

# CITY OF ALBUQUERQUE



April 27, 2015

Krisinda Rapiejka, PE  
Entitlement and Engineering Solutions, Inc.  
518 17<sup>th</sup> Street Ste. 1575  
Denver, Colorado 80202

**RE: DaVita Dialysis Center, 5207 San Mateo Blvd.  
Grading and Drainage Plan  
Plan Dated 4-20-15 (File: F17-D095A)**

Dear Ms. Rapiejka:

Based upon the information provided in your submittal received 4-23-15, the above referenced plan is approved for DRB action on the Site Development Plan for Building Permit.

PO Box 1293

Albuquerque

New Mexico 87103

Prior to receiving approval on this project for Building Permit, please include all of the drainage calculations that you provided on 4/27/15 within the final drainage report. On the Sheet C5.0, include your computed WSEL for the 100-year-storm, the total volume provided for the storage pond, and the corresponding pond volume at the WSEL. Also, on Sheet C5.0, show all basins that contribute to the north pond which shall include all off-site stormwater runoff from the Golden Corral parking lot.

If you have any questions, you can contact me at 924-3924.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1st SUBMITTAL
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)
- \_\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)
- \_\_\_\_\_ ENGINEER'S CERT (ESC)
- \_\_\_\_\_ SO-19
- \_\_\_\_\_ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ GRADING CERTIFICATION
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ ESC PERMIT APPROVAL
- \_\_\_\_\_ ESC CERT. ACCEPTANCE
- \_\_\_\_\_ OTHER (SPECIFY)

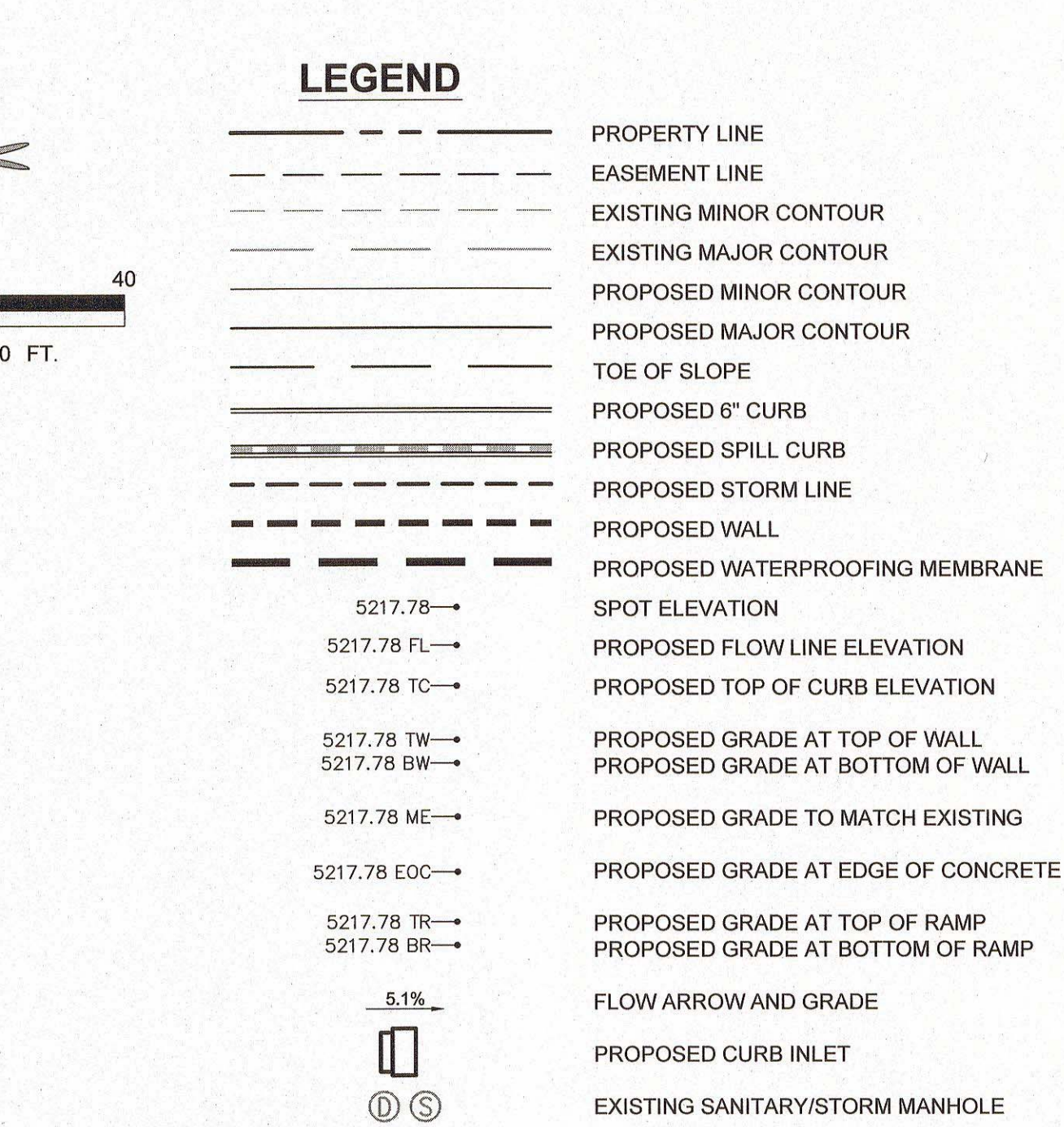
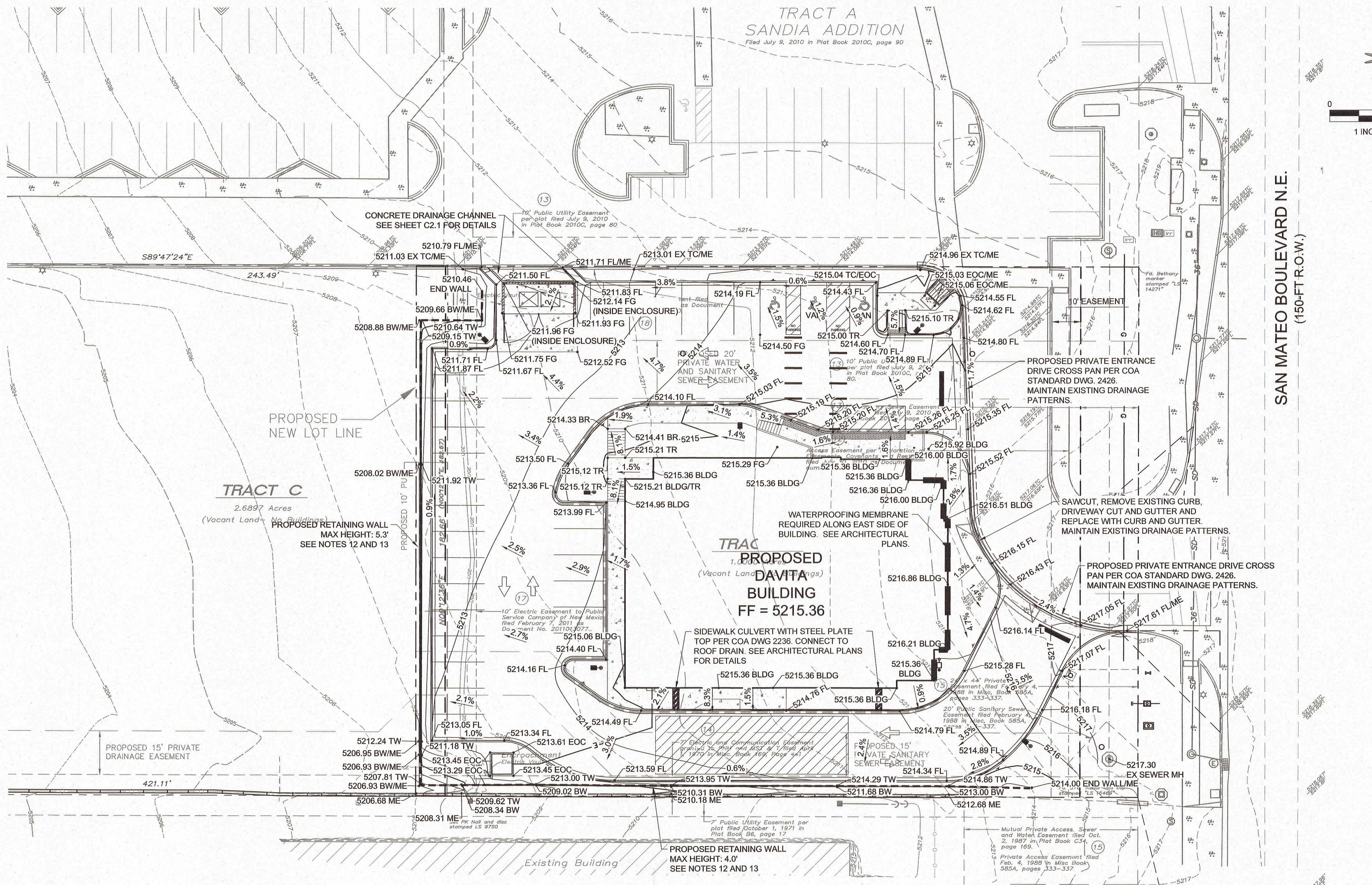
WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





- GENERAL NOTES**
- REQUIREMENTS SHOWN ON THE SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
  - NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
  - FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY CONTRACTOR. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT ENGINEER APPROVAL.
  - ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL APPROVED BY GEOTECHNICAL ENGINEER. SEE "NOTES FOR SOIL PREPARATION", THIS SHEET.
  - ALL LANDSCAPING AREAS SHALL BE GRADED 0.10' WITH COMPANY APPROVED SOIL.
  - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
  - SEE THE SITE SURVEY FOR SURVEY INFORMATION AND LEGAL DESCRIPTION.
  - GRADES SHOWN ARE FLOWLINE UNLESS OTHERWISE NOTED.
  - GUTTER GRADES SHALL BE A MINIMUM 0.6%.
  - ADA SIDEWALK AND PARKING STALLS SHALL COMPLY WITH CITY OF ALBUQUERQUE STANDARDS AND SPECIFICATIONS.
  - THE PROPOSED STORM DRAINAGE IS DESIGNED FOR THE 100-YEAR STORM EVENT. IN THE EVENT THE CURB OPENINGS BECOME COMPLETELY CLOGGED, RUNOFF WILL POND WITHIN THE PARKING AREA AT THE LOWEST POINT LOCATED IN THE NORTHWEST CORNER OF THE SITE FOR A DEPTH OF 6", WHERE IT WILL OVERTOP THE CURB, AND SHEET FLOW DOWN THE LANDSCAPE AREA IN A NORTHERLY DIRECTION AND OVER THE EXISTING CURB AND GUTTER ALONG THE SOUTH EDGE OF THE ADJACENT SHARED ACCESS ROAD. STORM FLOW WILL CONTINUE IN THE EXISTING CURB AND GUTTER AND BE CARRIED TO THE NORTH POND. THIS POND HAS BEEN REGRADED TO ACCOMMODATE ONSITE FLOWS REQUIRED FOR DETENTION AND FIRST FLUSH VOLUMES. REFER TO DRAINAGE REPORT UNDER SEPARATE COVER.
  - REFER TO C1.0 (OVERALL SITE PLAN) FOR SPECIFIC WALL MATERIAL AND TYPE.
  - REFER TO C1.1 FOR WALL HORIZONTAL CONTROL AND SPECIFIC RETAINING WALL DETAIL REQUIREMENTS.
  - REFER TO C2.2 FOR NORTH POND GRADING PLAN

**SOIL PREPARATION NOTE**

SOIL PREPARATION FOR NON-LANDSCAPE AREAS SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: TERRACON CONSULTANTS, INC.  
PROJECT NO.: 68145088, DATED JANUARY 9TH 2015

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES. REFER TO THE LANDSCAPE PLANS FOR SPECIFIC PLANTING AREA SOIL AMENDMENT PROCEDURES.

