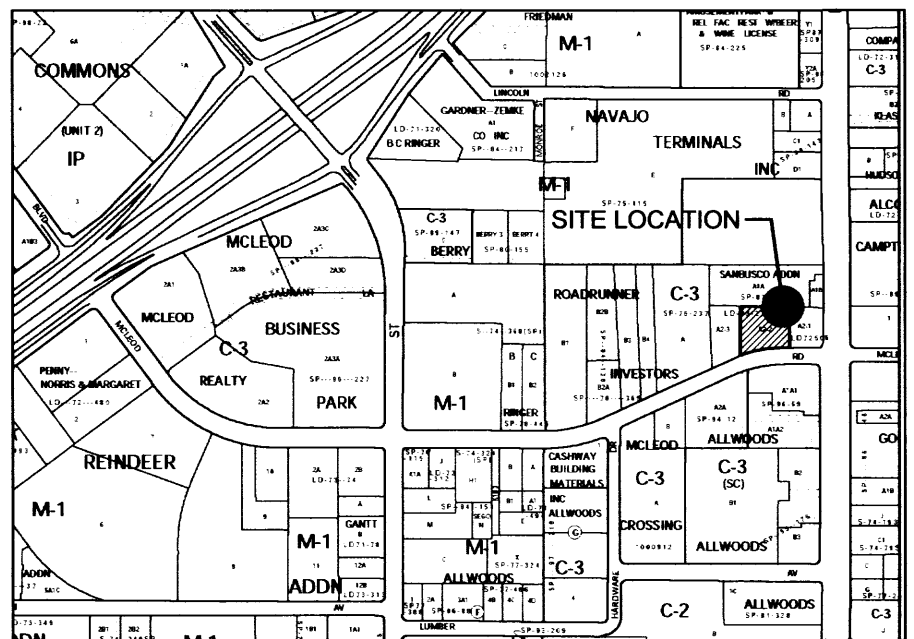


## General Notes

- REMOVE AND PATCH AS REQUIRED FOR MECHANICAL / ELECTRICAL WORK.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS.
- VERIFY LOCATION OF EXISTING UTILITIES ON SITE. CONTRACTOR TO CALL FOR BLUE STAKING / LINE SPOTTING.
- VERIFY WHETHER THERE ARE UTILITIES LOCATED BELOW THE SLABS TO BE REMOVED PRIOR TO REMOVAL.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND EXACT LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING WORK.
- SEE CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION.
- PRIOR TO COMMENCING WORK, CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, AND REVIEW ALL EXISTING CONDITIONS RELATIVE TO THE NEW WORK. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS, NEW WORK, AND ANY RELATED WORK TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- SEE FLOOR PLANS (A-101 SHEET) FOR ADDITIONAL INFORMATION.
- AT EXTERIOR SITE UTILITIES WORK, SAWCUT TRENCHES, INSTALL WORK, COMPACT TO 95% MIN. AND REPLACE WITH ASPHALT/CONCRETE, MATCH EXISTING.
- COMPLY WITH ALL CITY OF ALBUQUERQUE REQUIREMENTS FOR TRAFFIC CONTROL, STREET CLOSURE, WORKING WITHIN THE CITY RIGHT-OF-WAY, ETC.
- AT ALL EXTERIOR CONCRETE SIDEWALK LOCATIONS PROVIDE 6X6 / 10X10 WELDED WIRE MESH REINFORCING CENTERED IN THE SLAB, OR AT CONTRACTORS OPTIONS PROVIDE POLYPROPYLENE REINFORCED FIBERMESH CONCRETE. MANUFACTURED BY SYNTHETIC INDUSTRIES OR EQUAL.
- AT ALL COMPACT PARKING SPACES: PAINT 'COMPACT' ON ASPHALT OF EACH SPACE.

