

CITY OF ALBUQUERQUE



July 31, 2013

David Thompson, PE
Thompson Engineering Consultants, Inc.
PO Box 65760
Albuquerque, NM 87193

Re: Red Rock Roasters, 4801 Jefferson St NE
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 11-14-12, (F17/D096)
Certification dated: 7-26-13

Dear Mr. Thompson,

Based upon the information provided in the Certification received 07-26-13, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: ccherne@cabq.gov or rrael@cabq.gov.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Albuquerque

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer—Hydrology Section
Development and Building Services

New Mexico 87103

www.cabq.gov

C: RR/CC
CO Clerk—Katrina Sigala
e-mail

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: RED ROCK ROASTERS ZONE MAP/DRG. FILE #: F-17/D096
DRB #: _____ EPC #: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 12-B, REINDEER ADDITION
CITY ADDRESS: _____

ENGINEERING FIRM: Thompson Engineering Consultants, Inc. CONTACT: David Thompson
ADDRESS: P.O. Box 65760 PHONE: 271-2199
CITY, STATE: Albuquerque, NM ZIP CODE: 87193

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: McElheney Architects CONTACT: Bob McElheney
ADDRESS: 2001 Carlisle NE, Suite B PHONE: 262-0193
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

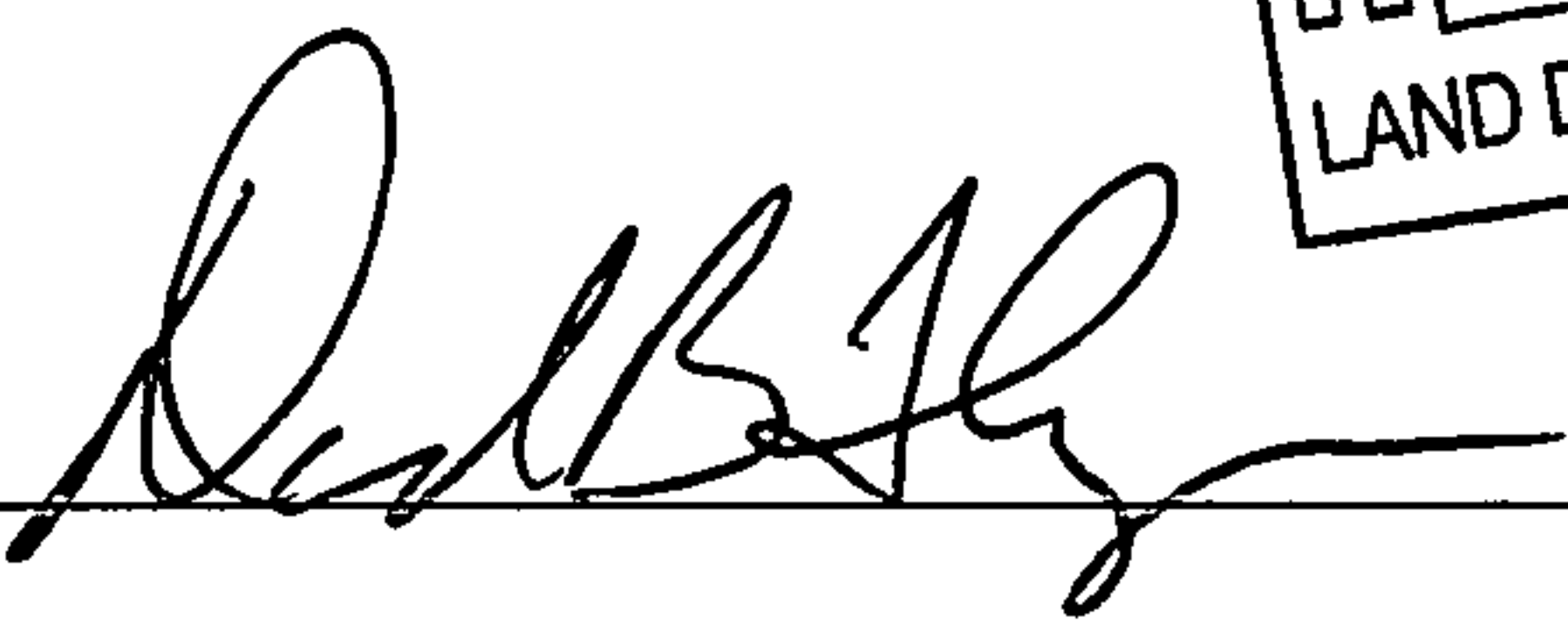
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION(TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

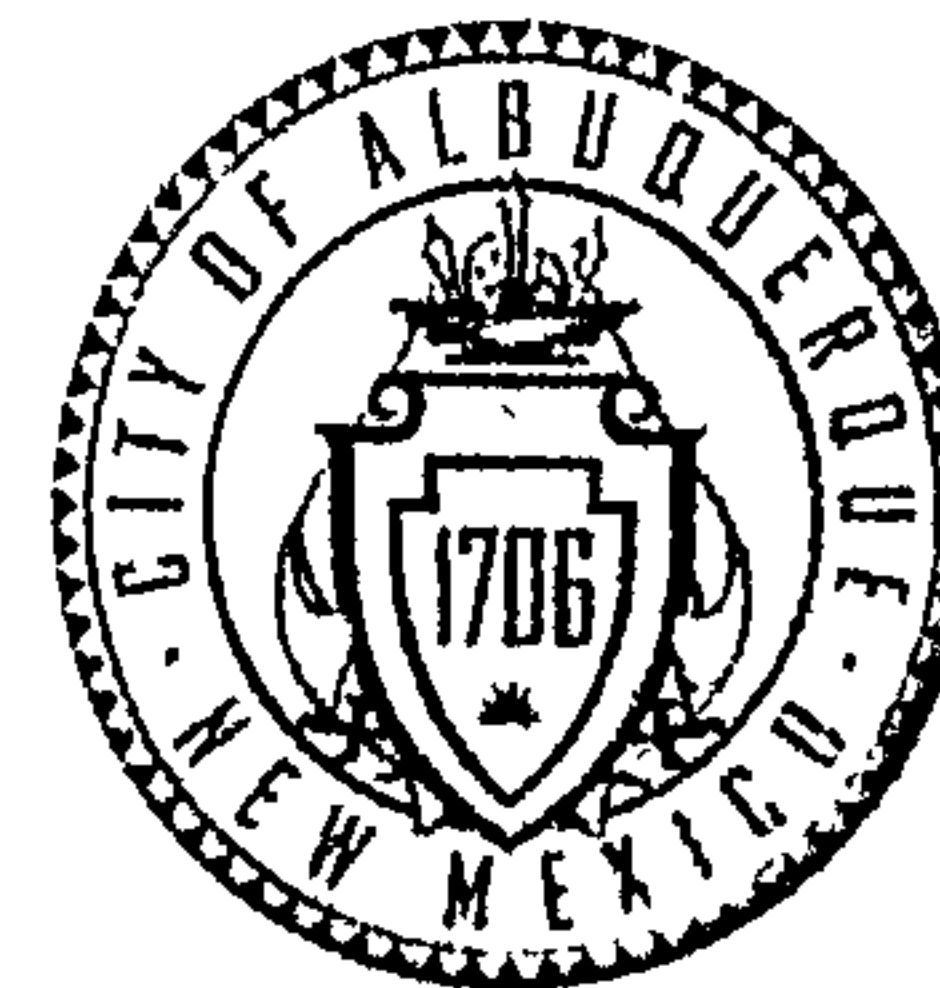


DATE SUBMITTED: July 26, 2013 BY: 