**PROJECT BENCHMARK & VERTICAL DATUM**

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

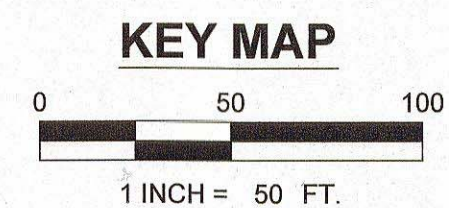
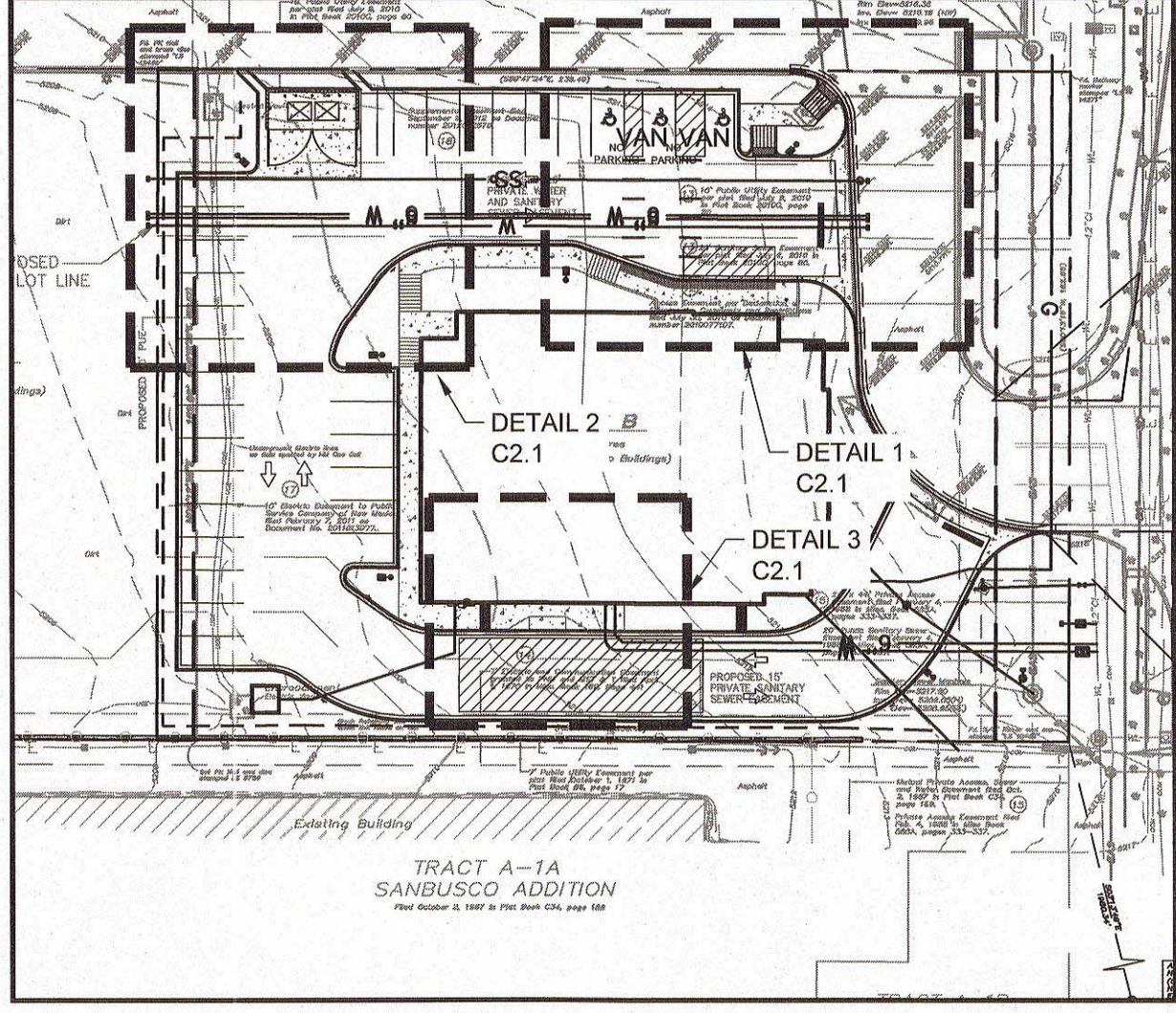
VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

**PROJECT BASIS OF BEARING**

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

**LEGAL DESCRIPTION**

TRACT LETTERED "B" OF THE PLAT OF TRACTS A, B, & C, SANDIA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FEBRUARY 2010, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD ON JULY 9, 2010 AND RECORDED AS DOCUMENT #2010068217 IN THE RECORDS OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO



NO.	REVISION	BY	DATE
1	BIDS & BUILDING PERMIT PLAN CHECK		03/10/2015
2	HYDROLOGY & DRG COMMENTS		04/20/2015

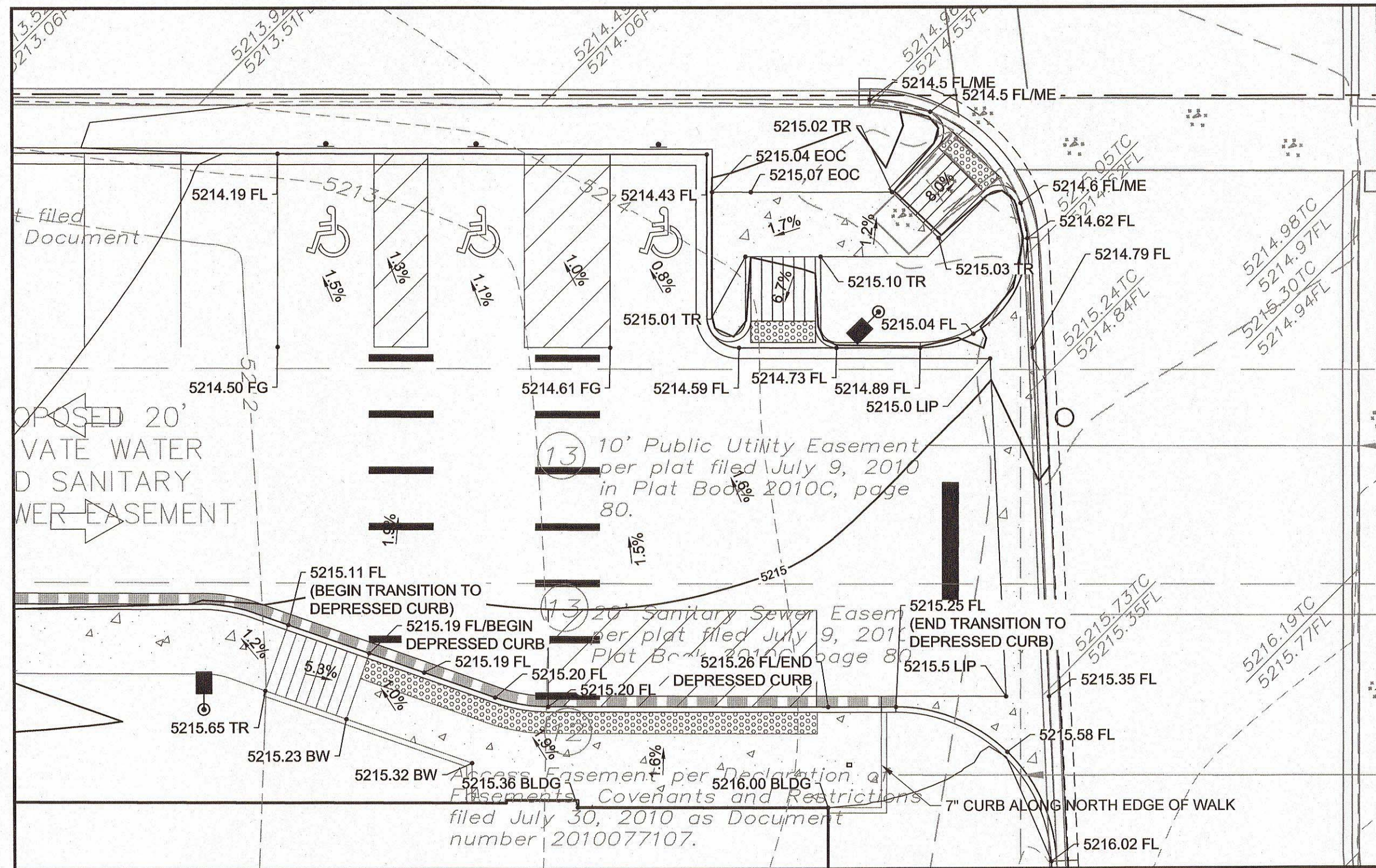
**DEL NORTE DIALYSIS CENTER**

**GRADING PLAN**

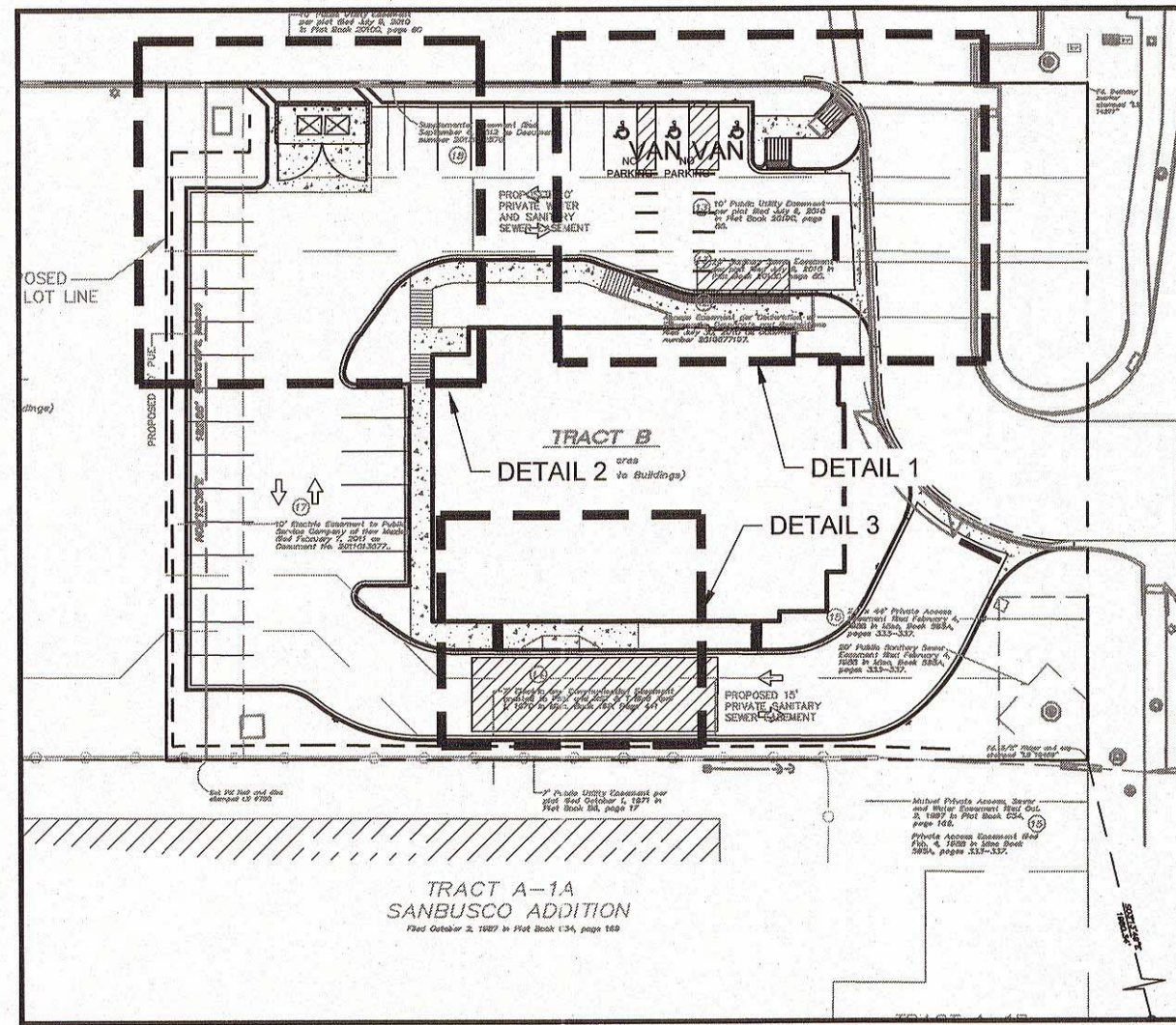
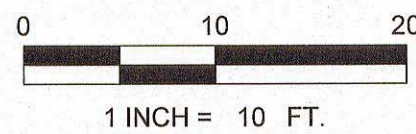
PROJECT NO.: DAV003.01  
DESIGNED BY: JRR  
DRAWN BY: KLR  
DATE: 03/10/2015