## Keyed Notes

- 01100.04 DASHED LINE INDICATES PROPERTY LINE.  
01100.05 DASHED LINE INDICATES EDGE OF ROOF/WALL ABOVE.  
01100.06 EXISTING BUILDING A-1 STORAGE.  
01100.11 HANDICAPPED PARKING SPACE AND PEDESTRIAN ACCESS SIDEWALKS SHALL HAVE CROSS SLOPES NO GREATER THAN 2%.  
01100.12 SIDEWALK FLUSH WITH ASPHALT THIS LOCATION.  
03300.01 8" WIDE CONCRETE RETAINER WALL.  
03300.04 NEW CONCRETE STAND-UP CURB.  
03300.05 CONCRETE WHEEL STOP: ANCHOR IN PLACE WITH 2 - #5-18" LONG REBAR. REUSE EXISTING WHEELSTOPS.  
03300.06 NEW FIRE HYDRANT, SEE MECHANICAL.  
03300.08 NEW CONCRETE SIDEWALK WITH TURN DOWN EDGE.  
03300.09 CONCRETE CONTROL JOINT, MAX 5'-0" O.C.  
03300.10 CONCRETE EXPANSION JOINT MAX. 20'-0" O.C.  
03300.16 NEW CONCRETE HEADER CURB.  
03300.17 3'-0" WIDE OPENING IN CURB FOR SITE DRAINAGE.  
03400.01 PRECAST CONCRETE BOLLARDS. 18" DIAMETER X 36" HIGH.  
04800.01 REFUSE ENCLOSURE, STUCCO OVER C.M.U. WALL.  
04800.02 8" CMU WALL. TOP OF WALL TO MATCH EXISTING ADJACENT WALL.  
06100.02 6X6 PRESSURE TREATED LUMBER. DOWEL INTO GRADE @ 32" O.C. WITH #5 X 18" LONG.  
06100.03 6X6 PRESSURE TREATED LUMBER. DOWEL INTO ASPHALT @ 32" O.C. WITH #5 X 18" LONG.  
09900.01 PAINTED ONE WAY ARROWS ON PAVING.  
10400.01 SIGN, MOTORCYCLE PARKING. TOP OF SIGN @6'-0" AFF. MOUNT ON 'U' FRAME POST, SET IN CONCRETE OR ON BUILDING.  
10400.02 ONE WAY SIGNS. "DO NOT ENTER".  
10400.03 EXTERIOR MONUMENT SIGN. MOUNT 3'-0" H X 5'-0" LONG SIGN ON 2'-0" H CONCRETE BASE. PROVIDE POWER TO SIGN. SEE ELECTRICAL.  
10400.05 HC PARKING SIGN. MOUNT ON BUILDING. SEE DETAIL, SHEET AS-102.  
11700.01 REFUSE CONTAINER. PER C.O.A. REFUSE DEPARTMENT. SEE DETAIL.  
12900.01 BIKE RACK - 5 SPACES.  
22100.02 GAS METER, SEE MECHANICAL.  
22200.03 GREASE TRAP, SEE MECHANICAL.  
22200.04 EXISTING CLEAN-OUTS.  
23400.01 MECHANICAL UNIT RAISED UP ON STEEL SUPPORT STRUCTURE. SEE MECHANICAL.  
23400.02 MECHANICAL UNIT. SEE MECHANICAL.  
26200.03 EXISTING POWER / LIGHT POLE TO REMAIN.  
26200.04 TRANSFORMER, SEE ELECTRICAL.  
26200.05 EXISTING ELECTRICAL EQUIPMENT TO REMAIN. SEE ELECTRICAL.  
27100.01 EXISTING TELE-RISER.  
32100.02 FIRE DEPARTMENT APPARATUS TURNAROUND SPACE (60'-0" HAMMERHEAD). TO BE STRIPED "NO PARKING THIS AREA. FIRE DEPARTMENT ACCESS".  
32100.03 STRIPING TO INDICATE WALKING AREA.  
32100.05 EXISTING CONCRETE TO REMAIN.  
32100.07 NEW ASPHALT PAVING / OVERLAY, 2" ASPHALT OVER COMPACTED GRADE. SEE CIVIL DRAWING AS-104.  
32100.08 EXISTING ASPHALT TO REMAIN. PROVIDE NEW SEALER COAT, AND NEW PARKING STRIPING.  
32100.10 NEW DRIVEWAY / CURBCUTS. CONSTRUCT PER C.O.A. STANDARD NO. 2426.  
32300.01 NEW 7'-0" H CHAIN LINK FENCE WITH 4'-0" WIDE GATE, BETWEEN BUILDING AND EXISTING CHAIN LINK FENCE @ PROPERTY LINE.  
32800.01 IRRIGATION LINE. SHARE TRENCH WITH WATER / SEWER LINES.  
32800.02 IRRIGATION CONTROL VALVE BOX.  
32900.01 LANDSCAPING AREA.