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 26, 2013

Robert McElheney, R.A.
McElheney Architects, P.C.
9232 Hilton Avenue NE
Albuquerque, NM 87111

Re: Certification Submittal for Certificate of Occupancy for
Red Rock Roasters
4801 Jefferson NE
Architect's Stamp dated 04-26-13 (F17-D096)

Dear Mr. McElheney,

Based upon the information provided in your submittal received 04-24-13, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: RED ROCK ROASTERS Building Permit #: _____ City Drainage #: F17 D096

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 4801 JEFFERSON

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: McELHENNEY ARCHITECTS Contact: BOB McELHENNEY

Address: 9232 HILTON AVE NE

Phone#: 505 2620193 Fax#: _____ E-mail: bobmearch@mac.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

RECEIVED
APR 24-2013

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 4.24.13 By: BOB McELHENNEY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



November 26, 2012

Robert McElheney R.A.
McElheney Architects
2001 Carlise Blvd. NE, Suite B
Albuquerque, NM 87110-4943

Re: Red Rock Roasters, 4801 Jefferson NE, Traffic Circulation Layout
Architect's Stamp dated 11-19-12 (F17-D096)

Dear Mr. McElheney,

The TCL submittal received 11-19-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

RECEIVED
APR 24 2013

ADDITION TO EXIST
BUILDING

EXISTING GRADE
LEVEL OVERHEAD
DOOR.

RETAINING
WALL

WHITE PAINT

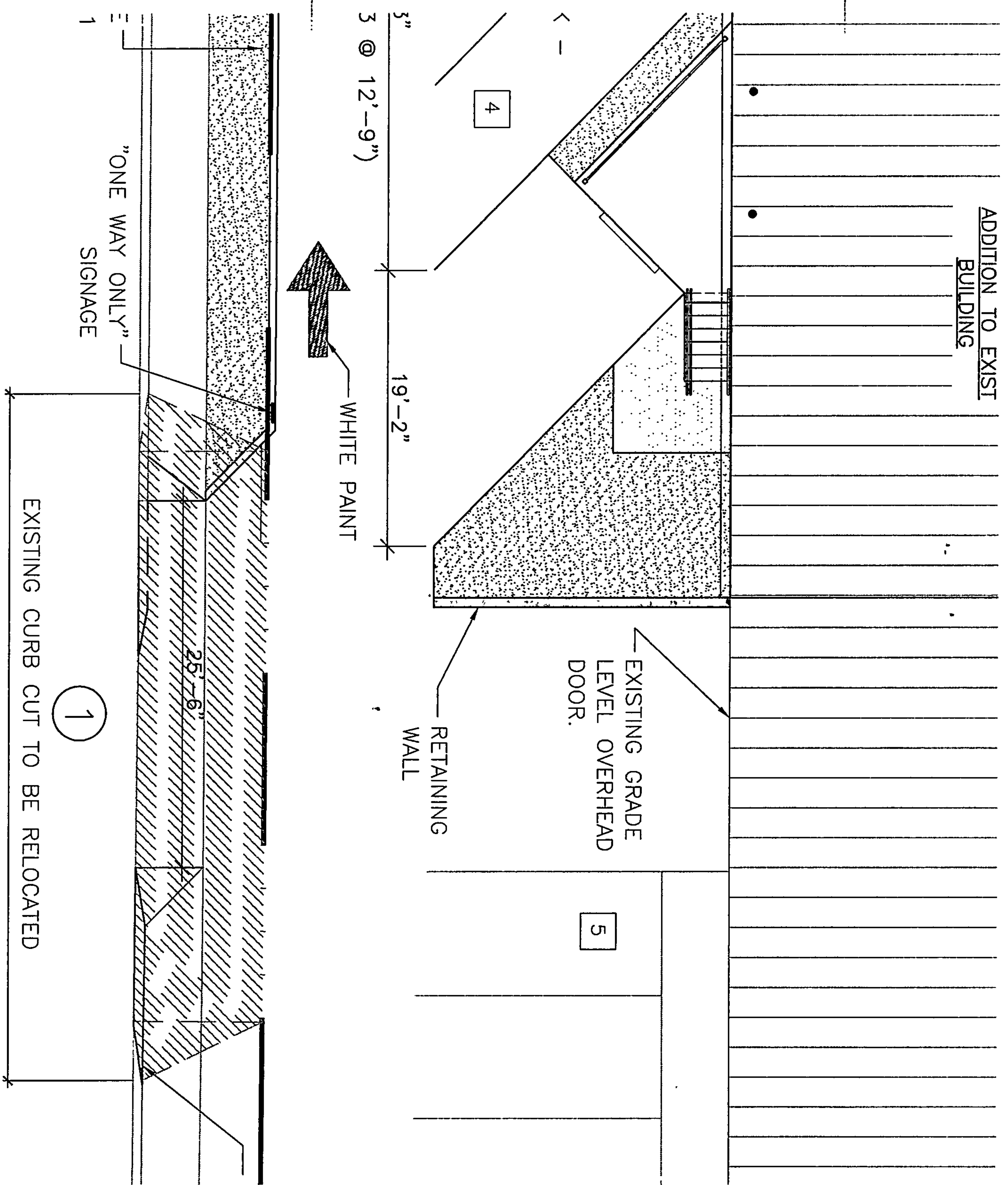
"ONE WAY ONLY"
SIGNAGE

EXISTING CURB CUT TO BE RELOCATED

3 @ 12'-9"

19'-2"

25'-6"