**C2.0**  
SHEET 4 OF 12

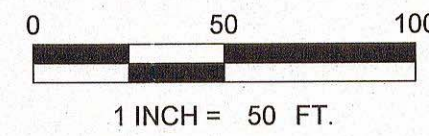




DETAIL 1

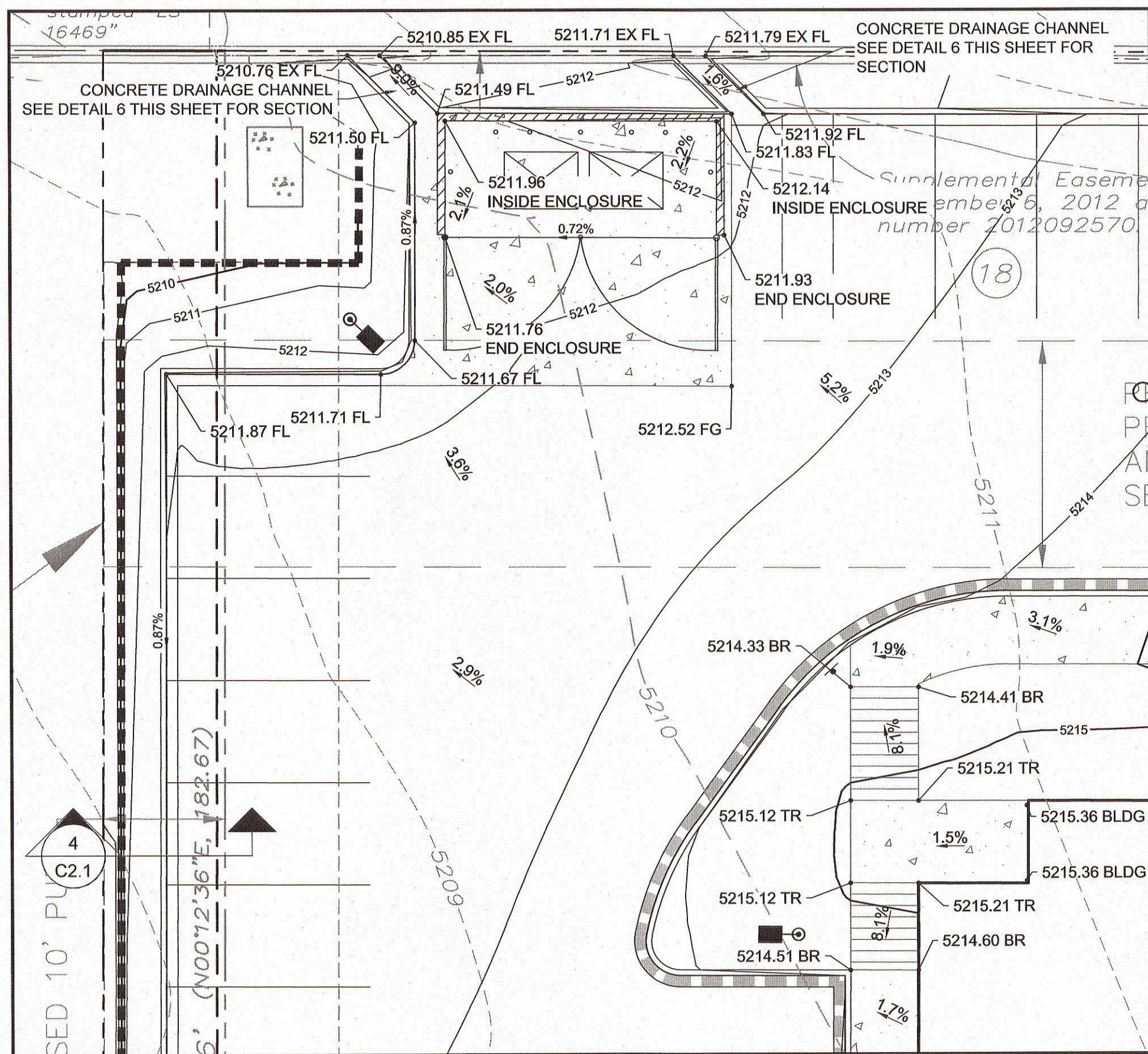


KEY MAP

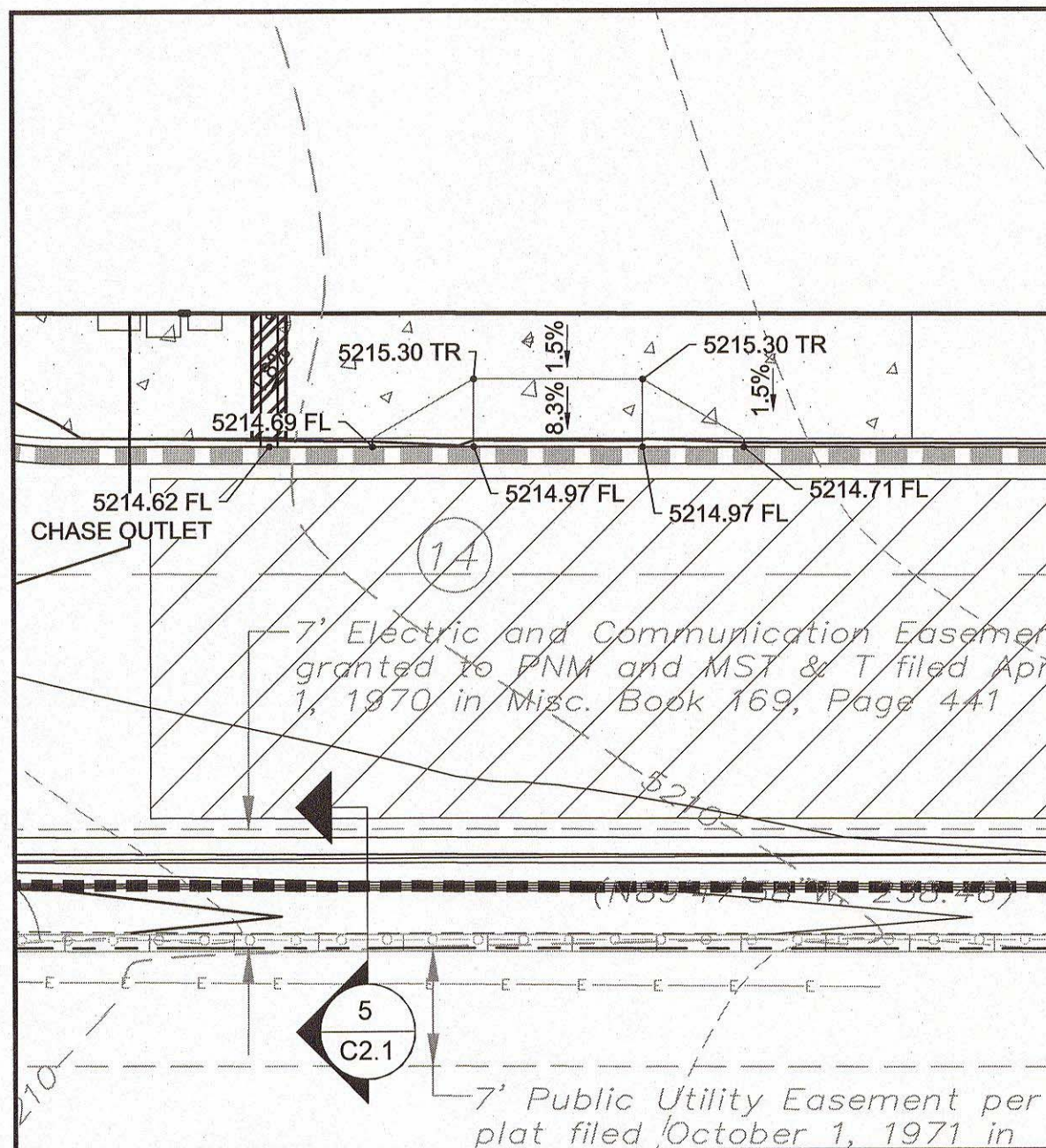
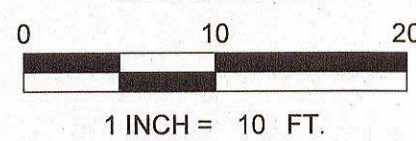


LEGEND

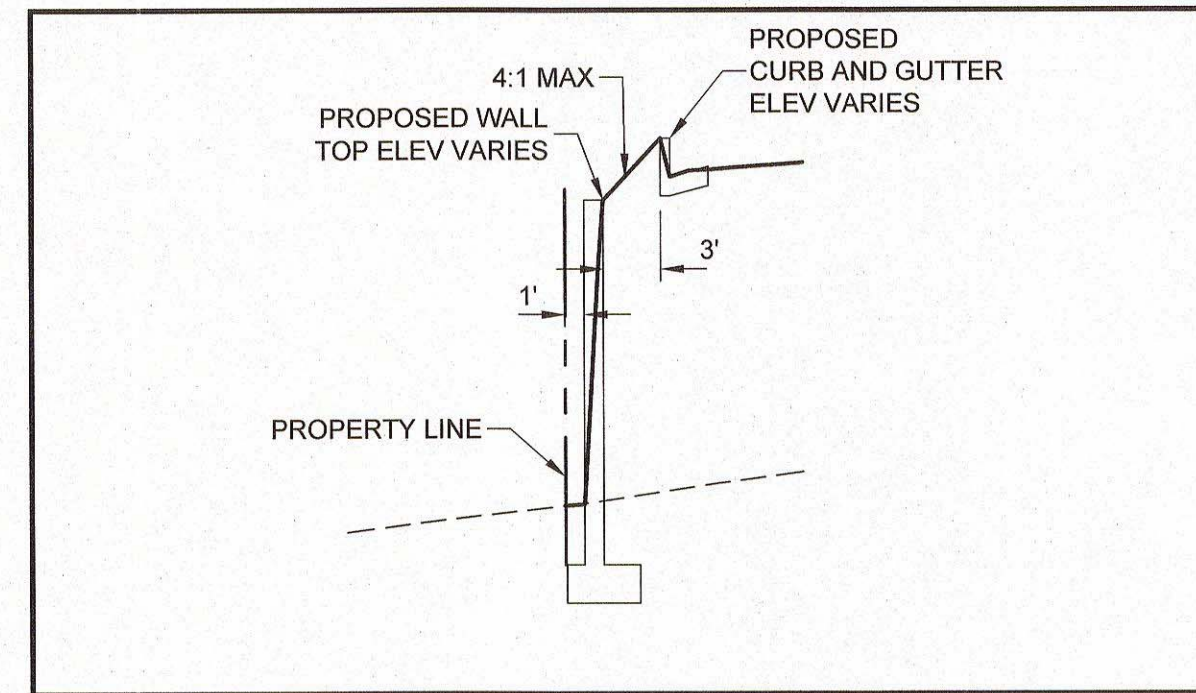
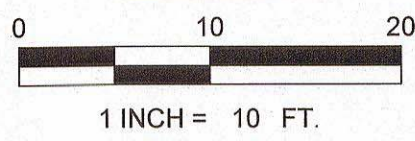
- PROPERTY LINE
- EASEMENT LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- TOE OF SLOPE
- PROPOSED DRY CURB AND GUTTER
- PROPOSED STORM LINE
- SPOT ELEVATION
- PROPOSED FLOW LINE ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED GRADE AT EDGE OF CONCRETE
- FLOW ARROW AND GRADE



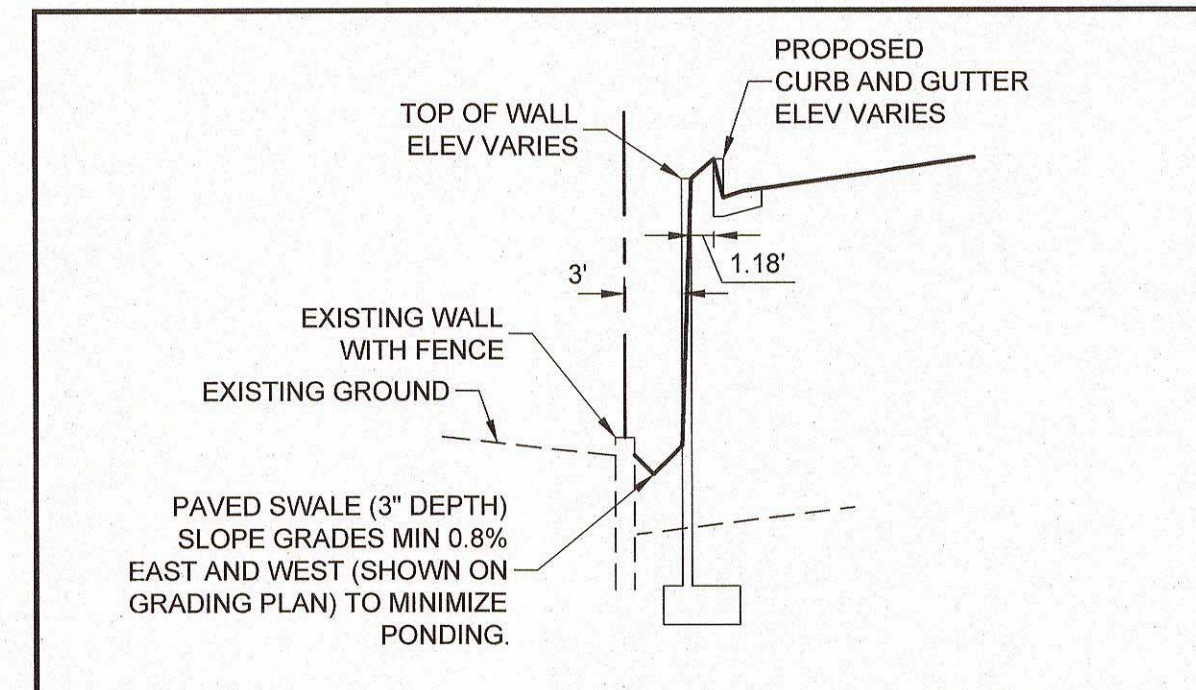
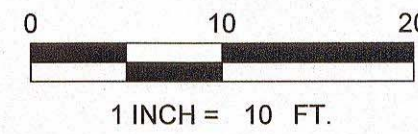
DETAIL 2