Zone Location Map F-17-Z

## Legend

- LANDSCAPE - SEE LANDSCAPE PLAN FOR DETAILS.
- CONCRETE.
- FIRE DEPARTMENT ACCESS STRIPING AREA.
- COMPACT
- COMPACT CAR / SMALL CAR PARKING SPACE 8'-0" x 15'-0".
- M MOTORCYCLE PARKING SPACE. 4'-0" x 8'-0".

## SITE DATA

LOCATION: 4931 McLeod Road N.E., ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: TRACT A-2-2 SANBUSCO ADDN

LOT SIZE: 1.1632 ACRE = 50,669 S.F.

ZONING: C-3

### PARKING REQUIREMENTS:

(BASED ON RESTAURANTS / BAR WITH FULL SERVICE LIQUOR)

|                                               |                              |
|-----------------------------------------------|------------------------------|
| NUMBER OF SEATS PROVIDED:                     | 234 SEATS                    |
| DELETE FOR No. OF MOTORCYCLE SPACES PROVIDED: | 6                            |
| SUBTOTAL:                                     | 228 SEATS                    |
| 228                                           | 76 SPACES                    |
| 3                                             |                              |
| TRANSIT REDUCTION CREDIT (10%) =              | 7.6 SPACES                   |
| 76 - 7.6 = 68.4                               | = 69 VEHICLE SPACES REQUIRED |
| 69                                            |                              |
| 26 = 3.45                                     | = 4 BICYCLE SPACES REQUIRED  |

|                   |                                    |
|-------------------|------------------------------------|
| PARKING PROVIDED: | 69 MOTOR VEHICLE PARKING SPACES    |
| FULL SIZE CAR:    | 50 SPACES                          |
| SMALL CAR:        | 15 SPACES (LESS THAN 25% OF TOTAL) |
| DISABLED PARKING: | 4 SPACES                           |
| MOTORCYCLE:       | 6 SPACES                           |
| BICYCLES:         | 5 SPACES                           |