F-17/DO96

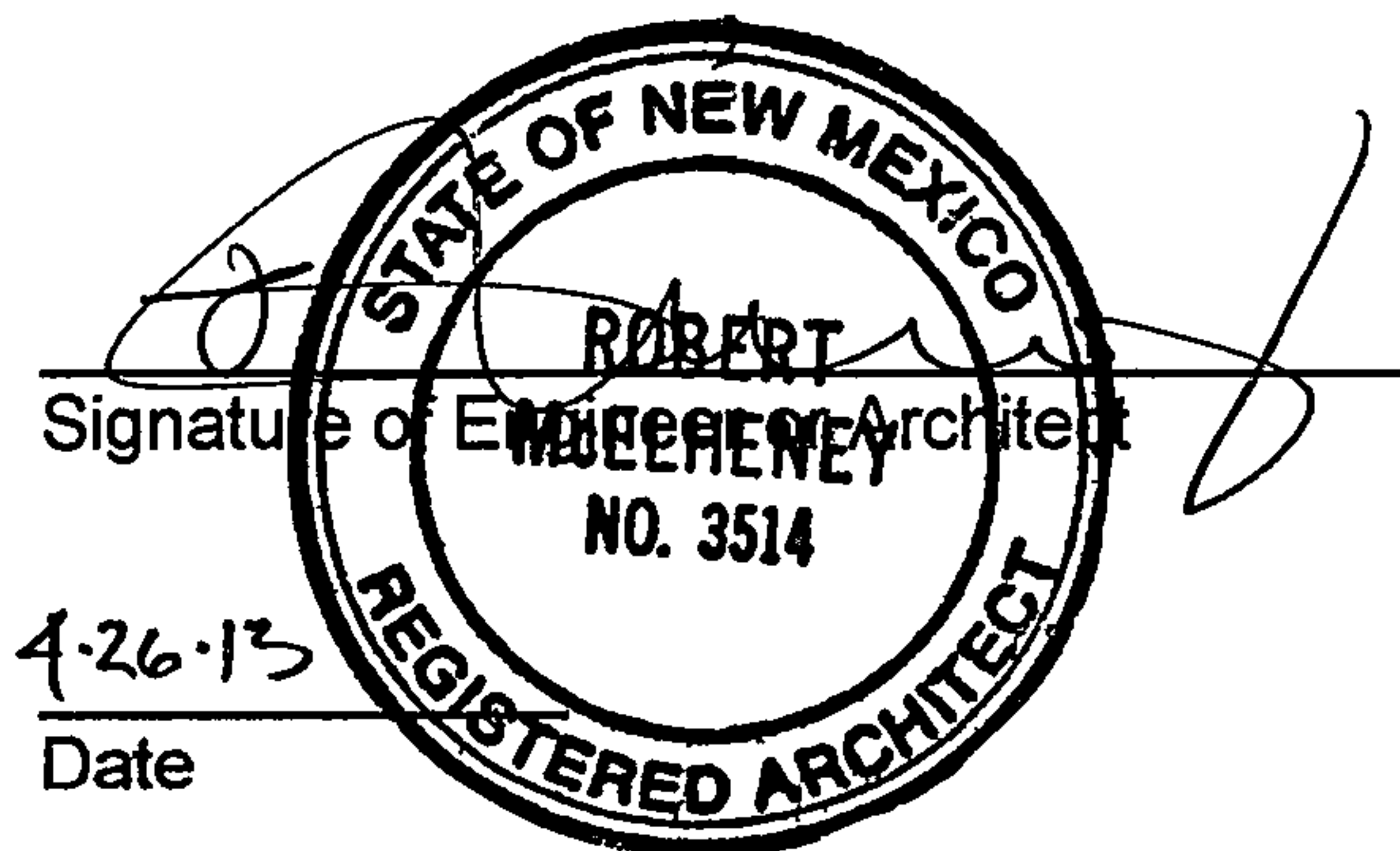
McELHENEY Architects p.c.

TRAFFIC CERTIFICATION

I, Robert McElhenny, NMPE OR NMRA (NMRA), OF THE FIRM McElhenny Architects HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED Oct. 2012. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Myself OF THE FIRM M.A.. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4.20.13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR C.O.

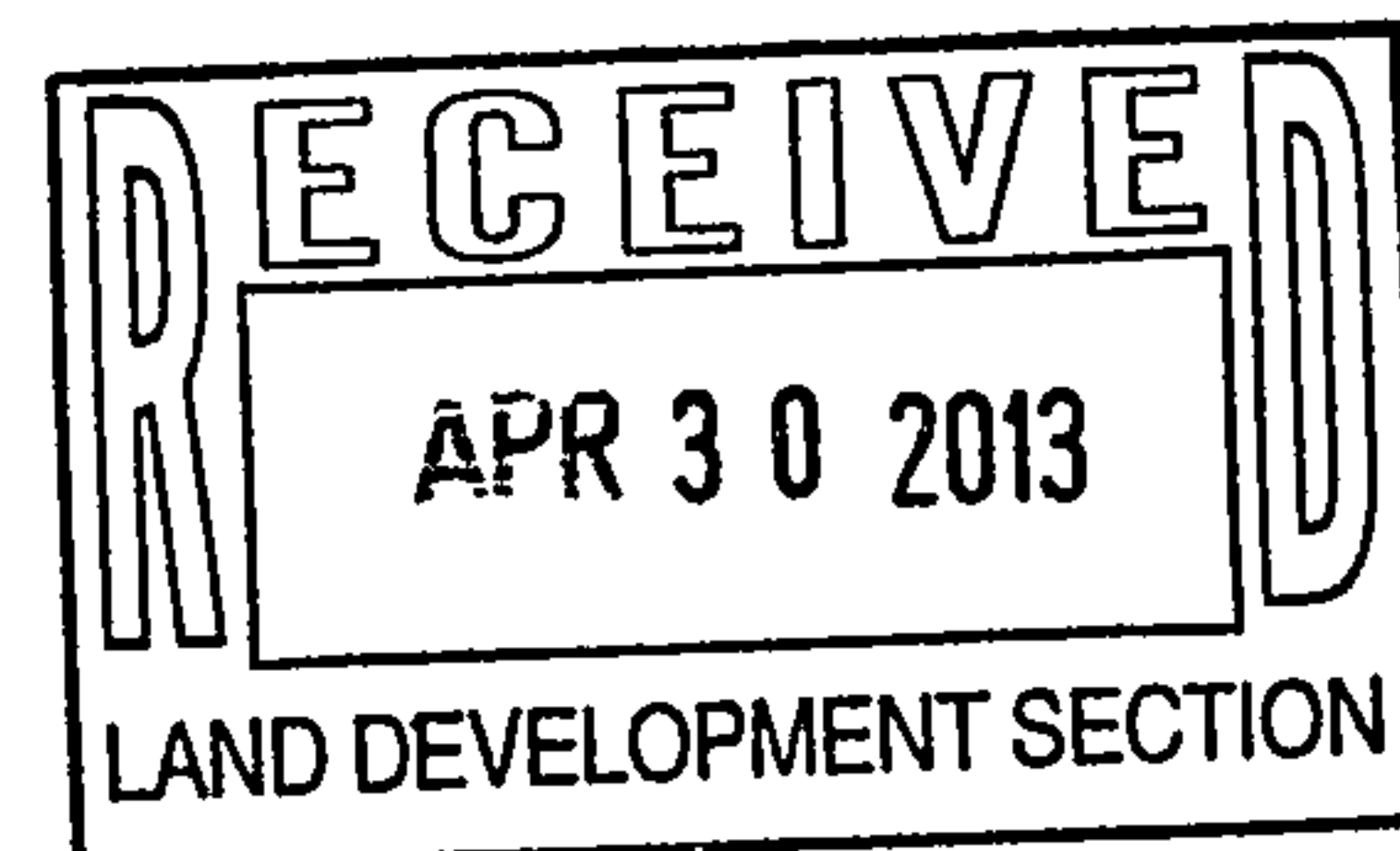
<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