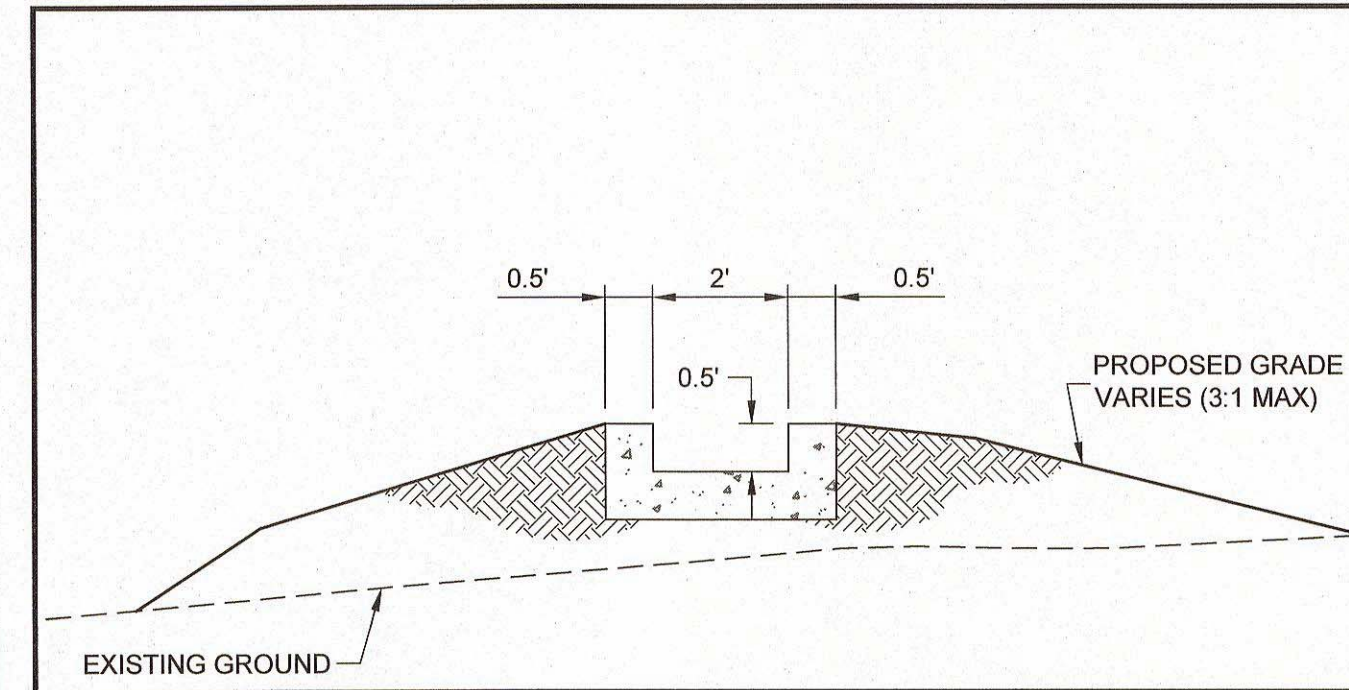
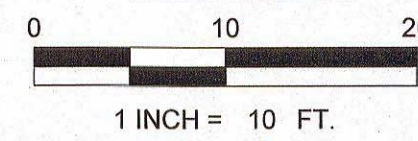
DETAIL 3



DETAIL 4



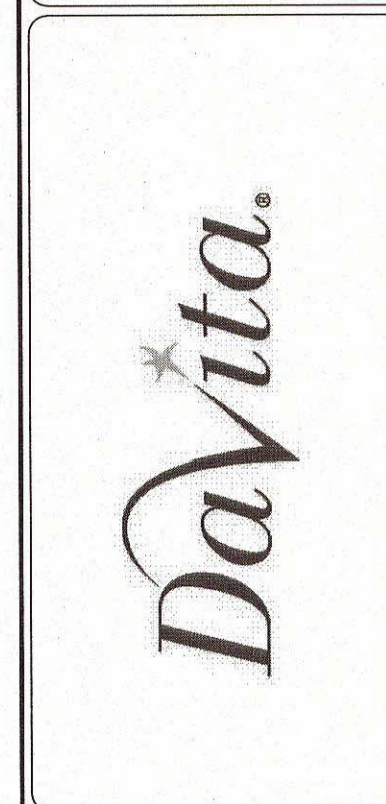
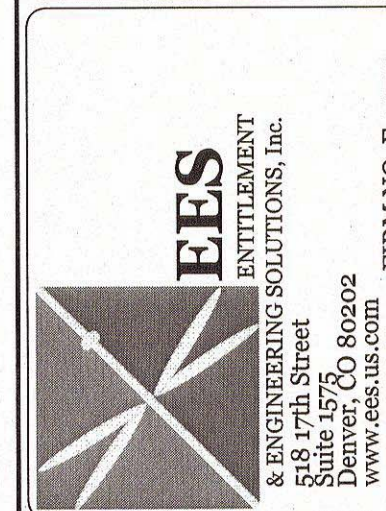
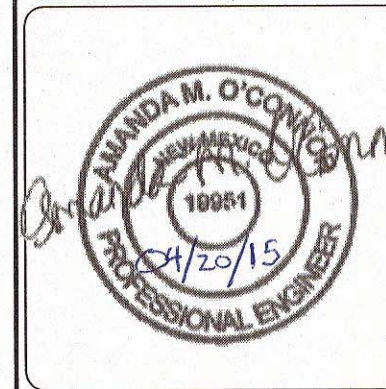
DETAIL 5



DETAIL 6

NTS

NO.	REVISION	BY	DATE
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2	HYDROLOGY & DRB COMMENTS	AMO	04/20/15

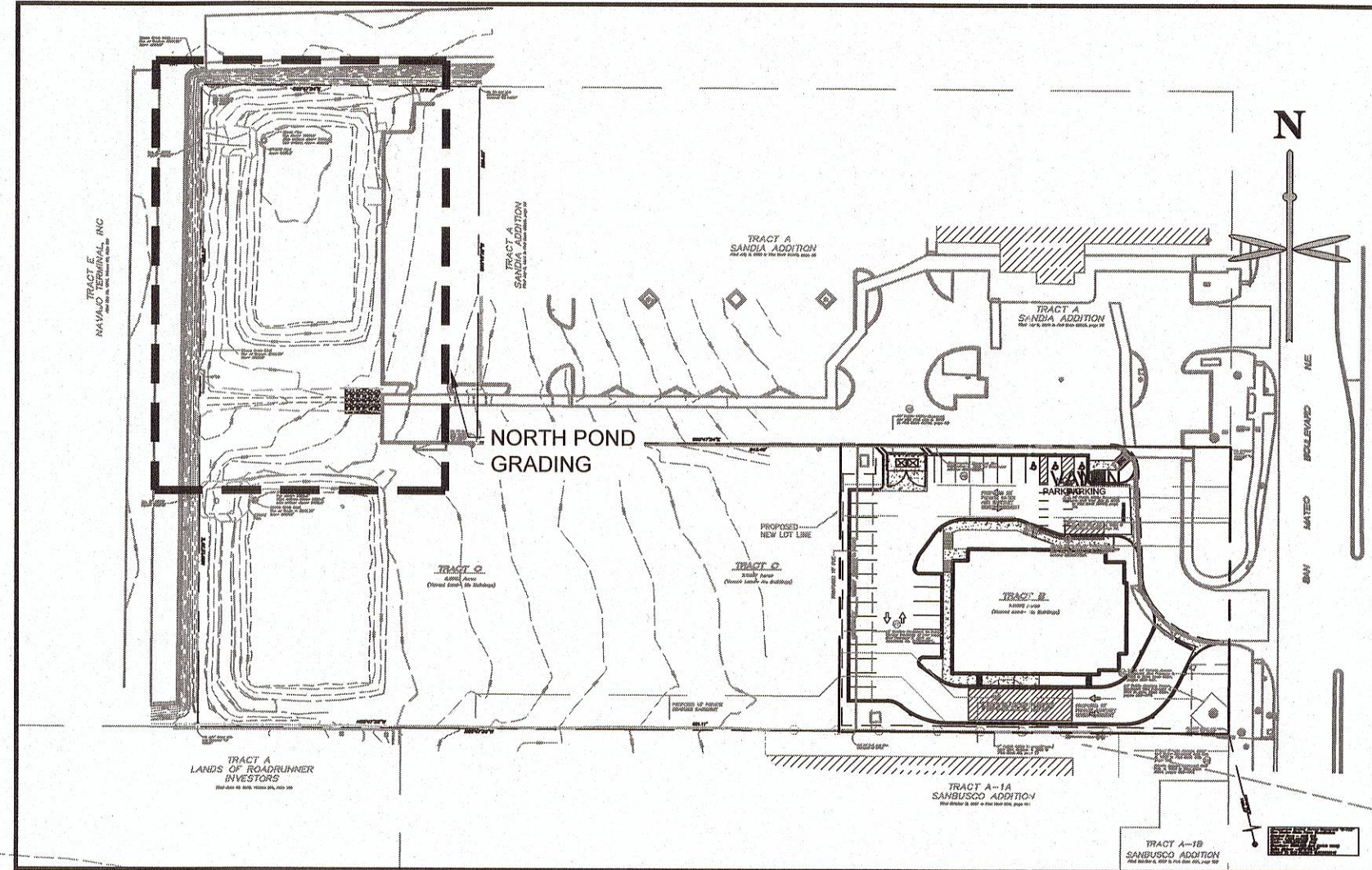


CIVIL CONSTRUCTION DOCUMENTS	PROJECT NO: DAV003.01
DEL NORTE DIALYSIS CENTER	DESIGNED BY: JRR
GRADING ENLARGEMENT PLAN	DRAWN BY: KLR
	DATE: 04/20/15
	<b>C2.1</b>
	SHEET 5 OF 12



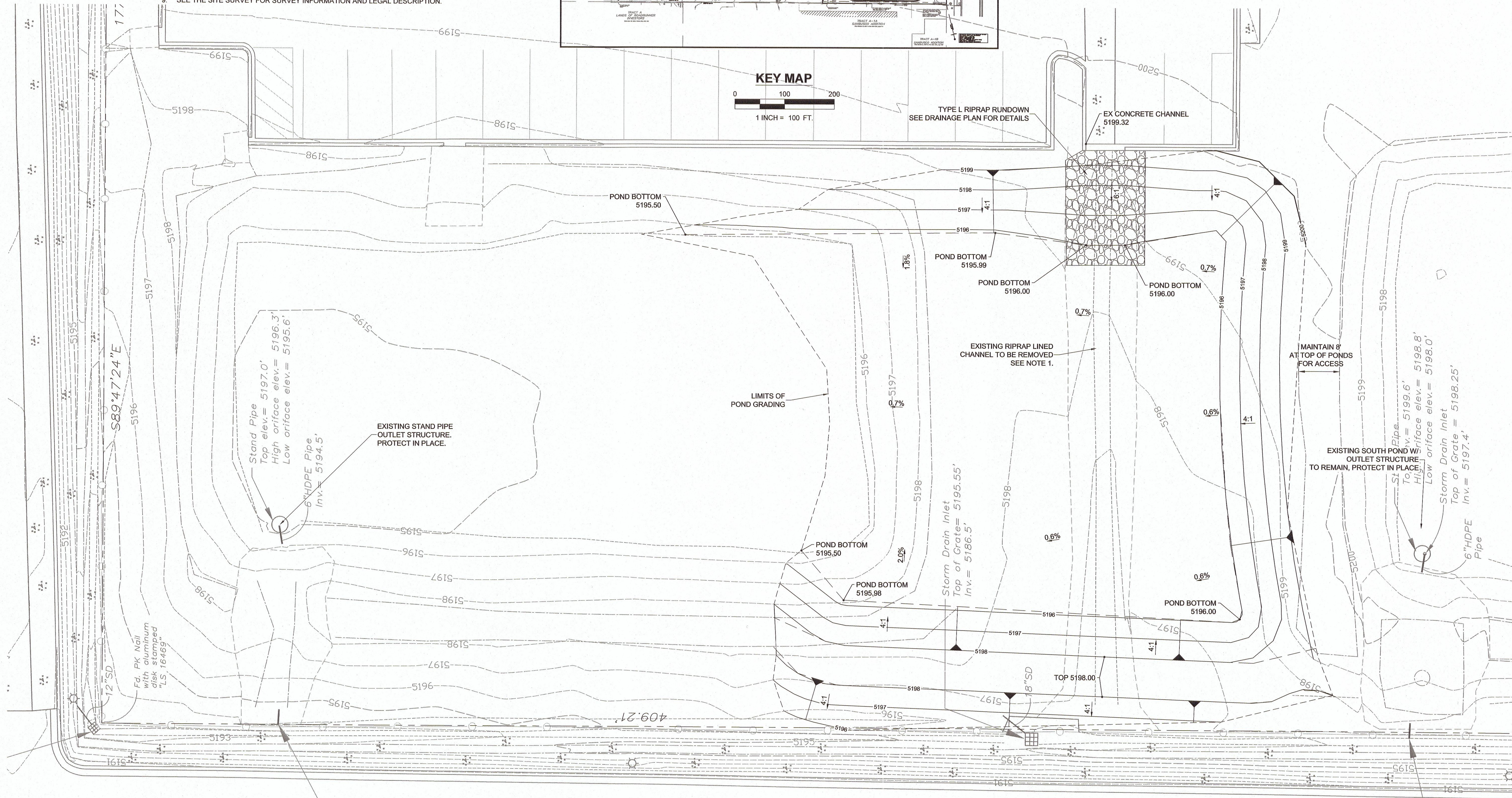
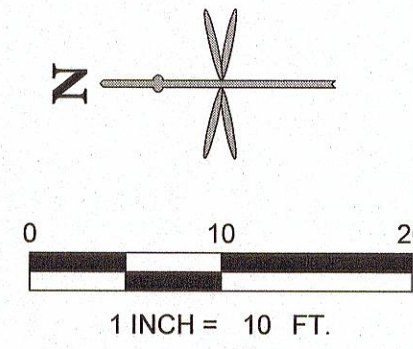
## GENERAL NOTES