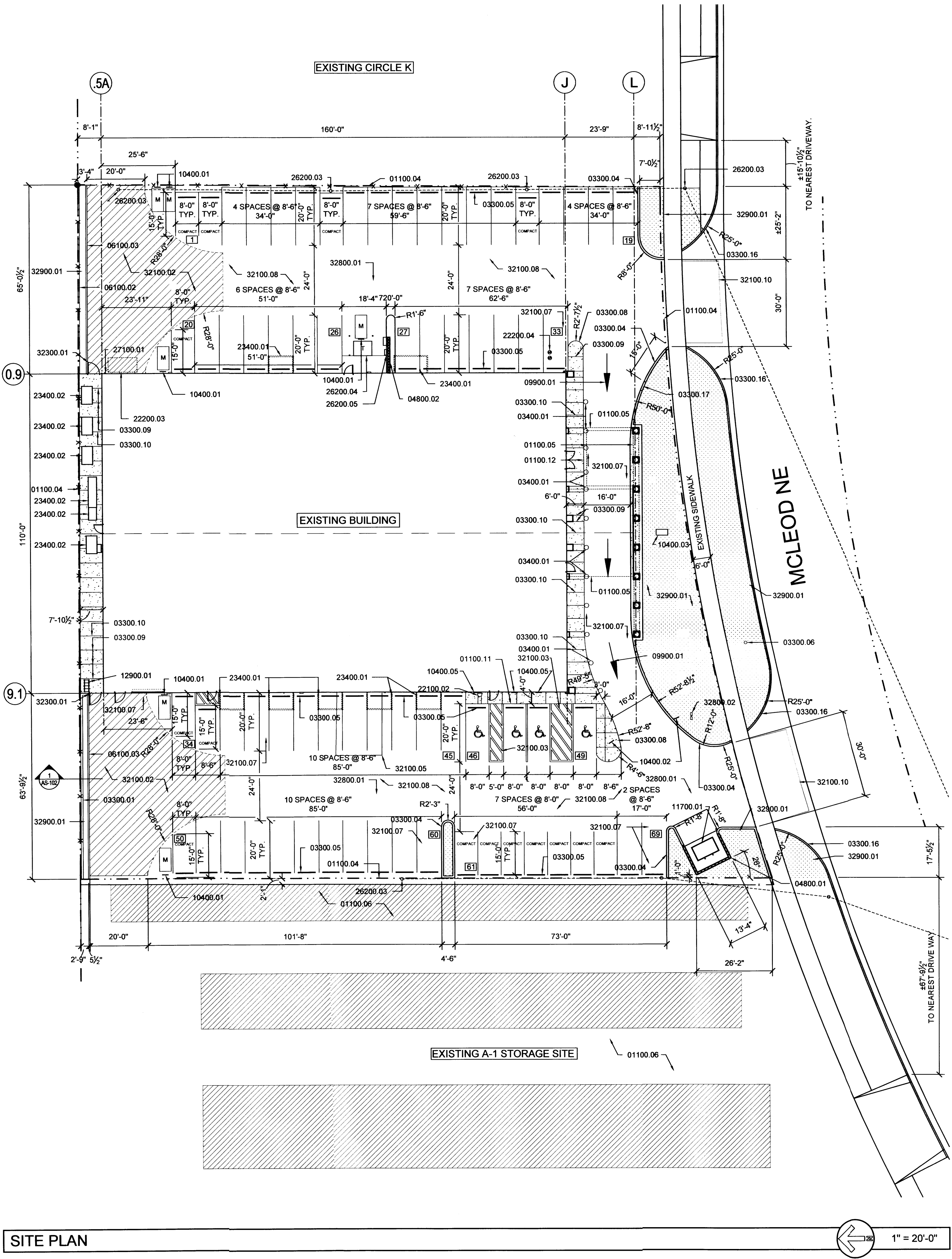
NOTE: THE NUMBER OF SEATS IN THE CLUB IS BASED ON THE AVAILABLE NUMBER OF PARKING SPACES. THUS, 234 SEATS ARE PROVIDED.

### TRAFFIC CIRCULATION LAYOUT APPROVED

Signed *[Signature]* Date 9/11/07

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



SITE PLAN

1" = 20'-0"

LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.842.8865 FAX 842.1693  
office@lgam.com