ENGINEER'S OR ARCHITECT'S STAMP

THIS CERTIFICATION MUST BE SUBMITTED ON COMPANY LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE



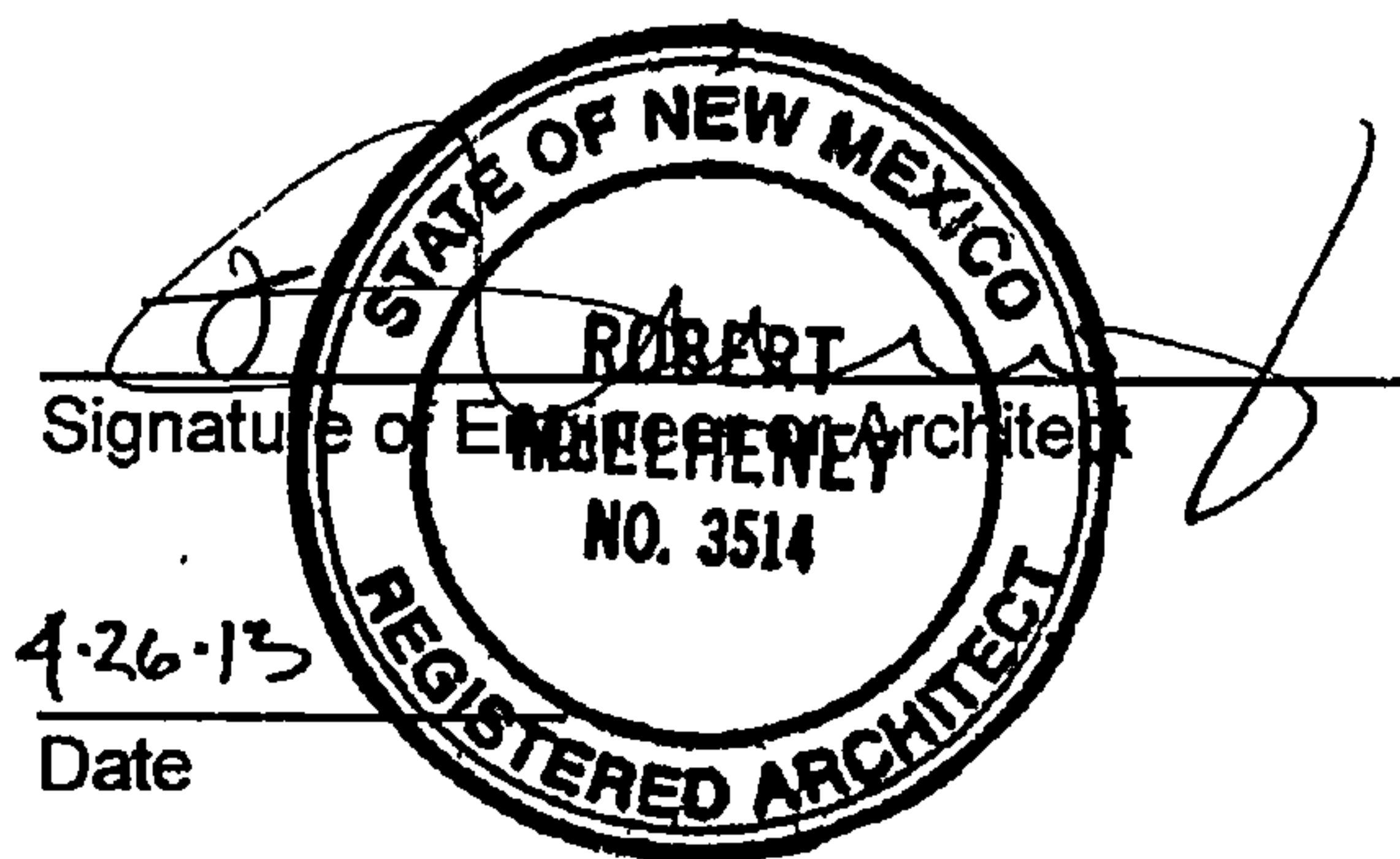
McELHENNEY Architects p.c.

TRAFFIC CERTIFICATION

I, Robert McElhenney, NMPE OR NMRA _____, OF THE FIRM McElhenney Architects HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED Oct. 2012. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Myself OF THE FIRM M.A.. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4.20.13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR C.O..

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



ENGINEER'S OR ARCHITECT'S STAMP

THIS CERTIFICATION MUST BE SUBMITTED ON COMPANY LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE

Salgado-Fernandes, Nilo E.

From: Bob McElheney [bobmacarch@mac.com]
Sent: Friday, April 26, 2013 11:07 AM
To: Salgado-Fernandes, Nilo E.
Subject: Traffic Certification for CO
Attachments: Traffic Certification.pdf

Nino,

Attached is the same certification letter I sent Kristal this morning.
I will also send you a hard copy in the mail.
Please let me know if you need anything else.

Thanks,

Bob McElheney, AIA
McElheney ARCHITECTS
505.262.0193

MCELHENEYARCHITECTS.COM

4/26/2013

CITY OF ALBUQUERQUE



November 16, 2012

Robert McElheney R.A.
McElheney Architects
2001 Carlise Blvd. NE, Suite B
Albuquerque, NM 87110-4943

**Re: Red Rock Roasters, 4801 Jefferson NE,
Traffic Circulation Layout
Architect's Stamp dated 11-08-12 (F17-D096)**

Dear Mr. McElheney,

Based upon the information provided in your submittal received 11-09-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please relocated all directional signage / striping to within the property line.
2. Per the *Development Process Manual*, Chapter 23, Section 7, Part A.6, "Curbing should be used to separate landscaping from parking areas and pedestrian ways."
3. Parking areas shall be paved with a minimum of 2 inches asphaltic concrete or equal. Additional detail for paving is not required.
4. The area south of the refuse bin should not be landscaped; please revise.
5. Please clearly show the limits of the existing driveway versus the proposed driveway. Refer to City Standard 2425.
6. Curbing along the landscape area should be located within the private property.
7. Please reference City of Albuquerque Standard Drawings for all proposed infrastructure on site.