- EXISTING RIPRAP CHANNEL TO BE REMOVED TO ACCOMMODATE POND EXPANSION. IF SALVAGEABLE, EXISTING RIPRAP FROM CHANNEL TO BE REUSED WHERE RIPRAP IS REQUIRED PER THE PLAN.
- REFER TO DRAINAGE PLAN FOR SPECIFIC POND DESIGN.
- POND OUTLET STRUCTURE TO REMAIN IN PLACE AND PROTECTED FROM DAMAGE OR SEDIMENTATION DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS FOR EROSION CONTROL DETAILS.
- REQUIREMENTS SHOWN ON THE SITE PLAN SHALL GOVERN DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
- NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY CONTRACTOR. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT ENGINEER APPROVAL.
- ALL LANDSCAPING AREAS SHALL BE GRADED 0.10' WITH COMPANY APPROVED SOIL.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- SEE THE SITE SURVEY FOR SURVEY INFORMATION AND LEGAL DESCRIPTION.



## LEGEND

- PROPERTY LINE
- EASEMENT LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- TOE/TOP OF SLOPE
- GRADING LIMITS
- PROPOSED DRY CURB AND GUTTER
- PROPOSED STORM LINE
- SPOT ELEVATION
- PROPOSED FLOW LINE ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED GRADE AT EDGE OF CONCRETE
- FLOW ARROW AND GRADE



CIVIL CONSTRUCTION DOCUMENTS

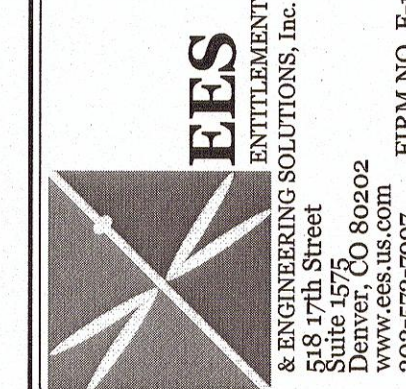
DEL NORTE DIALYSIS CENTER

5207 San Mateo Boulevard N.E.

POND GRADING PLAN

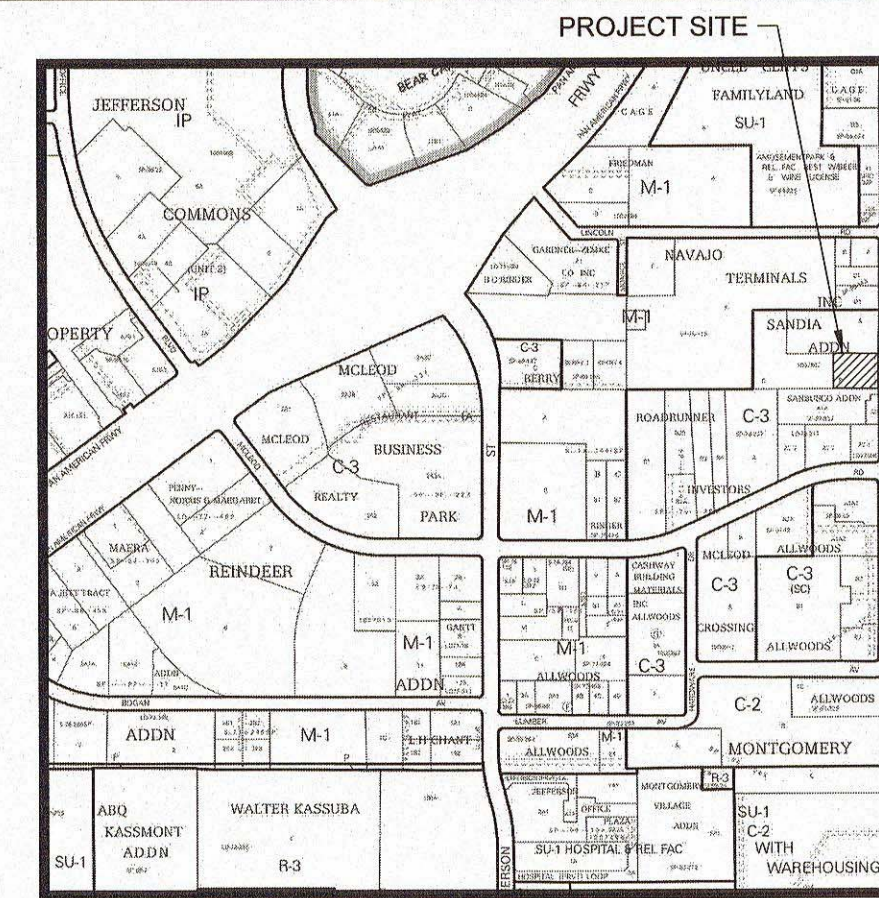
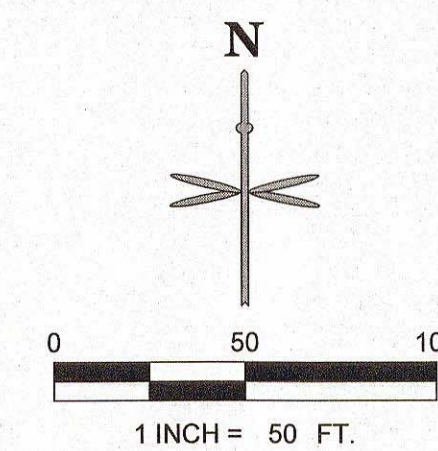
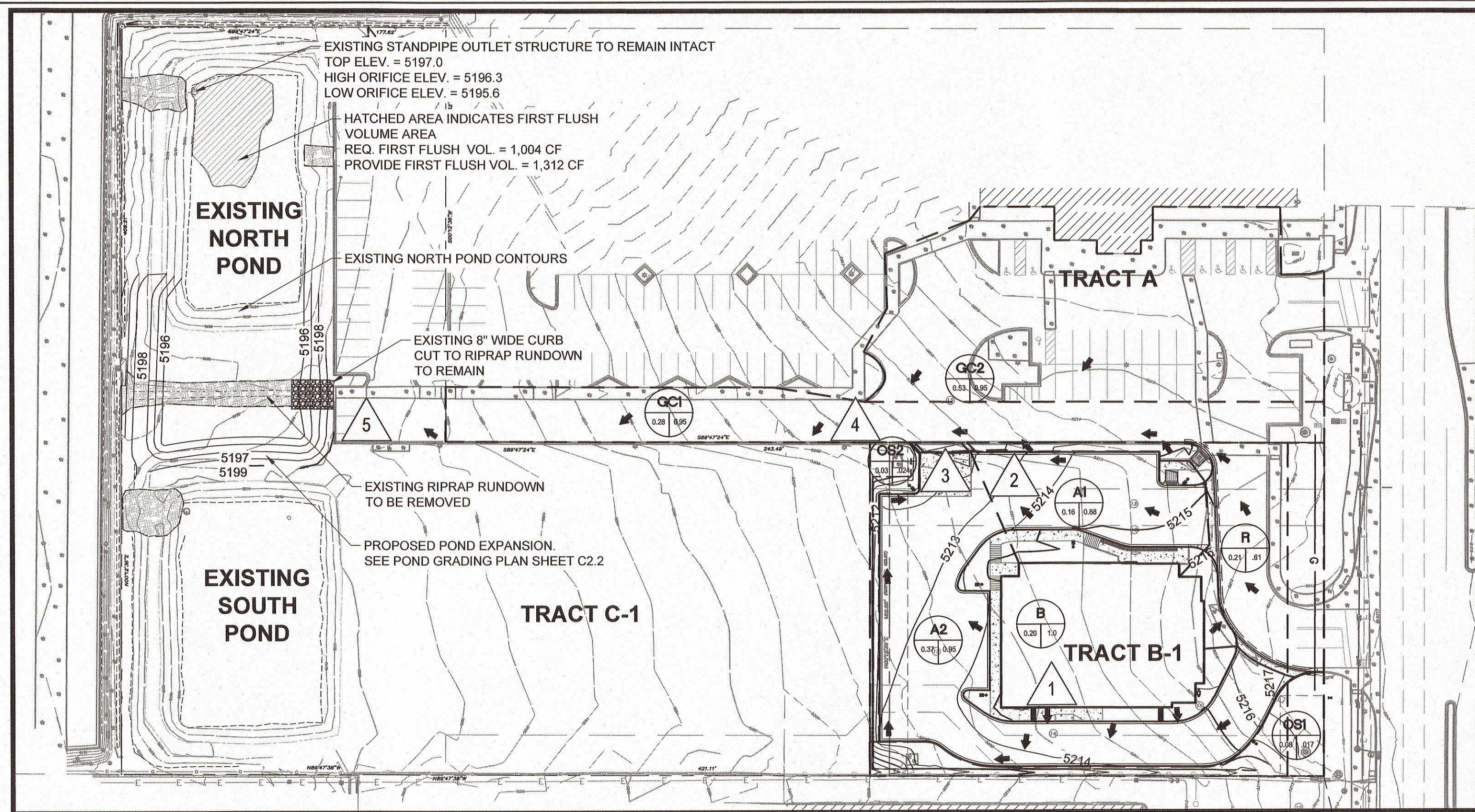
PROJECT NO: DAV003.01  
DESIGNED BY: JRR  
DRAWN BY: KR  
DATE: 03/10/15

