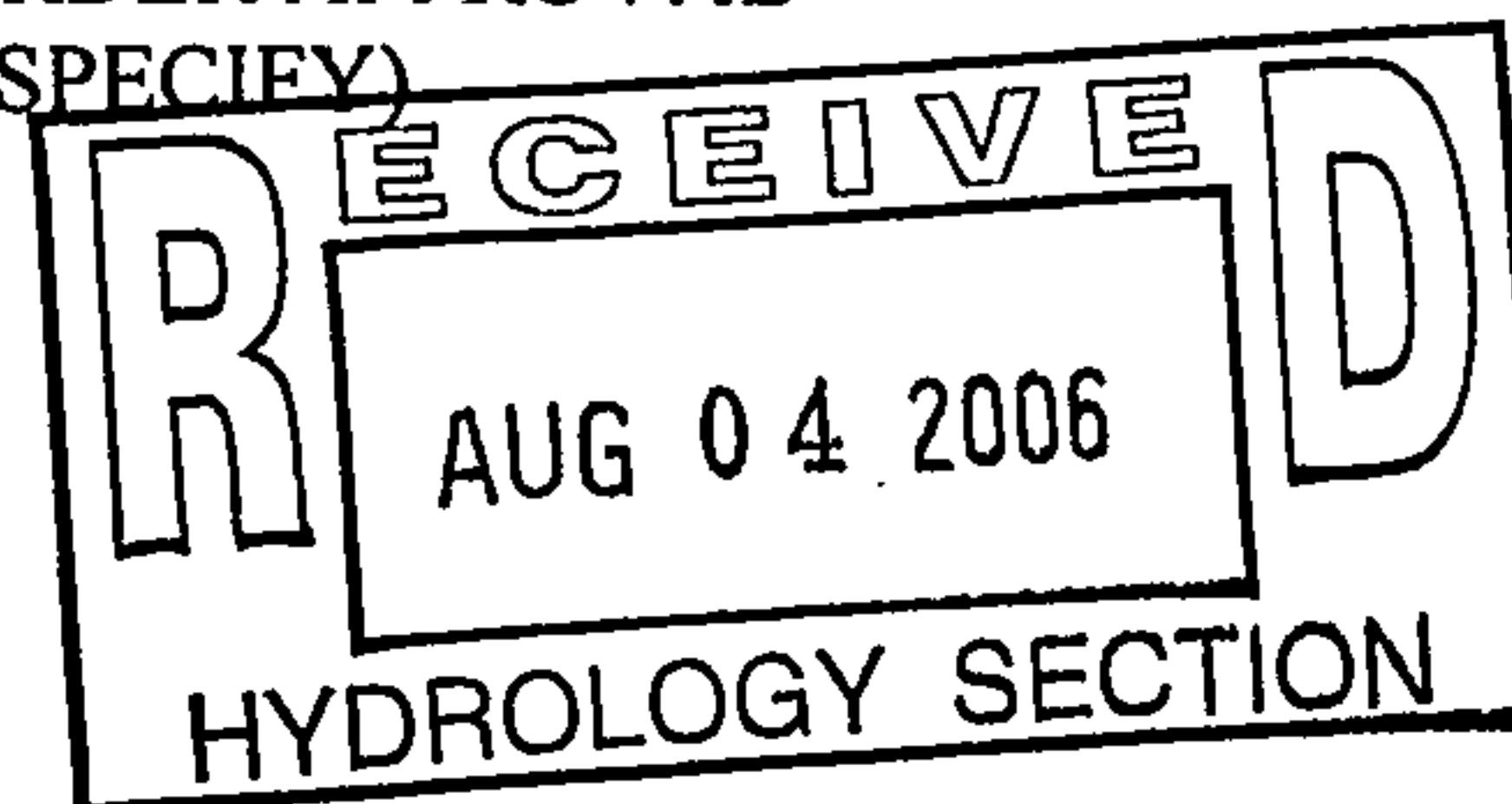
SURVEYING FIRM: Forstbauer Surveying LICENSED SURVEYOR: Ron Forstbauer
ADDRESS: 4116 Lomas Blvd. NE PHONE: 268-2112
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