If you have any questions, you can contact me at 924-3991 or Cynthia Beck at 924-3924.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File
Bob McElheney AIA : bobmacarch@mac.com

CITY OF ALBUQUERQUE



November 26, 2012

Robert McElheney R.A.
McElheney Architects
2001 Carlise Blvd. NE, Suite B
Albuquerque, NM 87110-4943

Re: Red Rock Roasters, 4801 Jefferson NE, Traffic Circulation Layout
Architect's Stamp dated 11-19-12 (F17-D096)

Dear Mr. McElheney,

The TCL submittal received 11-19-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2012)

PROJECT TITLE: Red Rock Roosters 4801 Jefferson NE ZONE MAP: _____
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: McElhenny Architects CONTACT: BOB
ADDRESS: 2232 2001 Carlisle NE PHONE: 2020193
CITY, STATE: _____ ZIP CODE: 87110
EMAIL: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

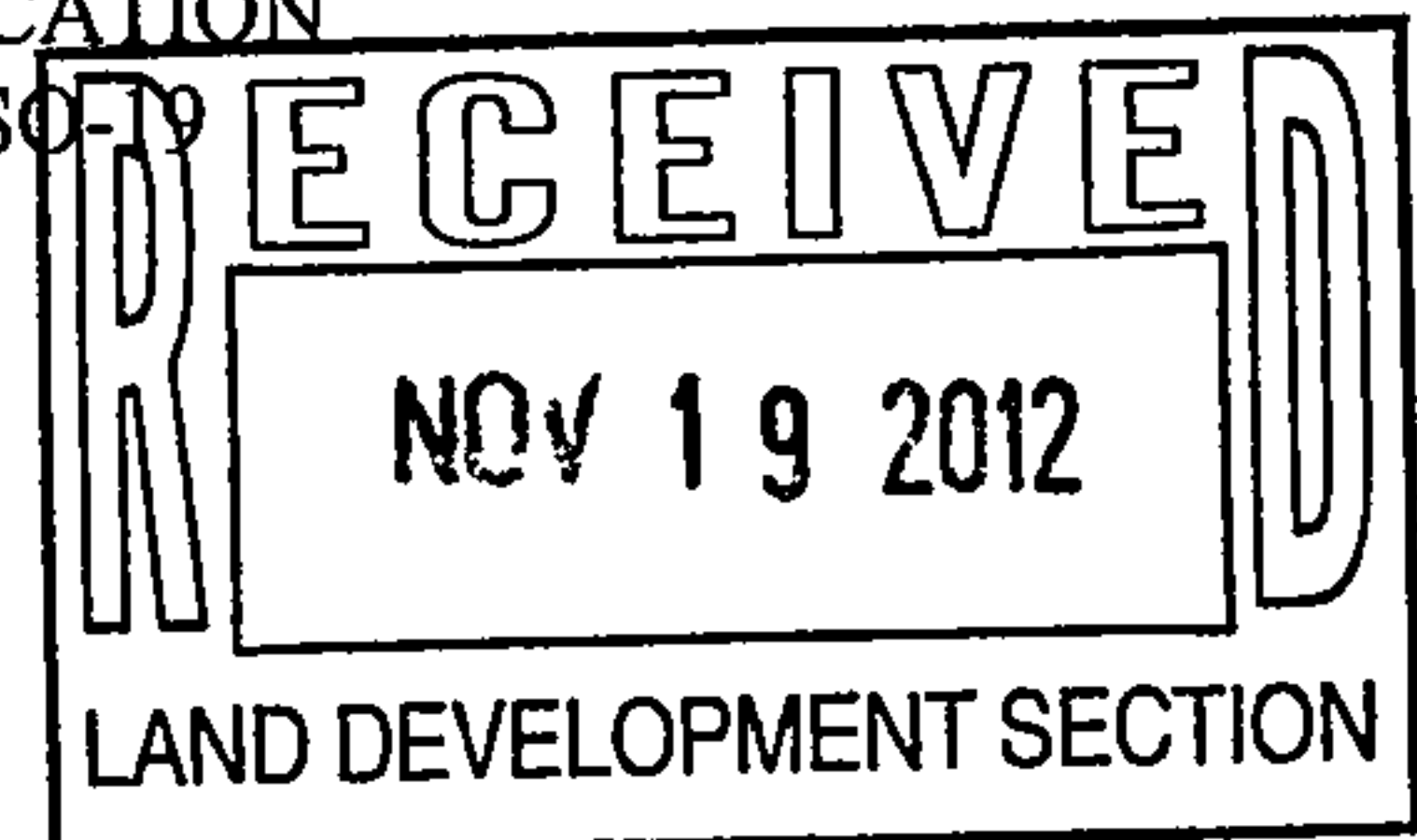
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: _____ BY: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 6, 2012

Robert McElheney R.A.
McElheney Architects
2001 Carlise Blvd. NE, Suite B
Albuquerque, NM 87110-4943

**Re: Red Rock Roasters, 4801 Jefferson NE,
Traffic Circulation Layout
Architect's Stamp dated 10-26-12 (F17-D096)**

Dear Mr. McElheney,

Based upon the information provided in your submittal received 10-26-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map.
2. Please include the legal description of the site.
3. Define widths of all existing sidewalk.
4. Please refer to all applicable city standards.
5. Please ensure all ramps are ADA compliant.
6. Show a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard.
7. Please provide a legend and/or keyed notes detailing line types, hatching, proposed and existing conditions for clarity.
8. The proposed location of the refuse interferes with the 45 degree angled parking stall when the refuse doors are swung open. Please revise.
9. Please indicate the required 6 foot ADA accessible pedestrian pathway from COA ROW to the building.
10. Please provide directional signage / striping to indicate one-way movement through parking area and at the existing southwest curb cut indicating egress only, all signage within property line. (Recommend adequate "One-Way Only" signage in parking area and 2 each "Do Not Enter" signs posted at both sides of turn-out.)
11. Please provide dimensional details of the proposed perimeter fence and gates.
12. What is the width between the proposed fence and the building? Is pedestrian access needed?