**C2.2**  
SHEET 6 OF 12

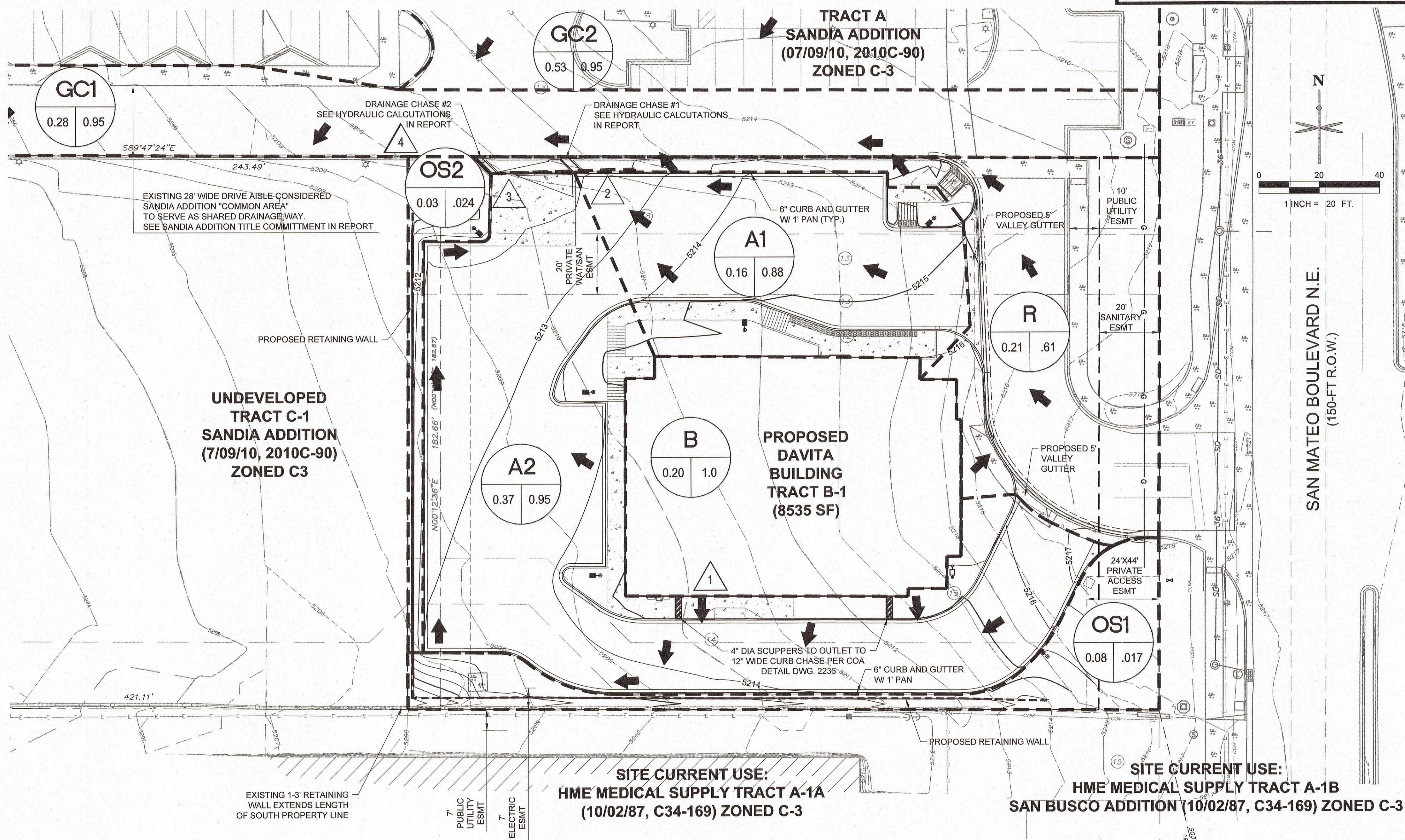
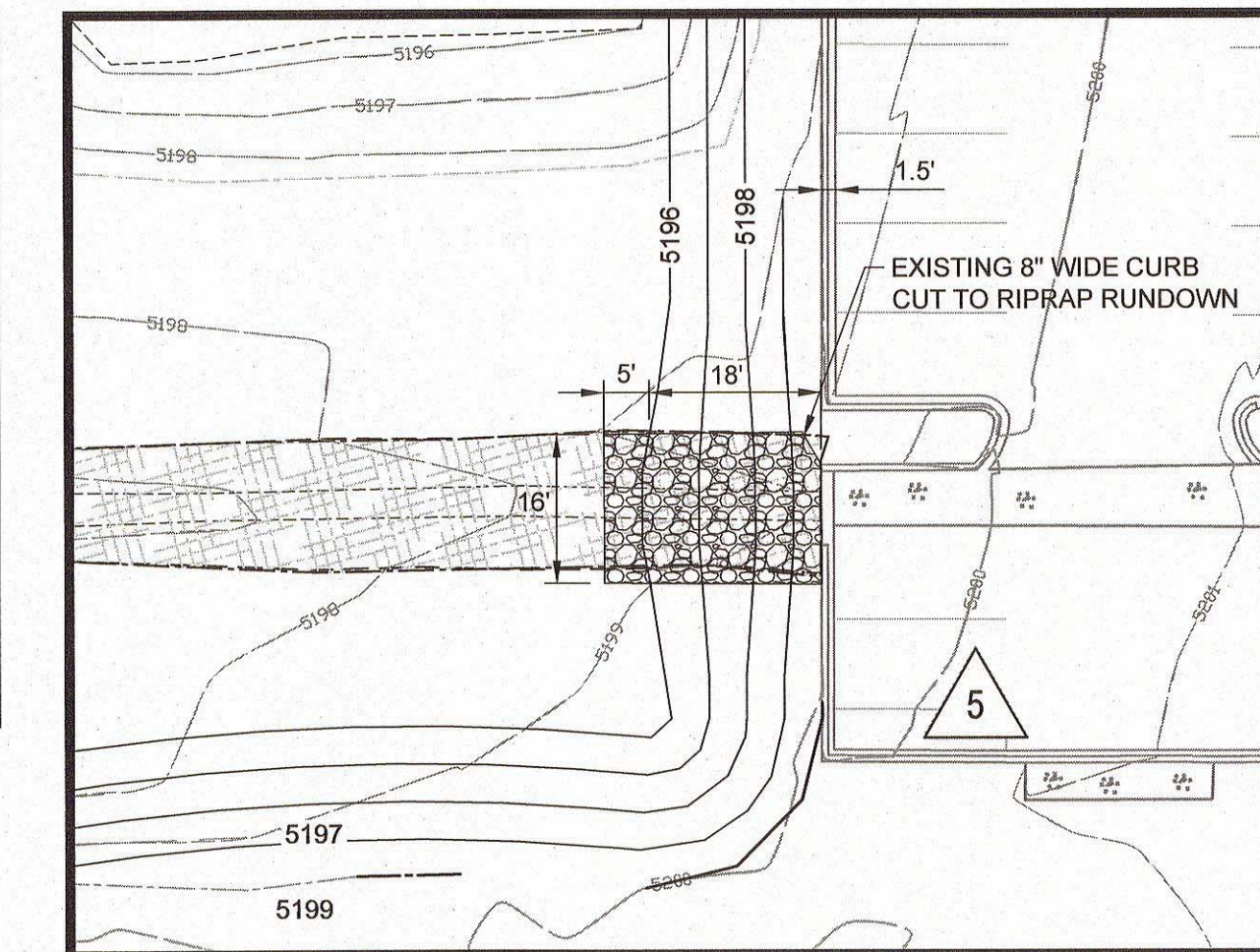
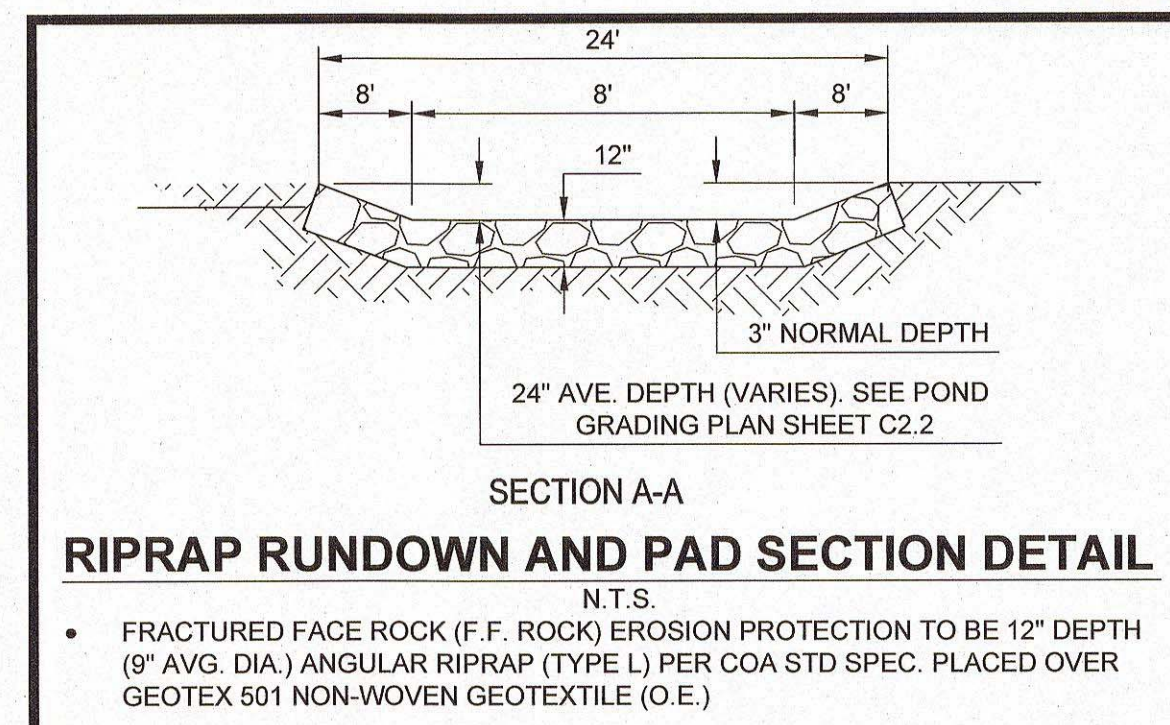
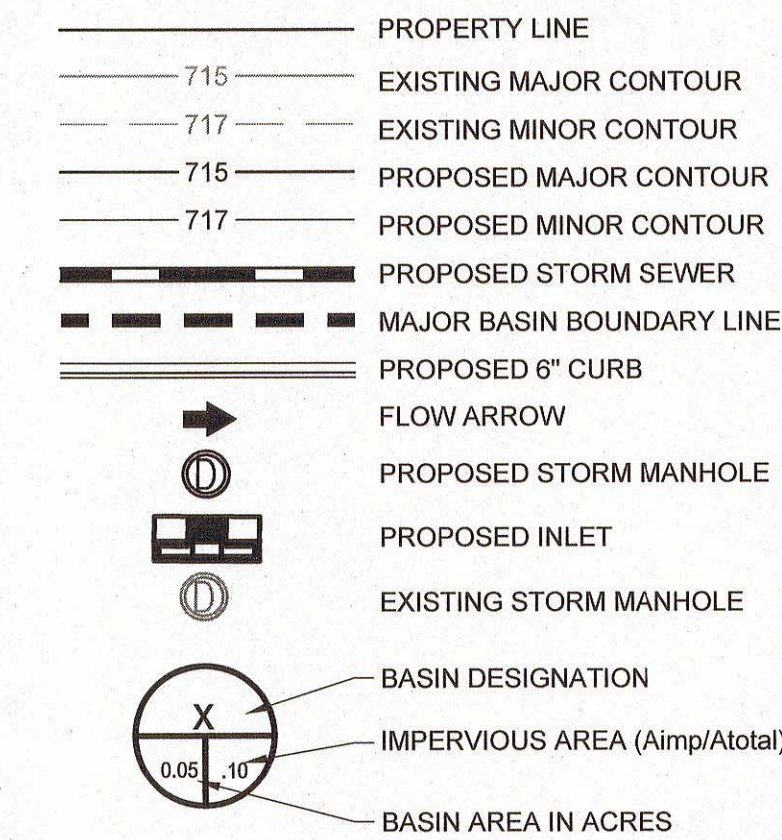


**Davita**





# DRAINAGE LEGEND



## DRAINAGE NOTES:

1. IN THE UNLIKELY CASE THAT THE EXISTING CURB CUT DRAINING ALL TRIBUTARY FLOWS FROM THE GOLDEN CORRAL BASINS GC1 AND GC2 AND THE DEL NORTE DIALYSIS SITE TO THE EXPANDED NORTH POND BECOMES BLOCKED (FLOW LINE ELEVATION OF 5199.3), THIS AREA WILL POND TO A MAXIMUM DEPTH OF 6 INCHES (TOP OF CURB ELEVATION OF 5199.8), THE ACCUMULATED FLOW WILL OVERTOP THE CURB AND FLOW DOWN THE PROPOSED RIPRAP PAD DIRECTING FLOWS TO THE POND.

## PROJECT BENCHMARK & VERTICAL DATUM

ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" OR "HUGG L.S. 11808" UNLESS OTHERWISE INDICATED HEREON.