Fee paid
WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: August 4, 2006 BY: Scott McGee

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

~~Step~~ Update vicinity map to show the correct location - refer to the correct zone atlas page

Revise the 5019 notes

Provide a copy of the cross lot drainage easmt prior to BP approval

Need build notes for sidewalk culverts - refer to City Std 2236

LUMBER AVENUE OFFICE AND PARKING

The proposed improvements include a new commercial building with associated asphalt paving, concrete walks, ramps and landscaping. In addition, modifications to the existing pavement on Lot E-3-A including the elimination of an access drive from Jefferson Street will also be constructed as part of this project (same owner).

The site is a lot located within C.O.A. Vicinity map G-20. The site is bound to the east, south and west by existing commercial property, and to the north by Lumber Ave.

The intent of this plan is to show:

- * Grading relationships between the existing ground elevations and proposed finished elevations in order to facilitate positive drainage to designated discharge points.
- * The extent of proposed site improvements, including buildings, walks and pavement.
- * The flow rate/volume of rainfall runoff across or around these improvements and methods of handling these flows to meet City of Albuquerque requirements for drainage management.
- * The relationship of on-site improvements with existing neighboring property to insure an orderly transition between proposed and surrounding grades.

Drainage plan concept:

The proposed development will be divided into two sub-basins. Sub-basin 1 (1.4 cfs), which includes the building and the majority of the surrounding landscaped area, will discharge through proposed sidewalk culverts to Lumber Ave. N.E. Sub-basin 2 (2.1 cfs) will discharge through the adjacent property (same owner – private drainage easement to be provided) to enter the existing private storm drain system passing through the site. All discharge will continue to follow historic flow paths.



CALCULATIONS: LUMBER AVE. OFFICE AND PARKING : August 3, 2006

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE

AREA OF SITE:	34830	SF	=	0.8	Ac.
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HISTORIC FLOWS:**DEVELOPED FLOWS:****EXCESS PRECIP:**

On-Site Historic Land Condition

Area a	=	0	SF
Area b	=	34830	SF
Area c	=	0	SF
Area d	=	0	SF
Total Area	=	34830	SF

On-Site Developed Land Condition

Area a	=	0	SF
Area b	=	5225	SF
Area c	=	0	SF
Area d	=	29606	SF
Total Area	=	34830	SF

Precip. Zone 2

Ea	=	0.53
Eb	=	0.78
Ec	=	1.13
Ed	=	2.12

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$$

Historic E	=	0.78 in.	Developed E	=	1.92 in.
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On-Site Volume of Runoff: $V_{360} = E \cdot A / 12$

Historic V_{360}	=	2264 CF	Developed V_{360}	=	5570 CF
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On-Site Peak Discharge Rate: $Q_p = Q_{pa}Aa + Q_{pb}Ab + Q_{pc}Ac + Q_{pd}Ad / 43,560$

For Precipitation Zone 2

Q_{pa}	=	1.56	Q_{pc}	=	3.14
Q_{pb}	=	2.28	Q_{pd}	=	4.70

Historic Q_p	=	1.8 CFS	Developed Q_p	=	3.5 CFS
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BASIN NO. 1 **DISCHARGING TO LUMBER AVE. THROUGH TWO 2' WIDE SIDEWALK CULVERTS**
 Area of basin flows = 15000 SF = 0.3 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.79 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 2231 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 1.4 cfs

TREATMENT

A = 0%

B = 25%

C = 0%

D = 75%

BASIN NO. 2 **DISCHARGING THROUGH LOT E-3-A TO EXISTING STORM DRAIN**

Area of basin flows = 19830 SF = 0.5 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.01 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 3326 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 2.1 cfs

TREATMENT

A = 0%

B = 8%

C = 0%

D = 92%