## ATLANTIS

4931 McLeod Rd NE  
Albuquerque, New Mexico

PROJECT ARCHITECT:  
LEE GAMESKY, AIA

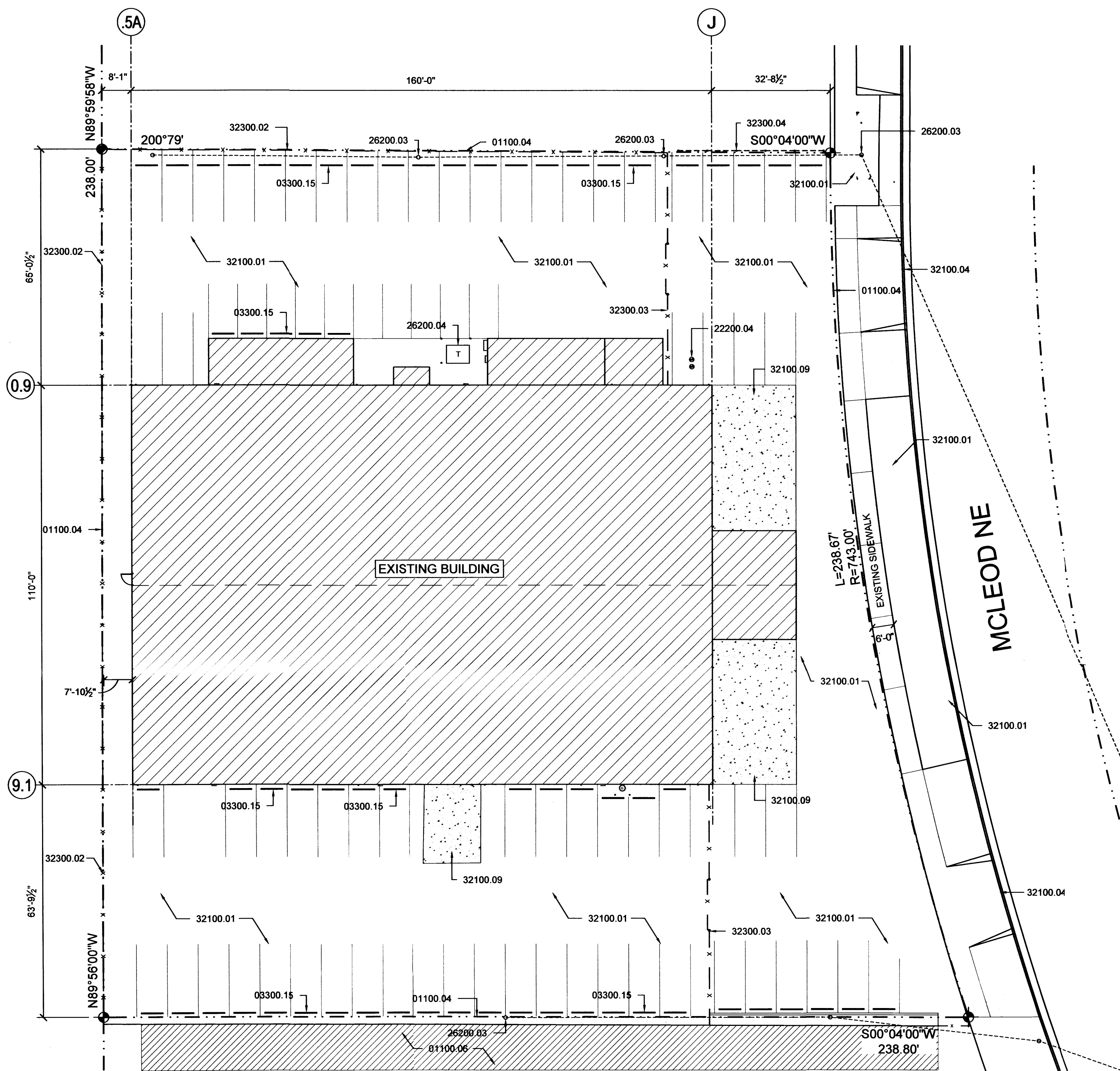
Project #: 07-01-P  
Date: 08.20.2007

## SITE PLAN - TRANSPORTATION CIRCULATION LAYOUT

By: AS-101\_RF.dwg Sheet: 1 Of 2

AS-101-T





EXISTING SITE PLAN

1" = 20'-0"

## Keyed Notes

- 01100.04 DASHED LINE INDICATES PROPERTY LINE.
- 01100.06 EXISTING BUILDING A-1 STORAGE.
- 03300.15 EXISTING CONCRETE WHEEL STOP.
- 22200.04 EXISTING CLEAN-OUTS.
- 26200.03 EXISTING POWER / LIGHT POLE TO REMAIN.
- 26200.04 TRANSFORMER, SEE ELECTRICAL.
- 32100.01 EXISTING ASPHALT PAVING.
- 32100.04 EXISTING DRIVEWAY / CURBCUTS
- 32100.09 EXISTING CONCRETE PAD.
- 32300.02 EXISTING CHAIN LINK FENCE TO REMAIN.
- 32300.03 EXISTING CHAIN LINK FENCE AND GATE TO BE REMOVED.
- 32300.04 EXISTING 30"H X 3" DIAMETER STEEL BOLLARDS @ 8'-0" O.C. WITH STEEL CABLE BETWEEN BOLLARDS TO REMAIN.

## Legend

- EXISTING BUILDING TO REMAIN.
- EXISTING CONCRETE.

LEE GAMELSKY ARCHITECTS P.C.

2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.842.8865 FAX 842.1693  
office@gamni.com

STATE OF NEW MEXICO  
LEE D. GAMELSKY  
No. 1931  
4.11.07  
REGISTERED ARCHITECT

ATLANTIS  
4931 McLeod Rd NE  
Albuquerque, New Mexico

PROJECT ARCHITECT:  
LEE GAMELSKY, AIA

Project #:  
07-01-P

Date:  
08.20.2007

## EXISTING CONDITIONS SITE PLAN

By:  
File:

AS\_101\_RF.dwg

Sheet: 2 Of 2  
AS-101-D