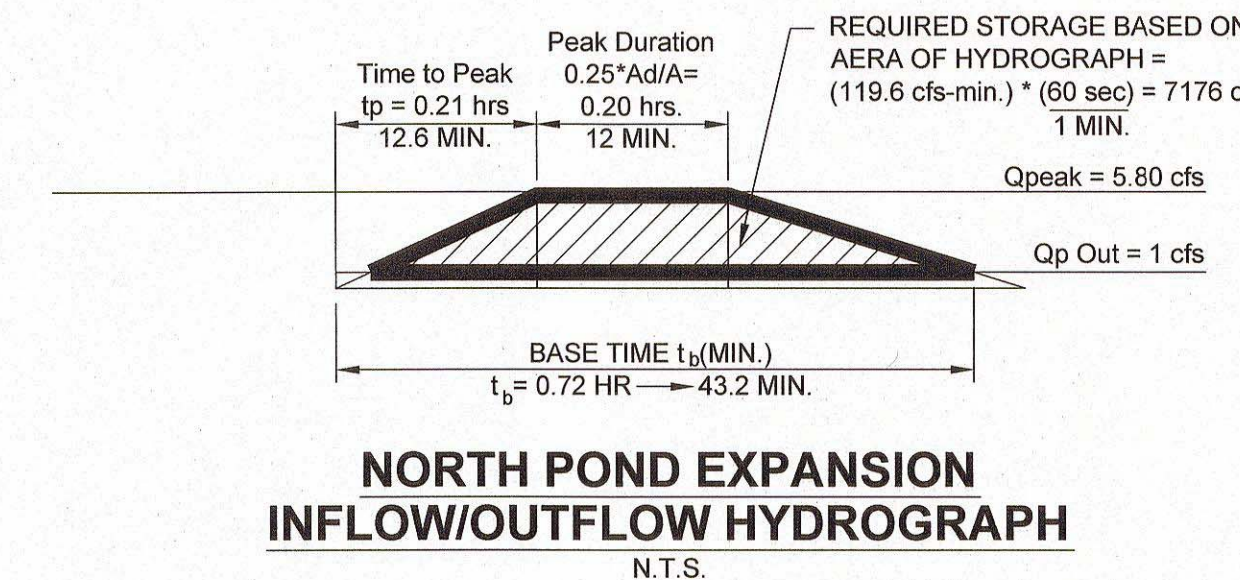
VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-F18", ELEVATION = 5212.23 (NAVD 1988)

## PROJECT BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE -NAD83.

TABLE 1: BASIN SUMMARY RUNOFF TABLE SITE ANALYSIS

BASIN	CONTRIBUTING BASIN ACREAGE	10-YR Qpeak (CFS)	100-YR Qpeak (CFS)	DESIGN POINT	DESIGN POINT COMM. FLOW 100-YR (cfs)
A1	0.16	0.46	0.70	2	0.70
A2	0.37	1.12	1.69	3	2.61
B	0.20	0.62	0.92	1	0.92
OS1	0.08	0.14	0.26	TO TRACT C-1	0.26
OS2	0.03	0.06	0.10	TO TRACT C-1	0.10
R	0.21	0.52	0.82	4	6.59
GC1	0.28	0.86	1.29	5	7.88
GC2	0.53	1.63	2.45	4	6.59



CIVIL CONSTRUCTION DOCUMENTS	DATE	03/16/2015
	BY	04/20/2015
DEL NORTE DIALYSIS CENTER	REVISION	
	1	BIDS & BUILDING PERMIT PLAN CHECK
DRAINAGE AREA PLAN	2	HYDROLOGY AND DRB COMMENTS

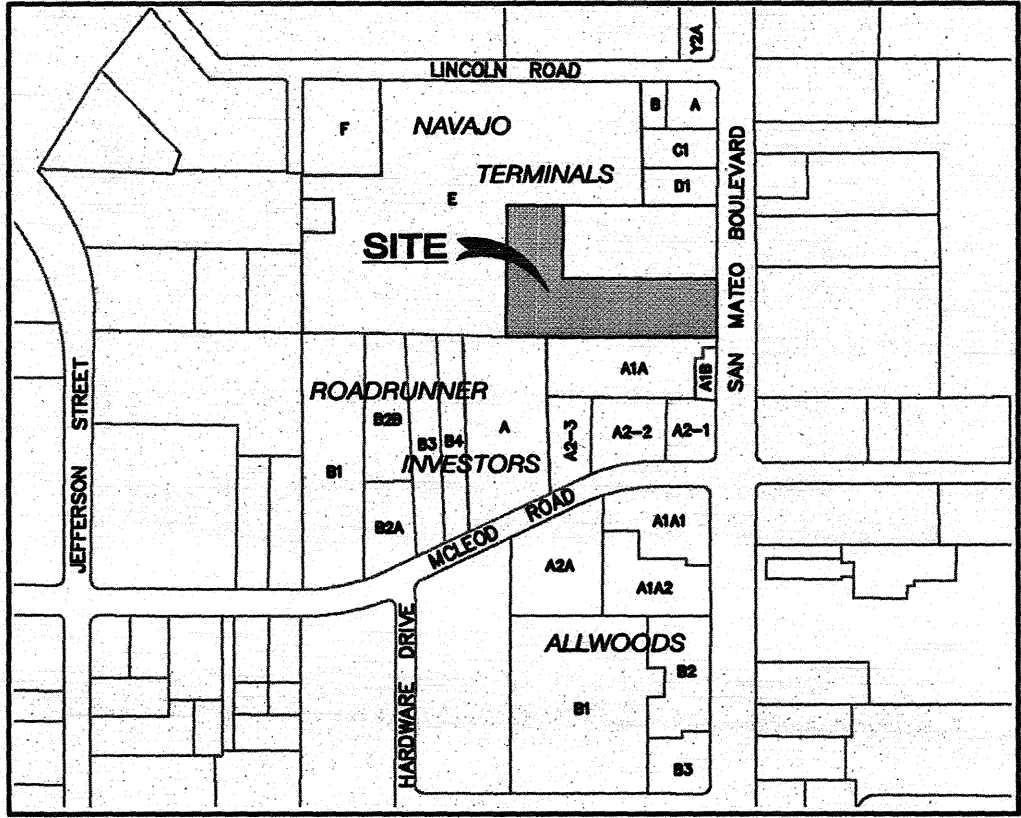
**EES**  
ENGINEERING & ENVIRONMENTAL SOLUTIONS, INC.  
518 17th Street  
Suite 1570  
Albuquerque, NM 87102  
www.ees-usa.com  
505-772-7997  
FIRM NO. F-14751

**Davita**

5207 San Mateo Boulevard N.E.

**C5.0**  
SHEET 9 OF 12





LOCATION MAP  
NOT TO SCALE

#### SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index No. F-17.
3. Zoning: C-3.
4. Gross Subdivision Acreage: 3.6897 Acres.
4. Total number of tracts Created: Two (2) Tracts.
5. No public street right-of-way is created.
6. Date of Survey: December, 2009.
7. Plat is located within the Elena Gallegos Grant, projected Section 35, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico.

#### PURPOSE OF PLAT

The purpose of this Plat is to relocate tract lines common to Tracts B and C, Plat of Tracts A, B & C, Sandia Addition, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 9, 2010 in Book 2010C, Page 0080 as Document No.2010068217 and to grant Easements and vacate Private Easements.

#### PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable One for the installation, maintenance, and service of such lines, cable; and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

#### Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not specifically described and shown on this plat.

The City of Albuquerque and its designees and/or contractors may install, maintain and service water and wastewater lines within the 10' PUE.

#### DESCRIPTION

A certain tract of land located within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of of Tracts "B" & "C", Plat of Tracts A, B & C, Sandia Addition, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 9, 2010 in Book 2010C, Page 0080 as Document No. 2010068217.

Tract contains 3.6897 acres of land, more or less.

#### FREE CONSENT

The plat shown hereon is made with free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as may shown on this plat.

Sandia Foundation  
SBMK Property Company, LLC  
By: *Robert M. Goodman*  
Robert M. Goodman  
Manager, SBMK Property Company, LLC  
Pres., Sandia Foundation

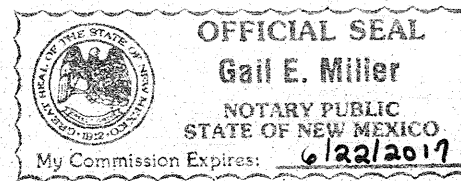
State of New Mexico )  
SS  
County of Bernalillo )

This instrument was acknowledged before me on 24<sup>th</sup> day of February, 2015, by

*Robert M. Goodman*

My Commission Expires: 6/22/2017

*Gail E. Miller*  
Notary Public



#### NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983 and the basis of bearings is the inverse between city of Albuquerque Control Monuments "9-F18" and "1-F18A". Bearing = N30°55'08"E.
2. Record Bearings and distances are the same as as shown on this plat and the same as shown on Plat of Tracts A, B & C, Sandia Addition, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 9, 2010 in Book 2010C, Page 0080 as Document No.2010068217.
3. Distances are ground distances.
4. Pursuant to section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at anytime be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the tracts within the area of proposed plat. The foregoing requirements shall be a condition to approval of this plat."
5. An existing private reciprocal blanket pedestrian, private parking, vehicular access, and drainage easement granted to and maintained by Tracts A, B and C as the same is shown and designated on the Plat of Tracts A, B & C, Sandia Addition filed in the office of the County Clerk of Bernalillo County, New Mexico on July 9, 2010 in Book 2010C, Page 0080 as Document No. 2010068217.
6. Tracts A, B, and C are subject to a Mutual Parking Agreement filed April 4, 1988 in Misc. Bk 607A, page 187 as Document No. 8830247, records of Bernalillo County, New Mexico.
7. Tracts A and C are subject to a Shared Parking Agreement filed July 28, 2010 as Document No. 2010077109, records of Bernalillo County, New Mexico. Amendment to Shared Parking Easement filed September 11, 2012 as Document No. 2012093452, records of Bernalillo County, New Mexico.
8. Tracts B and C are subject to a Supplemental Easement for encroachments benefiting Tract A filed July 6, 2012 as Document No. 2012092570, records of Bernalillo County, New Mexico.
9. Tracts A, B & C are subject to covenants, conditions, restrictions, terms, provisions, assessments, liens, levies and easements in Declaration of Easements, Covenants and Restrictions recorded filed July 30, 2010 as Document No. 2010077107, records of Bernalillo County, New Mexico.
10. Easements of record are based on Title Commitment No. 5011635-1986478-AL01 issued by First American Title Insurance Company effective November 24, 2014.

## PLAT OF TRACTS B-1 & C-1 SANDIA ADDITION (A REPLAT OF TRACTS B & C SANDIA ADDITION ) ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO FEBRUARY, 2015

PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

UTILITY APPROVALS:

QWEST CORPORATION d/b/a CENTURYLINK QC \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST CABLE \_\_\_\_\_ DATE \_\_\_\_\_

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO GAS COMPANY \_\_\_\_\_ DATE \_\_\_\_\_

CITY APPROVALS:

*Susan H. Reininger P.S.* 2/25/15  
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

ALBUQUERQUE BERNALILLO COUNTY  
WATER UTILITY AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

A.M.A.F.C.A. \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

REAL PROPERTY DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

#### TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

PROPERTY OWNER OF RECORD: \_\_\_\_\_

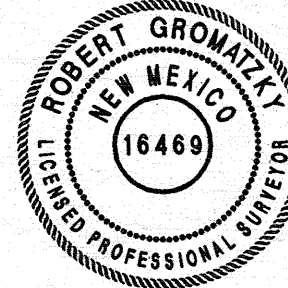
BERNALILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_ DATE \_\_\_\_\_

#### SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*Robert Gromatzky*  
Robert Gromatzky  
New Mexico Professional Surveyor 16469

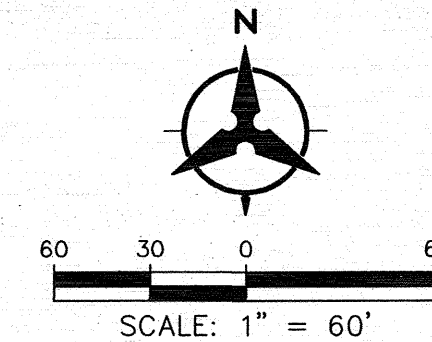
Date: FEBRUARY 24, 2015



Bohannon  Huston  
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO



PLAT OF  
**TRACTS B-1 & C-1**  
**SANDIA ADDITION**  
(A REPLAT OF TRACTS B & C SANDIA ADDITION)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2015



NOTE: AN EXISTING 20' WIDE FLOATING PRIVATE WATER AND SANITARY SEWER EASEMENT GRANTED ON JULY 9, 2010 IN BOOK 2010C, PAGE 0080 VACATED BY VACATION ACTION AND BEING CONFINED AND DEFINED WITH A NEW EASEMENT GRANTED AS SHOWN HEREON.