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

*Move onto
Property*

CITY OF ALBUQUERQUE



13. Parking areas shall be paved with a minimum of 2 inches asphaltic concrete or equal.
14. The required landscaping plan must be reviewed by the Traffic Engineer to insure that traffic safety needs are met. Please provide landscaping plan.
15. Please clarify what is intended directly west of the proposed refuse which includes a dimensional line of 17'-6".
16. Provide some type of barrier to prevent cross over traffic from adjacent property to the north.
17. Please clarify the proposed design intent on Bogan: curb cuts, drivepads, asphalt, sidewalk, and curb & gutter.
18. Please reference City of Albuquerque Standard Drawings for all proposed infrastructure on site.

If you have any questions, you can contact me at 924-3630 or Cynthia Beck at 924-3924.

PO Box 1293

Sincerely,

Albuquerque

NM 87103

Milo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C:

File

Bob McElheney AIA : bobmacarch@mac.com

Map
Layers
Legend
Scale



November 7, 2012

Robert McElheney R.A.
McElheney Architects
2001 Carlise Blvd. NE, Suite B
Albuquerque, NM 87110-4943

**Re: Red Rock Roasters, 4801 Jefferson NE,
Traffic Circulation Layout
Architect's Stamp dated 10-26-12 (F17-D096)**

Dear Mr. McElheney,

Based upon the information provided in your submittal received 10-26-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ~~1.~~ Please route a turning template exhibit showing a minimum of 15 foot radii around all curves /corners of property for passenger vehicles.
- ~~2.~~ Please list the width and length for all parking spaces. The east lot parking spaces adjacent to building on Jefferson appear to be inadequate (scaled off at approximately 6.5ft X 11ft).
- ~~3.~~ Please show the location of the nearest driveway on the adjacent lots.
- ~~4.~~ Please show a vicinity map.
- ~~5.~~ Please include the legal description of the site.
- ~~6.~~ Define widths of all existing sidewalk.
- ~~7.~~ Please refer to all applicable city standards.
- ~~8.~~ Please ensure all ramps are ADA compliant.
- ~~9.~~ Show a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard. . .
- ~~10.~~ If the site has left turn access, the drivepad has a 36-foot minimum width.
- ~~12.~~ Please provide a legend and/or keyed notes detailing line types, hatching, proposed and existing conditions for clarity.
- ~~13.~~ Please provide the refuse vehicle pick up circulation. Please note, according to DPM standards "No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle. Also, "Service aisle width required: (1) two-way traffic 30' and (2) one-way traffic 20'. Additionally, the proposed location interferes with the 45 degree angled parking stall when the refuse doors are swung open.

Reverse door

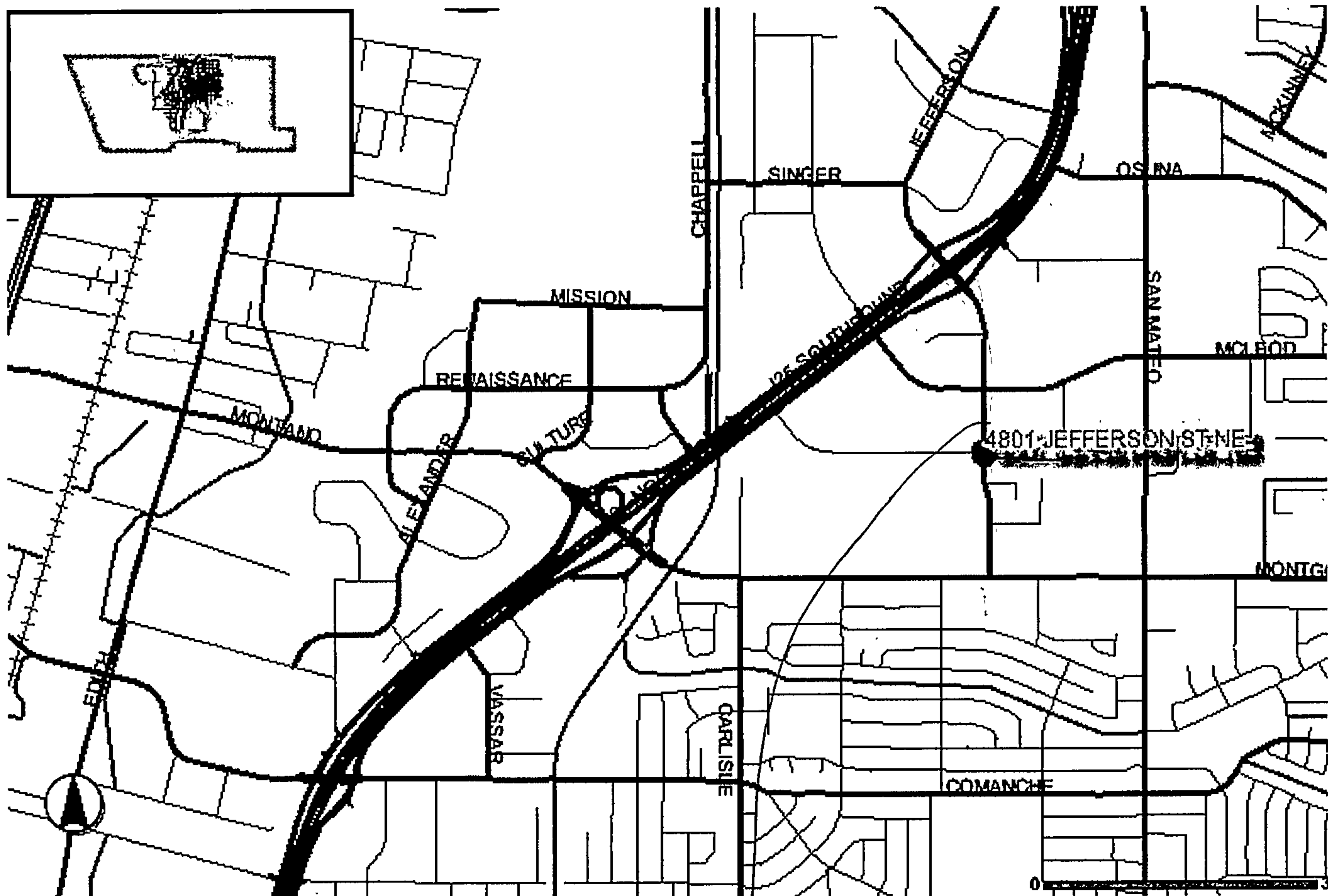
- ☒ 14. Please indicate the required 6 foot ADA accessible pedestrian pathway from COA ROW to the building.
- ☒ 15. Please indicate the required 6 foot ADA accessible pedestrian pathway from ADA handicap parking spaces to the building.
- ☒ 16. Please provide directional signage / striping to indicate one-way movement through parking area and at the existing southwest curb cut indicating egress only.
- ☒ 17. Work within the public right of way requires a work order with DRC approved plans.
- ☒ 18. According to the gis.cabq.gov website, the southern property line dividing lot 12A and 12B appears to be encroached by the adjacent lot's (12B) parking lot. Is there a shared access agreement between the two lots?
- ☒ 19. Also, according to the gis.cabq.gov website, the COA ROW along Jefferson appears to be within the private property line. Is there an existing access easement granting COA public ROW?
- ☒ 20. Please provide dimensional details of the proposed perimeter fence and gates.
- ☒ 21. What is the width between the proposed fence and the building? Is pedestrian access needed?
- ☒ 22. Parking lot aisle widths must meet minimum width requirements as Per Chapter 23 of the City of Albuquerque *Development Process Manual*. An aisle width of 12 feet minimum is required for single aisle, 90 degree parking. Additionally, no backing from parking stalls into the street is permitted.
- ☒ 23. Parking areas shall be paved with a minimum of 2 inches asphaltic concrete or equal.
- ☒ 24. The required landscaping plan must be reviewed by the Traffic Engineer to insure that traffic safety needs are met. Please provide landscaping plan.
- ☒ 25. Please clarify what is intended directly west of the proposed refuse which includes a dimensional line of 17'-6".
- ☒ 26. The proposed 45 degree angled parking stalls require a length = 20.15 ft per *Development Process Manual* but the TCL calls out 19'-1". Please revise.
- ☒ 27. Jefferson is classified a minor arterial and requires a minimum 6 ft. wide concrete sidewalk.
- ☒ 28. Provide some type of barrier to prevent cross over traffic from adjacent property to the north.
- ☒ 29. Please clarify the proposed design intent on Brogan: curb cuts, drivepads, asphalt, sidewalk, and curb & gutter.