TANGENT DATA		
ID	BEARING	DISTANCE
T1	N00°12'36"E	15.00'
T2	S89°47'38"E	46.21'
T3	S44°47'38"E	39.24'
T4	S00°13'16"W	15.00'
T5	N89°47'38"W	40.00'
T6	N45°13'26"E	18.03'
T7	S00°12'36"W	27.75'

**LEGEND**

- BOUNDARY LINE
- NEW LOT LINE
- NEW EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- LOT LINE ELIMINATED WITH THE FILING OF THIS PLAT
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND REBAR/CAP STAMPED "GROMATZKY PS 16469" OR NOTED OTHERWISE
- FOUND NAIL/SHINER
- FOUND REBAR/NO CAP
- SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"



**Bohannon & Huston**  
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

SHEET 2 OF 2

ACS ALUMINUM DISC STAMPED "1-F18A 1978"  
GEOGRAPHIC POSITION (NAD 83)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1,508,405.881 E=1,542,294.950  
GROUND TO GRID FACTOR = 0.999663593  
DELTA ALPHA = -0°11'20.22"  
NAVD 1988 ELEVATION = 5253.858

TRACT D-1  
**LANDS OF  
NAVAJO TERMINALS, INC.**  
FILED: JULY 23, 1998  
(98C-220)

SAN MATEO BOULEVARD NE (150' RW)

TRACT A  
**SANDIA ADDITION**  
FILED: JULY 9, 2010  
(2010C-0080)  
(SEE NOTES 5, 6, 7, 8 & 9, SHEET 1)

TRACT C  
**TRACT C-1**  
**2.6442 Acres**  
(SEE NOTES 5, 6, 7, 8 & 9, SHEET 1)  
(SEE NOTE THIS SHEET)

TRACT B  
**TRACT B-1**  
**1.0455 Acre**  
(SEE NOTES 5, 6, 7, 8 & 9, SHEET 1)  
(SEE NOTE THIS SHEET)

TRACT A  
**LANDS OF ROADRUNNER INVESTORS**  
FILED: JUNE 16, 1976  
(811-114)

TRACT A-1A  
**SANBUSCO ADDITION**  
FILED: OCTOBER 2, 1987  
(C34-169)

ACS ALUMINUM DISC STAMPED "9-F18 1986"  
GEOGRAPHIC POSITION (NAD 83)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N=1,504,358.281 E=1,539,870.687  
GROUND TO GRID FACTOR = 0.999666141  
DELTA ALPHA = -0°11'36.74"  
NAVD 1988 ELEVATION = 5212.228







2010C-80(2)

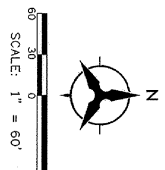
2010C-80(2)

PLAT OF  
TRACTS A, B & C  
SANDIA ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2010

NOTE: A 20' WIDE FLOODING PRIVATE WATER AND SANITARY SEWER EASEMENT GRANTED FROM TRACT B FOR THE BENEFIT OF TRACT C WITH THE EASEMENT GRANTED TO TRACT C AND ALL BE CORNERED AND DEMONSTRATED DEVELOPMENT OF TRACT B.

TRACT A-1  
LANDS OF  
NAVALO TERMINALS, INC.  
RFD. MAY 15, 1975  
(RFD-149)

ASS. SURVEYING RECORD 7-118 1975  
NEW STATE PLATE COORDINATES (CENTRAL ZONE)  
DELTA ALPHA = -0110 27.74"  
DELTA BETA = -0110 27.74"  
RADIO 1988 ELEVATION = 5212.28



DRAWN 2/21/08 BY 210  
CHECKED 2/21/08 BY 210  
DATE 2/21/08

LEGEND

- BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- PHYSIC. UTILITY EASEMENT GRANTED WITH THE PLAT OF THIS PLAT
- LOT OF ALBUQUERQUE COUNTY, MONUMENT
- FOUND MARK/SHIR
- FOUND REBAR/NO CAP
- SET AS REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "COMBINATION PS 16487"

ID	BEARING	DISTANCE
10	N 89° 47' 38" W	24.00'
11	N 89° 47' 38" W	21.00'
12	N 89° 47' 38" W	21.00'



**Bohannon & Huston**  
ENGINEERING & SURVEYING  
7500 Jefferson St. NE Albuquerque, NM 87109-4335  
TEL: 505-261-1111 FAX: 505-261-1112  
WWW.BH-SURVEYING.COM

SHEET 2 OF 2

2010C-80(2)



Del Norte Dialysis Center North Pond Stage Storage Volume  
 Calculations Obtained by Civil 3D 2014  
 Date: 4/18/2015

<b>Existing North Pond</b>				
Contour Elevation	Contour Area	Depth	Incremental Volume Average End	Cumulative Volume Average End
	sf	ft	cf	cf
5,194.50	2.72	N/A	N/A	0
5,195.00	2,168.65	0.5	542.84	542.84
5,195.50	6,452.63	0.5	2155.32	2698.16
5,196.00	8,382.02	0.5	3708.66	6406.83
5,196.50	9,353.61	0.5	4433.91	10840.73
5,197.00	10,422.60	0.5	4944.05	15784.79
<b>Proposed North Pond Expansion</b>				
5,194.50	2.72	N/A	N/A	0
5,195.00	2,168.65	0.5	542.84	542.84
5,195.50	6,878.97	0.5	2261.91	2804.75
5,196.00	14,029.17	0.5	5227.04	8031.79
5,196.50	15,554.98	0.5	7396.04	15427.82
5,197.00	16,704.25	0.5	8064.81	23492.63



## Overall North Pond Detention Volume Calculations

Project: Del Norte Dialysis Center  
 Address: Albuquerque, NM 5207 San Mateo NE  
 Tract B-1: 45541 ft<sup>2</sup> 1.05 acres

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, D.P.M., Vol 2

Excess Precipitation E (Inches) 100 Yr, 6 hr Storm DPM Sect. 22.2 Table A-8				
Zone	A	B	C	D
1	0.44	0.67	0.99	1.97
2	0.53	0.78	1.13	2.12
3	0.66	0.92	1.29	2.36
4	0.80	1.08	1.46	2.64

Basin Name: Tract B-1+Basin GC1, GC2, GC3, P  
 Precipitation Zone (1-4): 2  
 Area: 159871.00 ft<sup>2</sup> 3.67 acres

Tract B-1 + Basin GC1 Excess Precipitation				
Treatment	Area		%	E
	ft <sup>2</sup>	acres		inches
A	0.00	0.00	0.00%	0.53
B	2541.00	0.06	1.59%	0.78
C	40279.00	0.92	25.19%	1.13
D	117050.00	2.69	73.22%	2.12
Total	159870.00	3.67	100.00%	

1. Weighted E:  $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D} = 1.85 \text{ inches}$

2. Onsite Volume of Runoff  $V_{360}$  :  
 $V_{360} (\text{Weighted E} * A) / 12 = 24,637 \text{ cf}$

3. Peak Runoff  $Q_p$  100-YR:  
 $Q_p (Q_A A_A + Q_B A_B + Q_C A_C + Q_D A_D) = 15.67 \text{ cfs}$

( $Q_p$  peak value obtained from Basin  $Q_p$  peak Analysis for the 100 year)

TABLE A-9. PEAK DISCHARGE (CFS/ACRE)				
Zone	100-YR.			
	Treatment [2-YR., 10-YR.]			
	A	B	C	D
1	1.29 [0.00, 0.24]	2.03 [0.03, 0.76]	2.87 [0.47, 1.49]	4.37 [1.69, 2.89]
2	1.56 [0.00, 0.28]	2.28 [0.08, 0.95]	3.14 [0.60, 1.71]	4.7 [1.86, 2.14]
3	1.87 [0.00, 0.58]	2.6 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 2.20]
4	2.2 [0.05, 0.87]	2.92 [0.38, 1.45]	3.73 [1.00, 2.26]	5.25 [2.17, 3.57]

### Hydrograph for Small Watershed

E = 1.85 inches  
 A = 3.67 acres  
 Ad = 2.69 acres  
 Qp = 15.67 cfs

Note: E is the Excess Precipitation, Qp is the peak flow, Ad is the area of Treatment D, and A is the total contributing area to the north pond.

4. Base Time  $t_b$   
 $t_b: (2.107 * E * A / Q_p) - (0.25 * A_d / A) = 0.73 \text{ hours}$

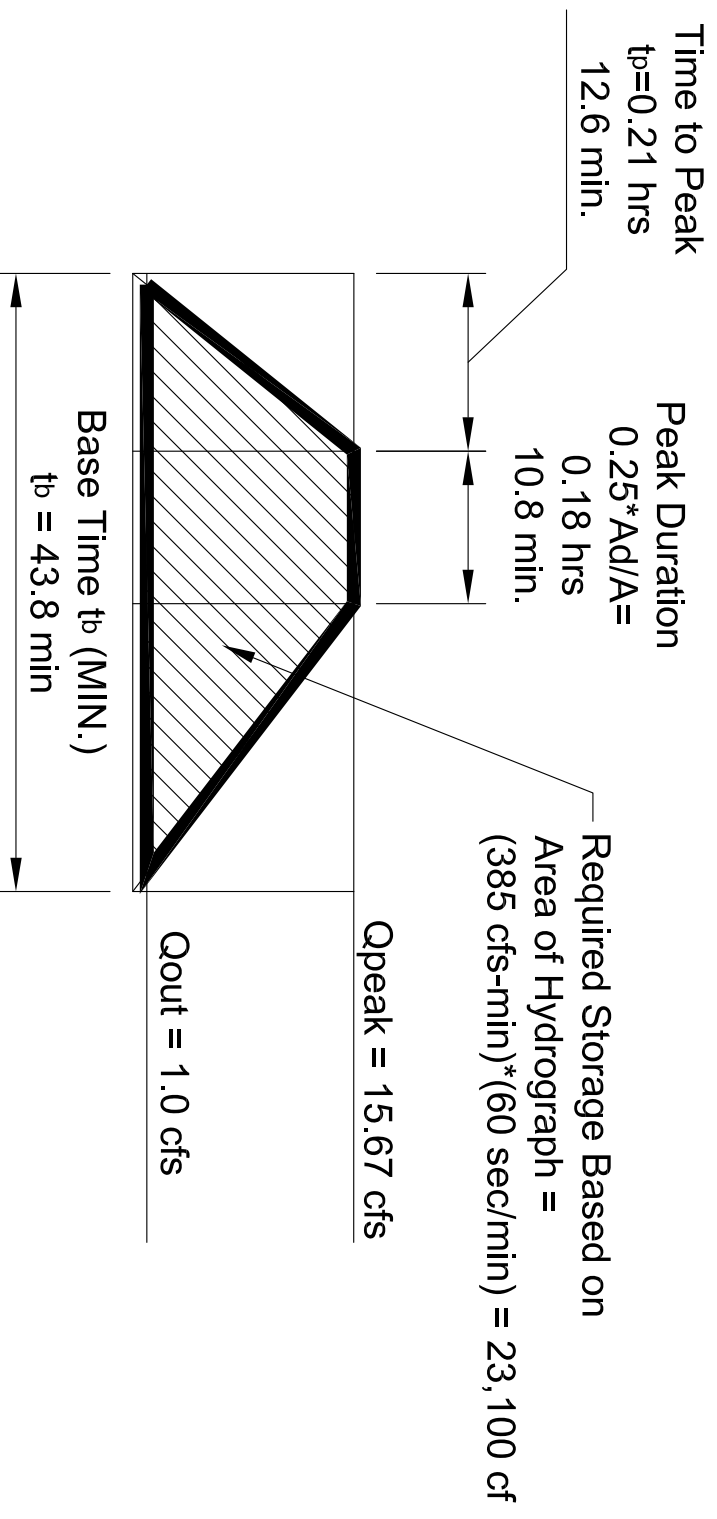
5. Time to Peak  $t_p$   
 $t_p: (0.70 * t_c) + ((1.6 - (A_d / A)) / 12) = 0.20 \text{ hours}$   
 ( $t_c$  is 12 minutes for small watersheds 40 acres or under)

6.  $(0.25 * A_d / A) = 0.18 \text{ hours}$  (Peak Duration)

7. Inflow/Outflow Hydrograph Area for Required Detention volume:  
 $Q_p \text{ In} = 15.67 \text{ cfs}$   
 $Q_p \text{ Out} = 1 \text{ cfs}$

\*Required Detention Volume = 23,100 cf  
 (\*See hydrograph illustration on the Drainage Map for Hydrograph Area Calculations)





# OVERALL NORTH POND STORAGE VOLUME

## INFLOW/OUTFLOW HYDROGRAPH

N.T.S.



Del Norte Dialysis Center North Pond Stage Storage Volume

Calculations Obtained by Civil 3D 2014

Date: 4/27/2015

Existing North Pond				
Contour Elevation	Contour Area	Depth	Incremental Volume Average End	Cumulative Volume Average End
	sf	ft	cf	cf
5,194.50	2.72	N/A	N/A	0
5,195.00	2,168.65	0.5	542.84	542.84
5,195.50	6,452.63	0.5	2155.32	2698.16
5,196.00	8,382.02	0.5	3708.66	6406.83
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5,197.00	10,422.60	0.5	4944.05	15784.79
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5,195.50	6,878.97	0.5	2261.91	2804.75
5,196.00	14,029.17	0.5	5227.04	8031.79
5,196.50	15,554.98	0.5	7396.04	15427.82
5,197.00	16,704.25	0.5	8064.81	23492.63
North Pond 100-Year Storage Vol. =			<b>23,100</b>	cf
North Pond 100-Year WSEL =			<b>5,196.66</b>	ft
Depth of Freeboard (Emerg. Spillway 5197.50) =			<b>0.84</b>	ft
WSEL Calculation includes Total Area (basins) Tributary to North Pond (Tract B-1, GC1-3, & P)				