If you have any questions, you can contact me at 924-3630 or Cynthia Beck at 924-3924.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

C: File



minor arterial

Biazar, Shahab

From: Thompson Engineering consultan [tecnm@yahoo.com]

Sent: Monday, October 29, 2012 11:07 AM

To: Biazar, Shahab

Subject: Comments on Red Rock Roasters (F-17/D096)

Shahab,

I have two questions about your comments in the letter dated October 8, 2012.

1. We are not changing any drainage flows with this addition to the building. The front or east part of our lot drains onto the north lot and then toward the west it drains back onto our lot with the runoff from the north lot. This is how the drainage has worked for several years. I am not sure this lot owner will be able to obtain a formal agreement with the lot owner to the north.

2. You say all landscaped areas need to be depressed. I am assuming you mean all new landscaped areas and not existing landscaped areas, correct? I did not realize that the new drainage ordinance is now approved. The Architect is working out the landscaping area with the Zoning Department.

Thanks,

David B. Thompson, P.E.
Thompson Engineering Consultants, Inc.
P.O. Box 65760
Albuquerque, NM 87193
Office: (505) 271-2199
Fax: (505) 830-9248

10/31/2012

CITY OF ALBUQUERQUE



November 16, 2012

David Thompson, P.E.
Thompson Engineering
P.O. Box 65760
Albuquerque, NM 87193

**Re: Red Rock Roasters 4801 Jefferson St NE
Grading and Drainage Plan
Engineer's Stamp date 11-14-12 (F-17/D096)**

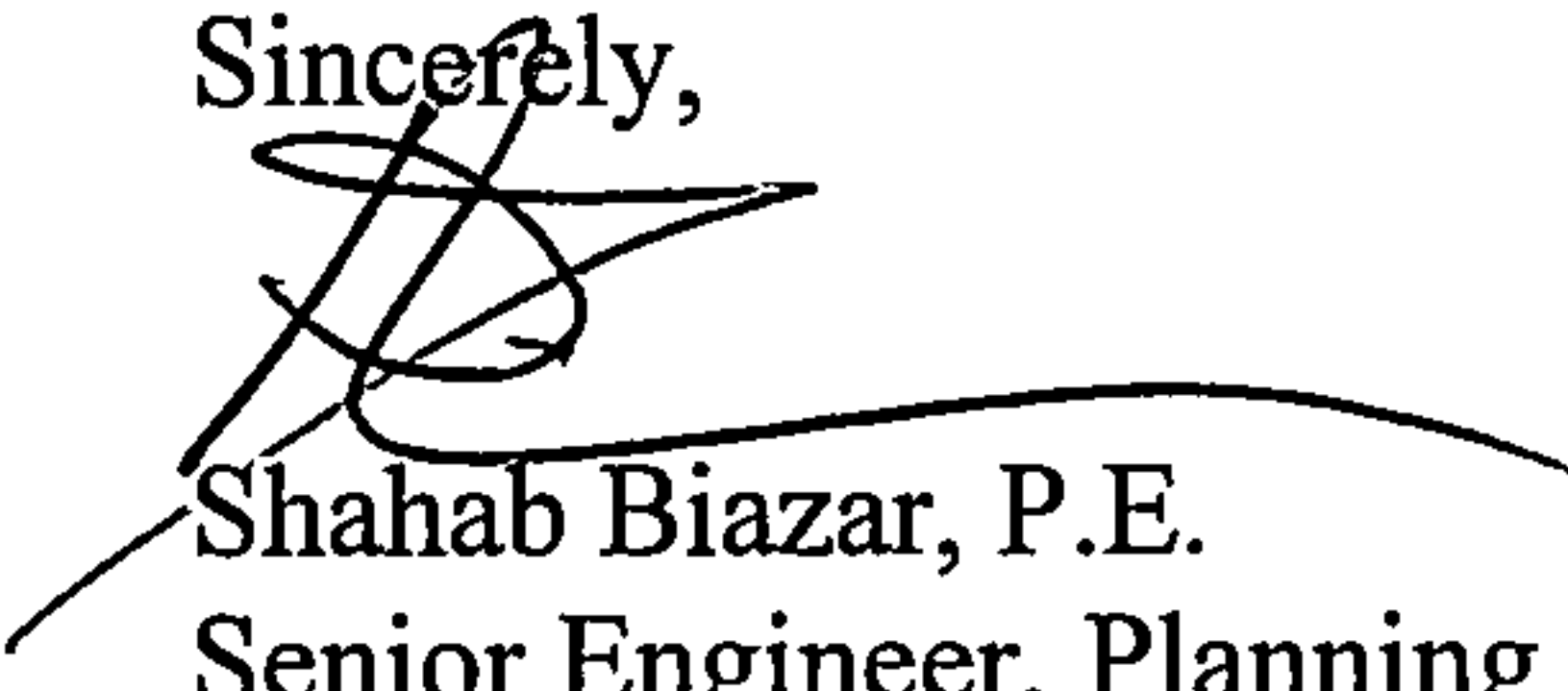
Dear Mr. Thompson,

Based upon the information provided in your submittal received on 11-14-12, the grading and Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque's MS4 Permit became effective March 1st, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/Hydrology.html>).

If you have any questions, you can contact me at 924-3695.

Sincerely,


Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: RED ROCK ROASTERS ZONE MAP/DRG. FILE #: F-17/D096
DRB #: _____ EPC #: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 12-B, REINDEER ADDITION
CITY ADDRESS: _____

ENGINEERING FIRM: Thompson Engineering Consultants, Inc.
ADDRESS: P.O. Box 65760
CITY, STATE: Albuquerque, NM
CONTACT: David Thompson
PHONE: 271-2199
ZIP CODE: 87193

OWNER: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: McElheney Architects
ADDRESS: 2001 Carlisle NE, Suite B
CITY, STATE: Albuquerque, NM
CONTACT: Bob McElheney
PHONE: 262-0193
ZIP CODE: 87110

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

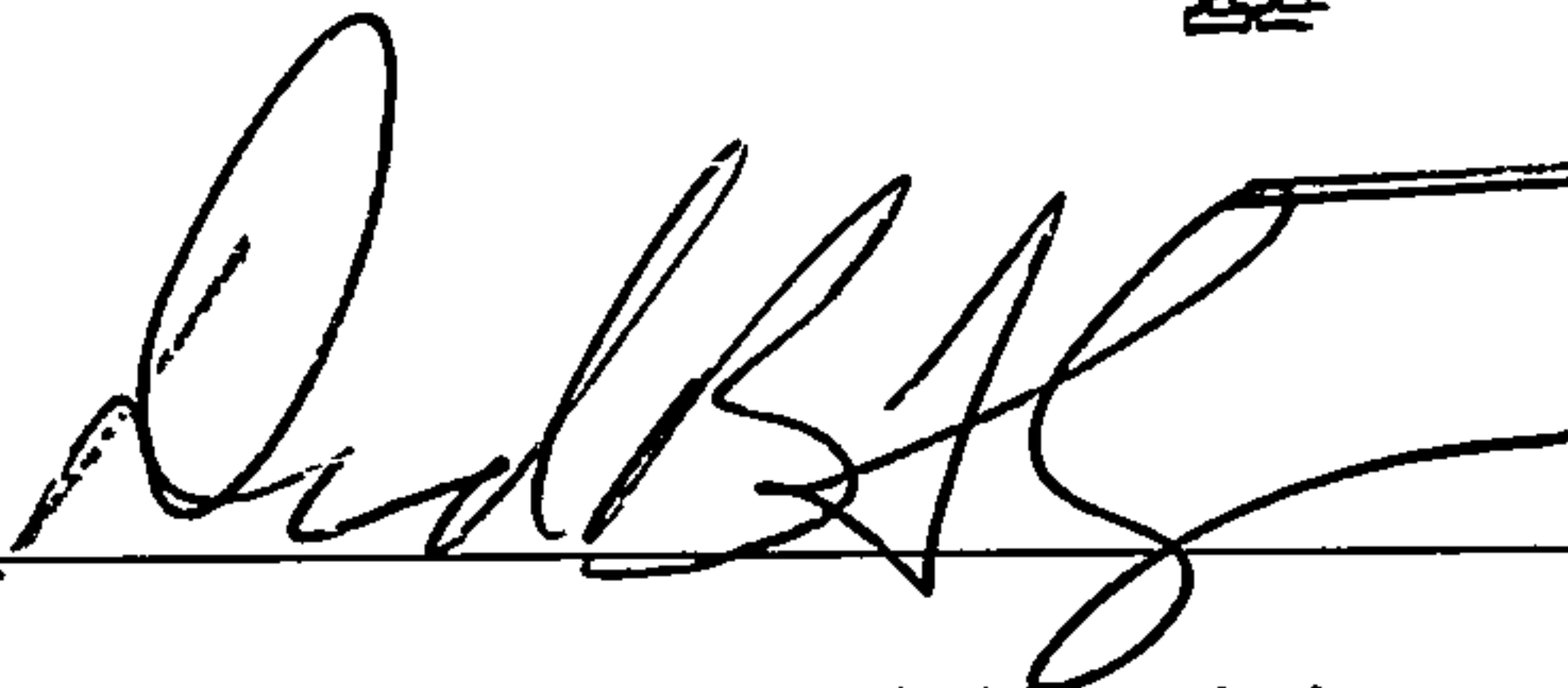
CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION(TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

RECEIVED
NOV 14 2012

DATE SUBMITTED: November 14, 2012 BY: 

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

CITY OF ALBUQUERQUE



October 8, 2012

David Thompson, P.E.
Thompson Engineering
P.O. Box 65760
Albuquerque, NM 87193

Re: Red Rock Roasters 4801 Jefferson St NE
Grading and Drainage Plan
Engineer's Stamp date 9-24-12 (F-17/D096)

Dear Mr. Thompson,

Based upon the information provided in your submittal received 9-26-12, the above referenced plan cannot be approved for Building Permit or Grading Permit until the following comments are addressed:

- Indicate the direction of roof flows on the plan.
- Provide details of the proposed swale indicated in the legend.
- Provide spot elevations along the west end of property.
- An agreement for the curb cuts and cross drainage is needed.
- Are the speckled areas landscaping?
- All landscaped areas need to be depressed?

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

I spoke with zoning about this plan because of the lack of landscaping. Judging from this plan it is believed that not enough landscaping has been provided. Contact David Kilpatrick at 924-3838 for a better idea of how much landscaping will be needed for this site. I believe that the G&D plan may change.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: RER/SB
File

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: RED ROCK ROASTERS

ZONE MAP/DRG. FILE #: F-17

1096

DRB #: _____ EPC #: _____

WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 12-B, REINDEER ADDITION

CITY ADDRESS: 4801 Jefferson.

ENGINEERING FIRM: Thompson Engineering Consultants, Inc.

ADDRESS: P.O. Box 65760

CITY, STATE: Albuquerque, NM

CONTACT: David Thompson

PHONE: 271-2199

ZIP CODE: 87193

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: McElheney Architects

ADDRESS: 2001 Carlisle NE, Suite B

CITY, STATE: Albuquerque, NM

CONTACT: Bob McElheney

PHONE: 262-0193

ZIP CODE: 87110

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION(TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) AS

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: September 25, 2012

BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or